



BLUE RIVER PLANNING AND ZONING COMMISSION MEETING

Tuesday, March 3, 2026

5:30 PM

0110 Whispering Pines Circle, Blue River, CO

Agenda

The public is welcome to attend the meeting either in person or via Zoom.

The Zoom link is available on the Town website:

<https://townofblueriver.colorado.gov/board-of-trustees>

Please note that seating at Town Hall is limited.

Call to Order, Roll Call

Approval of Minutes

- A.** Minutes – February 3, 2026

Project Approval

- A.** 251 Golden Nugget Dr – Alteration/Repair/Remodel
- B.** 15 Wilderness Dr – New Construction
- C.** Discussion – Section(s) 16B-4-30(b)(3), 16B-4-20, 16B-4-50, 16-3-20 regarding the use of Setbacks

Adjourn



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Tuesday, February 3 2026

5:30 PM

0110 Whispering Pines Circle, Blue River, CO

Minutes

Call to Order, Roll Call

Chairman Johnson called the meeting to order at 5:31 PM.

PRESENT:

Commissioner Carlsted
Commissioner Cleary
Commissioner Johnson
Commissioner O'Brien

ABSENT:

Commissioner Beck
Commissioner Watts
Commissioner Manin

Also present: Interim Town Manager Steve Rabe; Deputy Town Clerk John DeBee and Kyle Parag, Charles Abbott Associates

Approval of Minutes

A. Minutes – January 6, 2025

Commissioner Cleary moved and Commissioner Carlsted provided a second to approve the minutes of the January 2026 Planning and Zoning Commission Meeting. All ayes – motion passed.

Discussion

B. Section 16B-5-70 Roofs

Commissioner Carlsted presented his amendments to Section 16B-5-70 of the Land Use Code to the body for consideration consistent with the direction of the Board of Trustees and their January meeting. After some discussion, the Commission requested that Commissioner Carlsted finalize his re-draft for submittal to the Board at the February 17th Regular Meeting.

C Ordinance No. 2025-02

Commissioner Cleary presented three (3) applications of the Town's current Ordinance on setbacks, laying out how the current Land Use Code applies to each. Discussion took place about whether or not changes needed to be made to the current standards or if there just needed to be a general consensus on the application and interpretation of the regulations and being of the general opinion that the current standards should remain. The Commission proposed to discuss the matter with the Board of Trustees at their February 17th Regular Meeting with Commissioner Cleary volunteering to review the application Sections of the Land Use Code and Ordinance No. 2025-02 to make sure the language in each is similar.

Adjourn

Commissioner O'Brien moved to adjourn the meeting and Commissioner Cleary provided a second. All ayes. Motion passed.

Chairman Johnson adjourned the meeting at 6:42 PM.

TO: Town Manager/Clerk
FROM: Kyle Parag, Plan Reviewer - CAA
DATE: February 28, 2026
RE: Planning/Zoning/Architectural Guidelines review – 271 Gold Nugget

Below please find staff's analysis that outlines the review with the Town's Zoning regulations and adopted Architectural Design Guidelines for the structure proposed

Zoning Regulation analysis –

Proposal: AN ADDITION CONSISTING OF:
ENCLOSE BREEZEWAY BETWEEN GARAGE AND MAIN HOME MAKING BREEZEWAY PART OF INTERIOR OF HOME. ADD LEGAL STAIRCASE UP TO BEDROOM OVER GARAGE. DEMO LIVINGROOM ON MAIN LEVEL AND ADD NEW ROOM AND ROOF DESIGN. ADD NEW DECK

Reviewer comments: THE MAIN SCOPE OF THE PROJECT IS CONNECT AN ABOVE GARAGE SPACE AND CONVERT TO A BEDROOM. THERE ARE TWO MAIN DEFINITIONS IN OUR TOWN LAND USE CODE TO CONCERN OURSELVES WITH FOR THIS PROJECT

Lock-off unit (sometimes called a "lock-off" or a "lock-out unit") means a portion or part of a *dwelling unit* which is physically separated or divided, or is capable of being physically separated or divided, into an additional space suitable as an independent or additional *dwelling unit* by the addition of one or more doors capable of being locked, by wall(s), or by other similar dividing elements. The presence of one or more facilities, conveniences, equipment, or amenities customarily associated with a residential kitchen (e.g., stove, range, cook-top, refrigerator, sink, 220v electrical circuitry, or utilities separately metered from the principal permitted residential use) and bathroom/bathing facilities within the space capable of being locked off shall create a presumption that the space is intended for use as a separate and independent *dwelling unit*.

Bedroom means a room within a residential *dwelling unit* that was lawfully created and is currently lawfully recognized by the Town as a bedroom within the meaning of applicable building and safety codes and intended for overnight sleeping accommodations. Rooms deemed permitted for overnight sleeping accommodation are limited to rooms designed and intended for the primary purpose of overnight sleeping and which include an interior door, one or more closets, and one or more windows which provide egress in the event of emergency and which room and windows meet standards established by the applicable building and safety codes for a bedroom. Garages, kitchens, bathrooms, living rooms, dining rooms, lofts, hallways, family or media rooms, storage rooms, and rooms not heated by the structure's central heating system are deemed not to be bedrooms for purposes of this definition.

THE PROPOSAL IS TO ADD A BEDROOM, AND NOT A LOCK OFF UNIT.

Zoning district: R-1

Lot Size: ~ 49,000 sq. ft.
80,000 sq. ft. Required– Existing Non-Conforming

Lot Width: ~ 150'

100 ft. Required - Complies

Setbacks: The new deck is not clearly indicated on the site plan, and confusion about the location exists. Several overhead sheets show compliance, but unclear if that indicates the proposed deck layout or not. Requesting the applicant to indicate the extents of the deck.

Height: Complies with required height limitations.

Garage Stds: The proposed garage is ~398 sq. ft. and complies with the standards for structures less than 5,000 sq. ft. in habitable size.

Parking Stds: Parking requirements will be met through the existing garage and exterior parking. No additional parking spaces are required for this project.

Architectural Design Guideline analysis -

Please note the following key to the interpretation of the analysis table:

Y	Element is in substantial compliance with the design guidelines
N	Does not comply with the design guidelines
PC	Subject to Planning Commission Specific approval
	Requires additional information from applicant
N/A	Not Applicable to the application

STANDARD	NOTES/REMARKS	SUBSTANTIAL COMPLIANCE
DEVELOPMENT STANDARD		
Article 3: Easements	Easements are indicated	Y
Article 4: Buildable Area/setbacks	Front setback is measured incorrectly, but does not impact this project. New deck location is unclear.	PC

Article 5 Building Design Standards		
Article 5-20 Building Height	Height is not clearly indicated, but project does not propose increasing height.	Y
Article 5-60 Foundation	Foundation is not exposed, and unaltered	Y
Article 5-70 Roofs	Main roof design is a gable roof, unaltered by project	Y
Article 5-80 Garages	Unaffected by addition.	Y
Article 5-90 Window and doors	Unaffected by addition.	Y
Article 5-100 Balconies and railings	Horizontal metal is indicated for new deck	Y
Article 5-110 Chimney and Roof Penetrations	Unaffected by addition.	Y
Article 6 Building Materials and Colors		
Article 6-20 Materials	Siding is to match remaining structure.	Y
Article 6-30 Colors	Colors are provided and show general compliance	Y
Article 7 Accessory Improvements		
Article 7-(20-40, 110) Berms, Garages, sheds and Gazebos	None indicated. Garage is indicated at 398 Sqft	Y
Article 7-50 Driveways	Width indicated at 14'. Slopes are 3 and 4%. Recent permit to relocate the driveway is issued.	Y
Article 7-60 Parking Areas	Unaffected by addition.	Y

Article 7-100 Decks	Large deck is proposed, shows general conformance	Y
Article 7-120 Hot Tubs	None indicated	Y
Article 7-140 Fences	None indicate	Y
Article 7-150 Retaining walls	None indicated, new boulder wall indicated on site plan.	Y
Article 8 Signs		
Article 8 Signs	None indicated	Y
Article 9 Lighting		
Article 9 Lighting	Downcast lights are indicated	Y
Article 13 Environmental Regulations		
Article 13-20 Wetlands	None indicated	Y

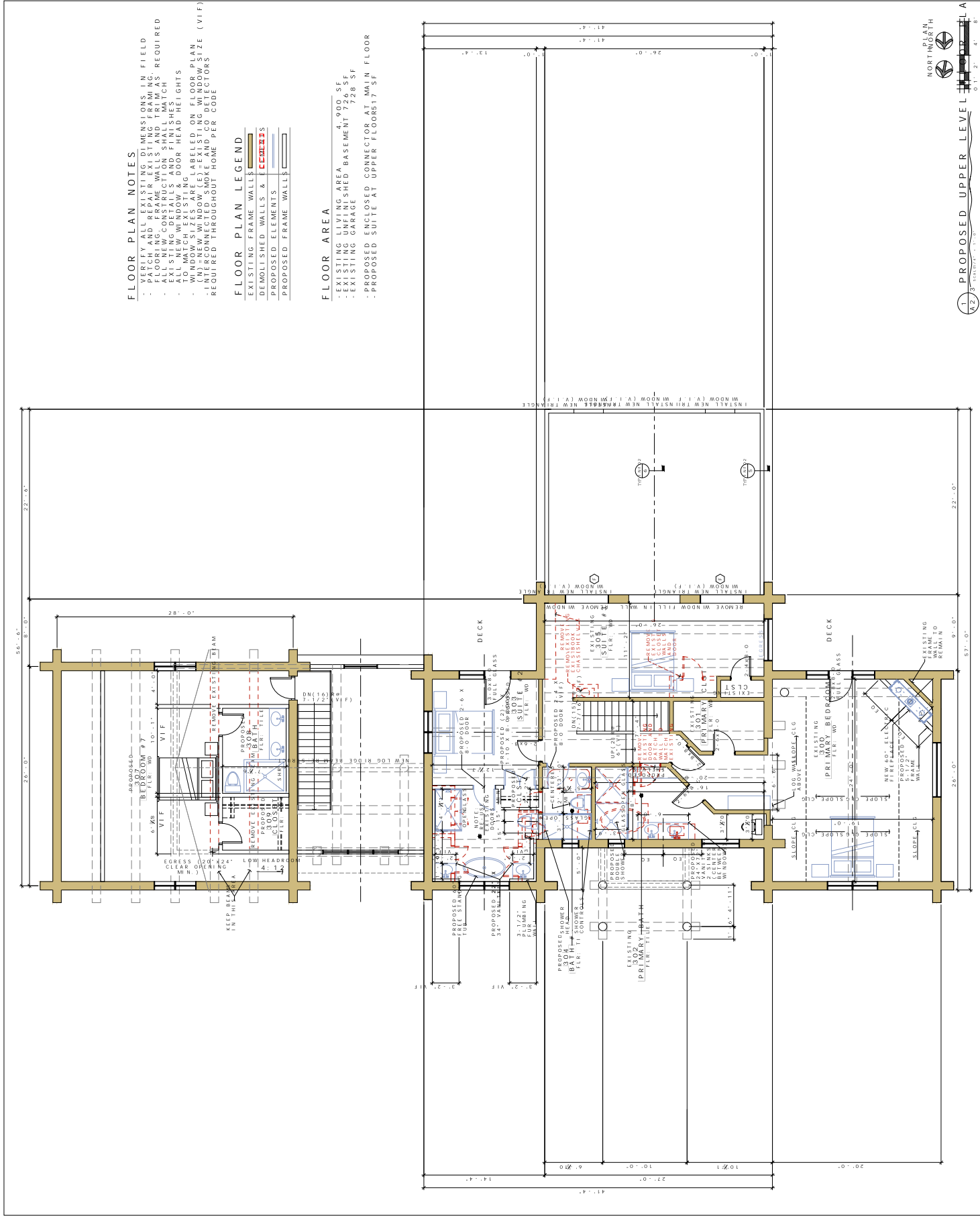
ISSUE DATE	REVISION
2025 FEB	REVISED
2025 MAR	REVISED
2025 MAR	REVISED
2025 JUN	REVISED
2025 JUN	REVISED
2025 JUL	REVISED
2025 SEP	REVISED
2025 NOV	REVISED
2026 FEB	REVISED

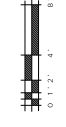
- FLOOR PLAN NOTES**
- VERIFY ALL EXISTING DIMENSIONS IN FIELD
 - FLOORING FRAME WALLS AND TRIMS REQUIRED
 - ALL NEW CONSTRUCTION SHALL MATCH
 - ALL NEW WINDOW & DOOR HEAD HEIGHTS TO MATCH EXISTING
 - (M) NEW WINDOW (E) EXISTING WINDOW SIZE (VIF) INTERCONNECTED SMOKE AND CO DETECTORS REQUIRED THROUGHOUT HOME PER CODE

FLOOR PLAN LEGEND

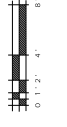
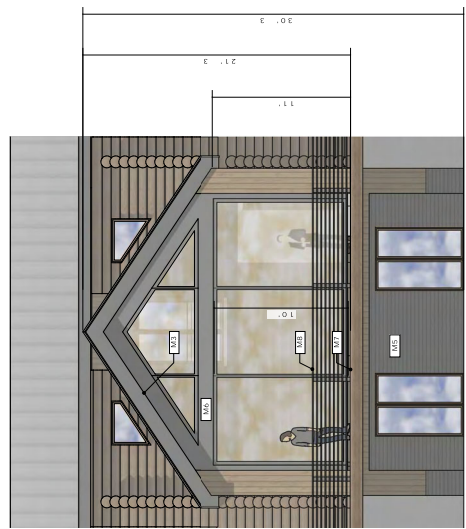
EXISTING FRAME WALLS	EXISTING WALLS & PARTITIONS
DEMOLISHED WALLS & PARTITIONS	PROPOSED ELEMENTS
PROPOSED FRAME WALLS	PROPOSED FRAME WALLS

- FLOOR AREA**
- EXISTING LIVING AREA 4,900 SF
 - EXISTING UNFINISHED BASEMENT 726 SF
 - EXISTING GARAGE
 - PROPOSED ENCLOSED CONNECTOR AT MAIN FLOOR
 - PROPOSED SUITE AT UPPER FLOOR 17 SF





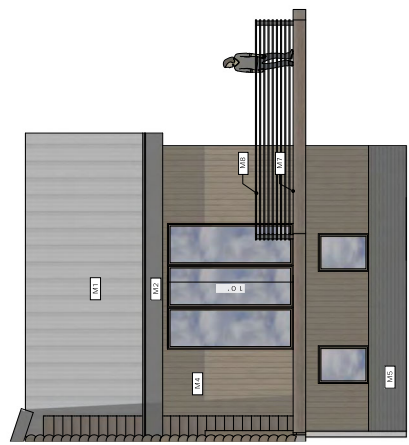
EXISTING SOUTH
 1/4" = 1'-0"



PROPOSED SOUTH
 1/4" = 1'-0"



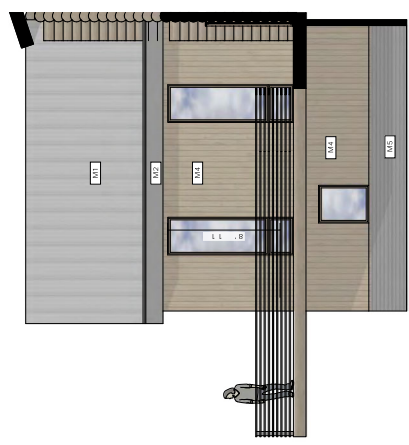
EXISTING NORTH
 1/4" = 1'-0"



PROPOSED NORTH
 1/4" = 1'-0"

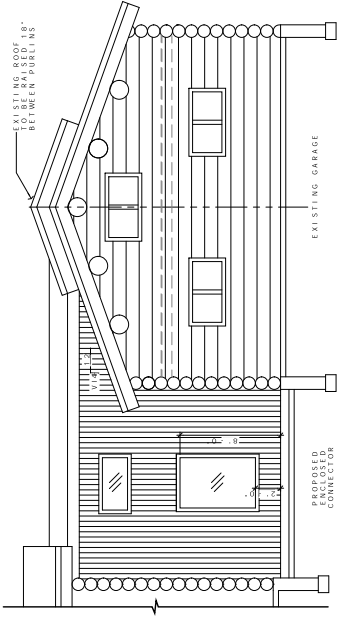


EXISTING EAST
 1/4" = 1'-0"

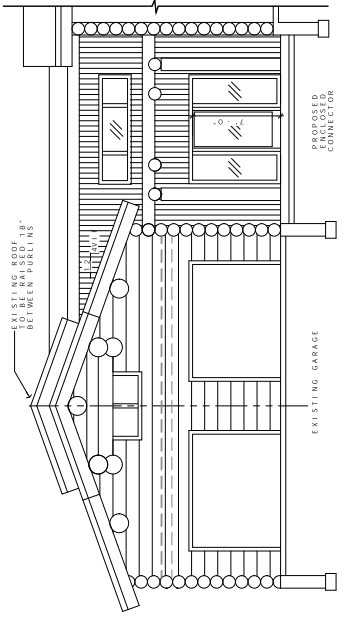


PROPOSED EAST
 1/4" = 1'-0"

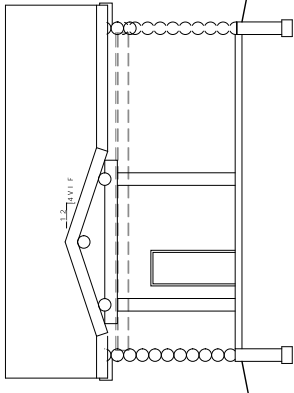
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REVIEW 25 FEB	2021
REVIEW 18 MAR	2021
REVIEW 20 MAR	2021
REVIEW 20 APR	2021
REVIEW 4 JUN	2021
REVIEW 10 JUN	2021
REVIEW 18 JUL	2021
REVIEW 19 SEP	2021
REVIEW 21 NOV	2021
PERMIT 16 FEB	2022
PROJECT #:	



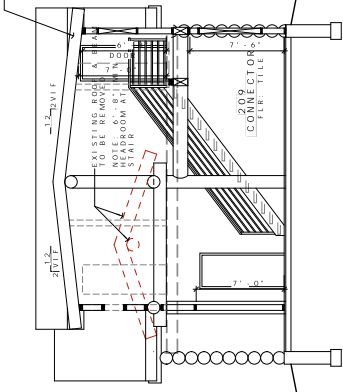
2 PROPOSED SOUTH ELEVATION AT GARAGE
 A.3.2 2'-0" = 1" (VERTICAL) 1" = 1" (HORIZONTAL)



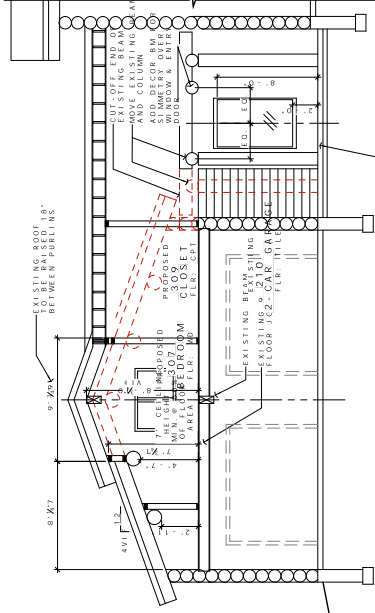
1 PROPOSED NORTH ELEVATION AT GARAGE
 A.3.2 2'-0" = 1" (VERTICAL) 1" = 1" (HORIZONTAL)



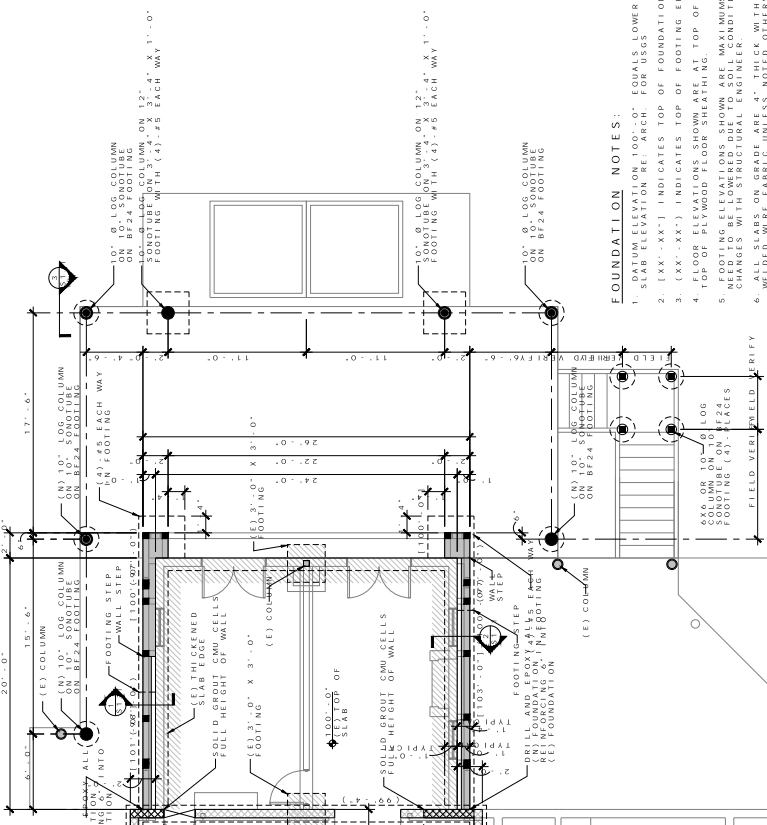
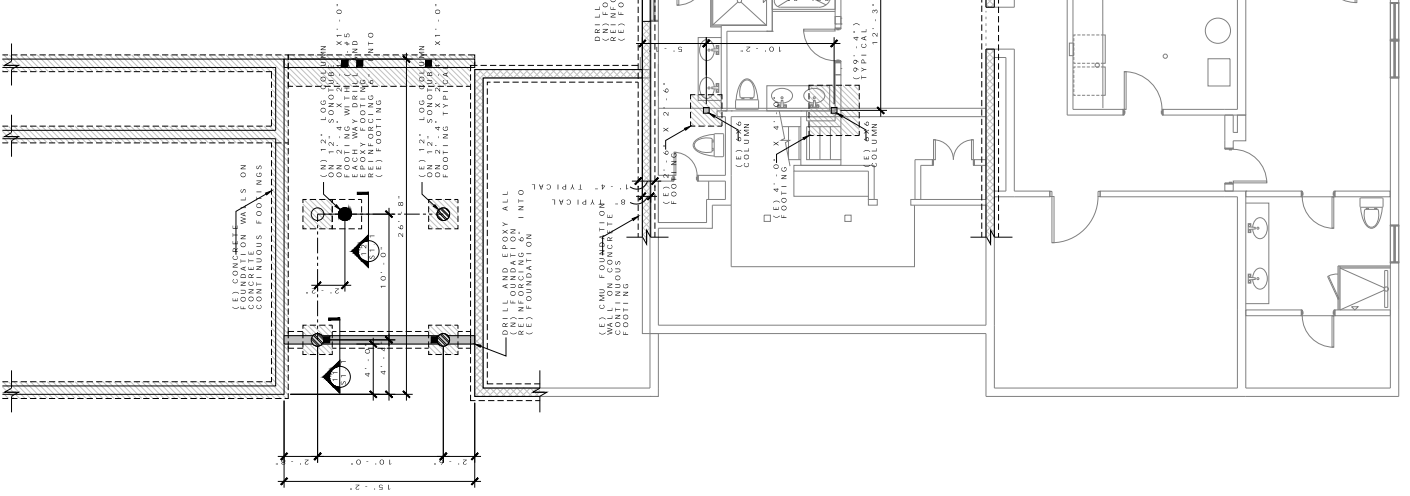
5 EXISTING SECTION AT CONNECTOR
 A.3.2 2'-0" = 1" (VERTICAL) 1" = 1" (HORIZONTAL)



4 PROPOSED SECTION AT CONNECTOR
 A.3.2 2'-0" = 1" (VERTICAL) 1" = 1" (HORIZONTAL)

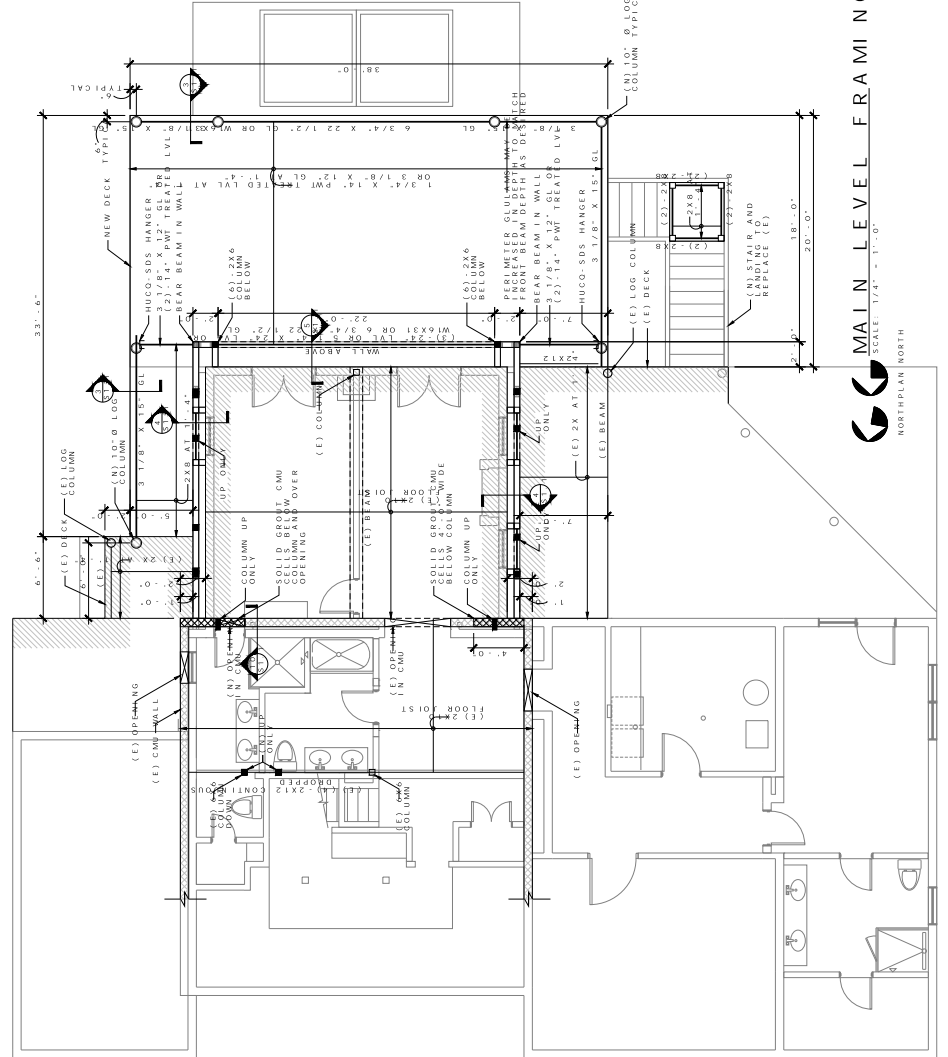


3 PROPOSED SECTION AT GARAGE
 A.3.2 2'-0" = 1" (VERTICAL) 1" = 1" (HORIZONTAL)



- FOUNDATION NOTES:**
1. DATUM ELEVATION 100'-0" EQUALS LOWER LEVEL TOP OF SLAB ELEVATION RE: ARCH FOR USGS
 2. (XX'-XX") INDICATES TOP OF FOUNDATION WALL ELEVATION
 3. (XX'-XX") INDICATES TOP OF FOOTING ELEVATION
 4. FLOOR ELEVATIONS SHOWN ARE AT TOP OF SLAB OR AT TOP OF PLYWOOD FLOOR SHEATHING.
 5. FOOTING ELEVATIONS SHOWN ARE MAXIMUMS AND MAY VARY BASED ON SOIL CONDITIONS. VERIFY WITH CHARGES WITH STRUCTURAL ENGINEER.
 6. ALL SLABS ON GRADE ARE 4" THICK WITH #26 W2.1XW2.1 PER ARCHITECTURAL LANDSCAPE PLANS. DETAILS AND REINFORCING TO BE SHOWN UNLESS NOTED OTHERWISE.
 7. WELDED WIRE FABRIC UNLESS NOTED OTHERWISE.
 8. ALL REINFORCING SHALL BE CONNECTED TO REINFORCING IN ADJACENT FOOTINGS UNLESS NOTED OTHERWISE.

FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"
 NORTH PLAN NORTH



FRAMING NOTES:

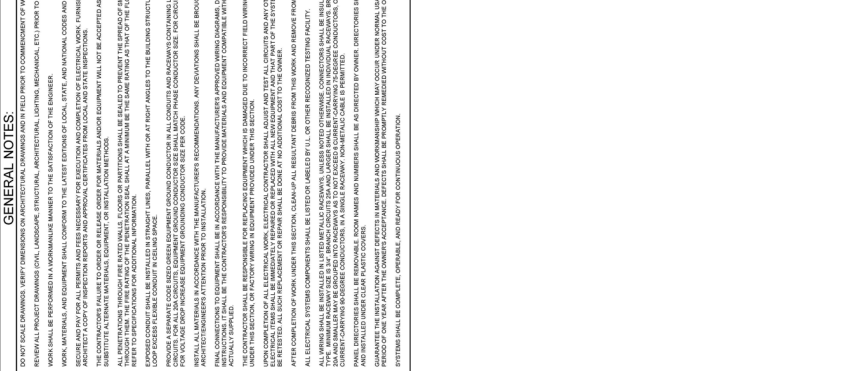
1. [] INDICATES COLUMN DOWN ONLY
2. [] INDICATES COLUMN UP AND DOWN CONCRETE BELOW, OR IT IS LABELLED AS SUCH
3. [] INDICATES INTERIOR BEARING WALL BEARING LOCATIONS SHALL LINE UP
4. ALL COLUMNS SHALL BE (3)-2X6 MINIMUM FRONT AND REAR BEAMS TO CONTINUOUS FLOOR TO FLOOR OR FLOOR TO CEILING UNLESS NOTED OTHERWISE
5. 'XX'-XX'-2 INDICATES TOP OF BEAM HEIGHT ELEVATION
6. HEADERS SHALL BE (2)X 8 MINIMUM WITH RIGID INSULATION WIDTH BY ADDING RIGID INSULATION TO BOTH SIDES
7. ALL HEADERS 6'-0" AND LONGER SHALL BE (2)X 8 MINIMUM UNLESS NOTED OTHERWISE
8. UNLESS NOTED OTHERWISE ALL DOORS SHALL BE SIMPSON IUS TYPE UNLESS OTHERWISE NOTED
9. ALL EXTERIOR WALLS SHALL BE CONCRETE ON GRADE UNLESS NOTED OTHERWISE. INFORMATION STUDS CAN BE SPACED SHORTER THAN 6'-0" REQUIRE MORE STUDS SHALL BE SPACED 1'-0" FOR OTHERWISSE' AND TALLER THAN 10'-0"
10. REFERENCE ARCHITECTURAL DRAWINGS FOR FINISHES AND SIZE OF ROUGH OPENINGS IN WALLS AND CEILING
11. REFERENCE GENERAL NOTES FOR ARCHITECTURAL FINISHES

MAIN LEVEL FRAMING PLAN
SCALE: 1/4" = 1'-0"
NORTH PLAN NORTH

ELECTRICAL PLAN LEGEND

SYMBOL/DRAWING	SYMBOL	NAME	SYMBOL	NAME
3	WALL SWITCH, SINGLE POLE (S)	WALL SWITCH, SINGLE POLE (S)	WALL SWITCH, SINGLE POLE (S)	WALL SWITCH, SINGLE POLE (S)
4	WALL SWITCH, DOUBLE POLE (D)	WALL SWITCH, DOUBLE POLE (D)	WALL SWITCH, DOUBLE POLE (D)	WALL SWITCH, DOUBLE POLE (D)
5	WALL SWITCH, 3-WAY (3)	WALL SWITCH, 3-WAY (3)	WALL SWITCH, 3-WAY (3)	WALL SWITCH, 3-WAY (3)
6	RECESSED OVERHEAD LIGHT (O)	RECESSED OVERHEAD LIGHT (O)	RECESSED OVERHEAD LIGHT (O)	RECESSED OVERHEAD LIGHT (O)
7	RECESSED UNDERCAB LIGHT (U)	RECESSED UNDERCAB LIGHT (U)	RECESSED UNDERCAB LIGHT (U)	RECESSED UNDERCAB LIGHT (U)
8	LED STRIP LIGHT (L)	LED STRIP LIGHT (L)	LED STRIP LIGHT (L)	LED STRIP LIGHT (L)
9	JAMB SWITCH (J)	JAMB SWITCH (J)	JAMB SWITCH (J)	JAMB SWITCH (J)
10	OUTLET - DUPLEX (D)	OUTLET - DUPLEX (D)	OUTLET - DUPLEX (D)	OUTLET - DUPLEX (D)
11	OUTLET - SPECIALTY (S)	OUTLET - SPECIALTY (S)	OUTLET - SPECIALTY (S)	OUTLET - SPECIALTY (S)
12	OUTLET - 4-PRONG (4)	OUTLET - 4-PRONG (4)	OUTLET - 4-PRONG (4)	OUTLET - 4-PRONG (4)
13	EXTERIOR LIGHT WITH MOTION DETECTOR (E)	EXTERIOR LIGHT WITH MOTION DETECTOR (E)	EXTERIOR LIGHT WITH MOTION DETECTOR (E)	EXTERIOR LIGHT WITH MOTION DETECTOR (E)
14	LED PANEL LIGHT (P)	LED PANEL LIGHT (P)	LED PANEL LIGHT (P)	LED PANEL LIGHT (P)
15	HEAT LAMP (H)	HEAT LAMP (H)	HEAT LAMP (H)	HEAT LAMP (H)
16	CEILING MOUNTED LIGHT FIXTURE (C)	CEILING MOUNTED LIGHT FIXTURE (C)	CEILING MOUNTED LIGHT FIXTURE (C)	CEILING MOUNTED LIGHT FIXTURE (C)
17	EXHAUST FAN WITH FAN TECH SWITCH (F)	EXHAUST FAN WITH FAN TECH SWITCH (F)	EXHAUST FAN WITH FAN TECH SWITCH (F)	EXHAUST FAN WITH FAN TECH SWITCH (F)
18	DOOR BELL CHIME (B)	DOOR BELL CHIME (B)	DOOR BELL CHIME (B)	DOOR BELL CHIME (B)
19	CABLE OR SPLIT LIGHTING JUNCTION (C)	CABLE OR SPLIT LIGHTING JUNCTION (C)	CABLE OR SPLIT LIGHTING JUNCTION (C)	CABLE OR SPLIT LIGHTING JUNCTION (C)
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86	PHONE JACK (J)	PHONE JACK (J)	PHONE JACK (J)	PHONE JACK (J)
87	PHONE JACK (J)	PHONE JACK (J)	PHONE JACK (J)	PHONE JACK (J)
88	PHONE JACK (J)	PHONE JACK (J)	PHONE JACK (J)	PHONE JACK (J)
89	PHONE JACK (J)	PHONE JACK (J)	PHONE JACK (J)	PHONE JACK (J)
90	PHONE JACK (J)	PHONE JACK (J)	PHONE JACK (J)	PHONE JACK (J)
91	PHONE JACK (J)	PHONE JACK (J)	PHONE JACK (J)	PHONE JACK (J)
92	PHONE JACK (J)	PHONE JACK (J)	PHONE JACK (J)	PHONE JACK (J)
93	PHONE JACK (J)	PHONE JACK (J)	PHONE JACK (J)	PHONE JACK (J)
94	PHONE JACK (J)	PHONE JACK (J)	PHONE JACK (J)	PHONE JACK (J)
95	PHONE JACK (J)	PHONE JACK (J)	PHONE JACK (J)	PHONE JACK (J)
96	PHONE JACK (J)	PHONE JACK (J)	PHONE JACK (J)	PHONE JACK (J)
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98	PHONE JACK (J)	PHONE JACK (J)	PHONE JACK (J)	PHONE JACK (J)
99	PHONE JACK (J)	PHONE JACK (J)	PHONE JACK (J)	PHONE JACK (J)
100	PHONE JACK (J)	PHONE JACK (J)	PHONE JACK (J)	PHONE JACK (J)

EXISTING ELECTRICAL SCHEMATIC AND ADDITIONAL OVERHEAD CAPACITY



FLOOR PLAN LEGEND

EXISTING FRAME
PROPOSED FRAME

SYMBOL	NAME
(Symbol)	EXISTING FRAME
(Symbol)	PROPOSED FRAME



ALLEN GUERRA ARCHITECTURE
1000 GOLDEN CROWN SUB
251 GOLD NUGGET DRIVE
DENVER, CO 80202
TEL: 303.733.1111
WWW.ALLENGUERRA.COM

DAVIS A&A
LOT 581
GOLDEN CROWN SUB
251 GOLD NUGGET DRIVE
LOWER LEVEL ELECTRICAL PLAN

ISSUE DATE	REVISION
2022 FEB	REVISED
2022 MAR	REVISED
2022 APR	REVISED
2022 MAY	REVISED
2022 JUN	REVISED
2022 JUL	REVISED
2022 SEP	REVISED
2022 OCT	REVISED
2022 NOV	REVISED
2022 DEC	REVISED

PROJECT #

E 2

1. ALL RECESSED CEILING FIXTURES ARE TO BE AIR-LOCATED RATED FIXTURES.
2. PROVIDE ANY OUTLETS AND SWITCHES REQUIRED BY CODE WHICH ARE NOT SHOWN ON THESE PLANS.
3. ALL 120V CABLE TO BE RG-11 CABLE OR EQUAL.
4. ALL ELECTRICAL WORK TO COMPLY WITH NEC AND OTHER LOCAL ELECTRICAL CODES.
5. INSTALL ALL RECESSED UNDERCAB LIGHTS TO BE 4" X 6" WITH 4" X 6" HIGH CABINETS, AND 3" X 6" WITH 3" X 6" HIGH CABINETS.
6. ALL OUTLETS AT KITCHEN, BATHROOM, AND LAUNDRY COUNTERS TO BE GFI, AND 42" AFF AT 36" HIGH CABINETS, AND 38" AFF AT 30" HIGH CABINETS.
7. ALL SWITCHES TO BE 400 AFF.
8. ALL RECESSED UNDERCAB LIGHTS TO BE 4" X 6" WITH 4" X 6" HIGH CABINETS, AND 3" X 6" WITH 3" X 6" HIGH CABINETS.
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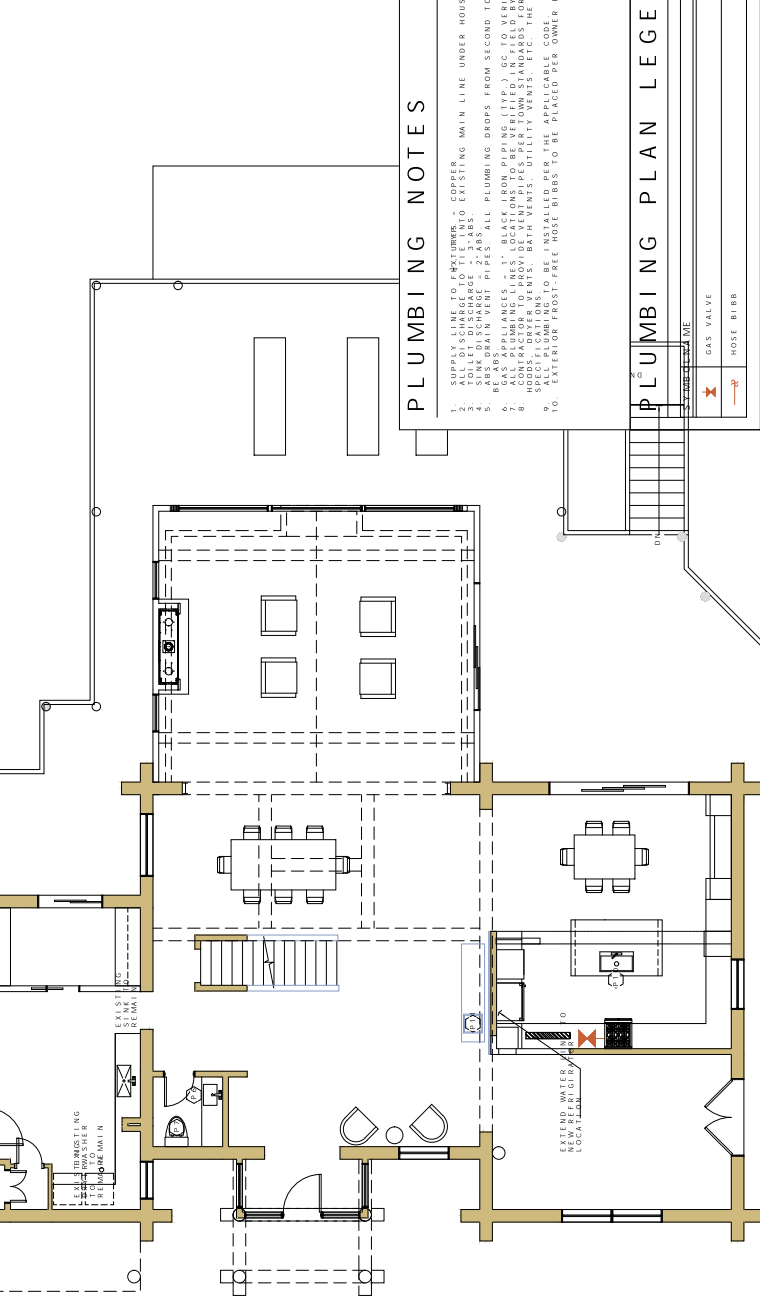
GENERAL NOTES

1. DO NOT SCALE DIMENSIONS ON ARCHITECTURAL DRAWINGS AND FIELD PRIOR TO COMMENCEMENT OF WORK.
2. REVIEW ALL PROJECT DRAWINGS (CIVIL, LANDSCAPE, STRUCTURAL, ARCHITECTURAL, LIGHTING, MECHANICAL, ETC.) PRIOR TO BID.
3. WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER TO THE SATISFACTION OF THE ENGINEER.
4. MATERIALS AND EQUIPMENT SHALL CONFORM TO THE LATEST EDITIONS OF LOCAL, STATE, AND NATIONAL CODES AND ORDINANCES.
5. PROVIDE A COPY OF INSTRUCTION MANUALS AND APPROVAL CERTIFICATES FOR LOCAL AND STATE INSPECTION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND TESTS FROM THE LOCAL AND STATE AUTHORITIES.
7. ALL INSTALLATIONS THROUGH FLOOR SLABS, FLOORS OR PARTITIONS SHALL BE SEALED TO PREVENT THE SPREAD OF MOISTURE AND FIRE.
8. ALL ELECTRICAL WORK SHALL BE INSTALLED IN STRAIGHT LINES, PARALLEL WITH OR AT RIGHT ANGLES TO THE BUILDING STRUCTURE, UNLESS OTHERWISE NOTED.
9. PROVIDE SEPARATE CODE-REQUIRED EQUIPMENT GROUNDING CONDUCTOR IN ALL CONDUITS AND RACEWAYS CONTAINING LINE VOLTAGE CIRCUITS. PROVIDE SEPARATE EQUIPMENT GROUNDING CONDUCTOR FOR ALL CIRCUITS PERMITTED BY THE CODE.
10. INSTALL ALL MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ANY DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO INSTALLATION.
11. FINAL CONNECTIONS TO EQUIPMENT SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S APPROVED WIRING DIAGRAMS, DETAILS, AND INSTRUCTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MATERIALS AND EQUIPMENT COMPATIBLE WITH EQUIPMENT RATED FOR USE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING EQUIPMENT WHICH IS DAMAGED DUE TO INCORRECT FIELD WIRING PROVIDED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND EQUIPMENT.
13. UPON COMPLETION OF ALL ELECTRICAL WORK, ELECTRICAL CONTRACTOR SHALL ASSEMBLE AND TEST ALL CIRCUITS AND ANY OTHER SYSTEMS TO BE INSTALLED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND EQUIPMENT.
14. AFTER COMPLETION OF WORK UNDER THIS SECTION, CLEAN UP ALL RESIDUAL DEBRIS FROM THE WORK AND REMOVE FROM THE SITE.
15. ALL ELECTRICAL SYSTEM COMPONENTS SHALL BE LISTED OR LABELED BY ALL OTHER RECOGNIZED TESTING FACILITY.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND TESTS FROM THE LOCAL AND STATE AUTHORITIES.
17. PANEL DIRECTORIES SHALL BE REMOVED FROM ALL PANELS AND REINSTALLED IN THE PANELS. PANEL DIRECTORIES SHALL BE INSTALLED IN THE PANELS. PANEL DIRECTORIES SHALL BE REMOVED FROM ALL PANELS AND REINSTALLED IN THE PANELS. PANEL DIRECTORIES SHALL BE INSTALLED IN THE PANELS.
18. GUARANTEE THE INSTALLATION AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP WHICH MAY OCCUR UNDER NORMAL USAGE FOR A PERIOD OF ONE YEAR AFTER THE OWNER'S ACCEPTANCE. DEFECTS SHALL BE PROMPTLY REMOVED WITHOUT COST TO THE OWNER.
19. SYSTEM SHALL BE COMPLETE, OPERABLE, AND READY FOR CONTINUOUS OPERATION.

EXISTING LIGHTING AND SWITCHING TO REMAIN
EXISTING ELECTRICAL SCHEMATIC AND ADDITIONAL OVERHEAD CAPACITY

PLUMBING FIXTURE SCHEDULE					
SYMBOL	TYPE	FINISH	DESCRIPTION	MANUFACTURER & MODEL #	REMARKS
⊕	FLOOR DRAIN	CHROME	8" SF FLOOR HEAVY DUTY FLOOR DRAIN	ZURN Z580NHD	NOT USED
⊕	FLOOR DRAIN	CAST IRON BODY / FLOOR DRAIN WITH 1/2" NPT FLOOR DRAIN / 1/2" NPT FLOOR DRAIN / 1/2" NPT FLOOR DRAIN / 1/2" NPT FLOOR DRAIN	1/2" NPT FLOOR DRAIN WITH 1/2" NPT FLOOR DRAIN / 1/2" NPT FLOOR DRAIN / 1/2" NPT FLOOR DRAIN / 1/2" NPT FLOOR DRAIN	ZURN Z580	NOT USED
⊕	WASHER SINK	WHITE PVC	1/2" NPT FLOOR DRAIN WITH 1/2" NPT FLOOR DRAIN / 1/2" NPT FLOOR DRAIN / 1/2" NPT FLOOR DRAIN / 1/2" NPT FLOOR DRAIN	QAVTY 3000	NOT USED
⊕	ICE MAKER SINK	WHITE STEEL	1/2" NPT FLOOR DRAIN WITH 1/2" NPT FLOOR DRAIN / 1/2" NPT FLOOR DRAIN / 1/2" NPT FLOOR DRAIN / 1/2" NPT FLOOR DRAIN	QAVTY 2000	NOT USED
⊕	HOSE BIB	BY 1/2" O.D. 1/2" BICHROME, NON-FRITZED, ANTI-SIPHON, 1/2" NPT FLOOR DRAIN	1/2" NPT FLOOR DRAIN	ZURN Z220AL	TBD IN FIELD
⊕	LAUNDRY	A	A	A	A
⊕	TOILET	A	A	A	A
⊕	SHOWER	A	A	A	A
⊕	BATH TUB	A	A	A	A
⊕	KITCHEN SINK	A	A	A	A
⊕	BAR SINK	A	A	A	A
⊕	HOT TUB	A	A	A	A
⊕	HOT SINK	A	A	A	A

MANUFACTURERS:
 AMERICAN STANDARD, UNIVERSAL, BRIGGS, FOSTER WILLIAMS
 FUTURE: AMERICAN STANDARD, UNIVERSAL, BRIGGS, FOSTER WILLIAMS
 GENERAL: AMERICAN STANDARD, UNIVERSAL, BRIGGS, FOSTER WILLIAMS
 SPECIAL: AMERICAN STANDARD, UNIVERSAL, BRIGGS, FOSTER WILLIAMS
 SEE ARCHITECTURAL PLANS FOR EXACT DRAIN LOCATIONS



PLUMBING NOTES

1. SUPPLY LINE TO BE INSTALLED
2. ALL DISCHARGE TO THE STREET
3. ALL DISCHARGE TO THE STREET
4. SINK DISCHARGE 2" ABSBS.
5. SINK DISCHARGE 2" ABSBS.
6. SINK DISCHARGE 2" ABSBS.
7. SINK DISCHARGE 2" ABSBS.
8. SINK DISCHARGE 2" ABSBS.
9. GAS APPLIANCE 1" BLACK IRON PIPE (TYP) TO BE INSTALLED TO THE GAS METER
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20. GAS APPLIANCE 1" BLACK IRON PIPE (TYP) TO BE INSTALLED TO THE GAS METER

PLUMBING PLAN LEGEND

⊕	GAS VALVE
⊕	HOSE BIBB

TOPOGRAPHIC SURVEY
LOT 581, THE GOLDEN CROWN
A SUBDIVISION OF A PART OF THE SE 1/4 OF SECTION 7
TOWNSHIP 7 SOUTH, RANGE 77 WEST OF THE 6th P.M.
SUMMIT COUNTY, COLORADO

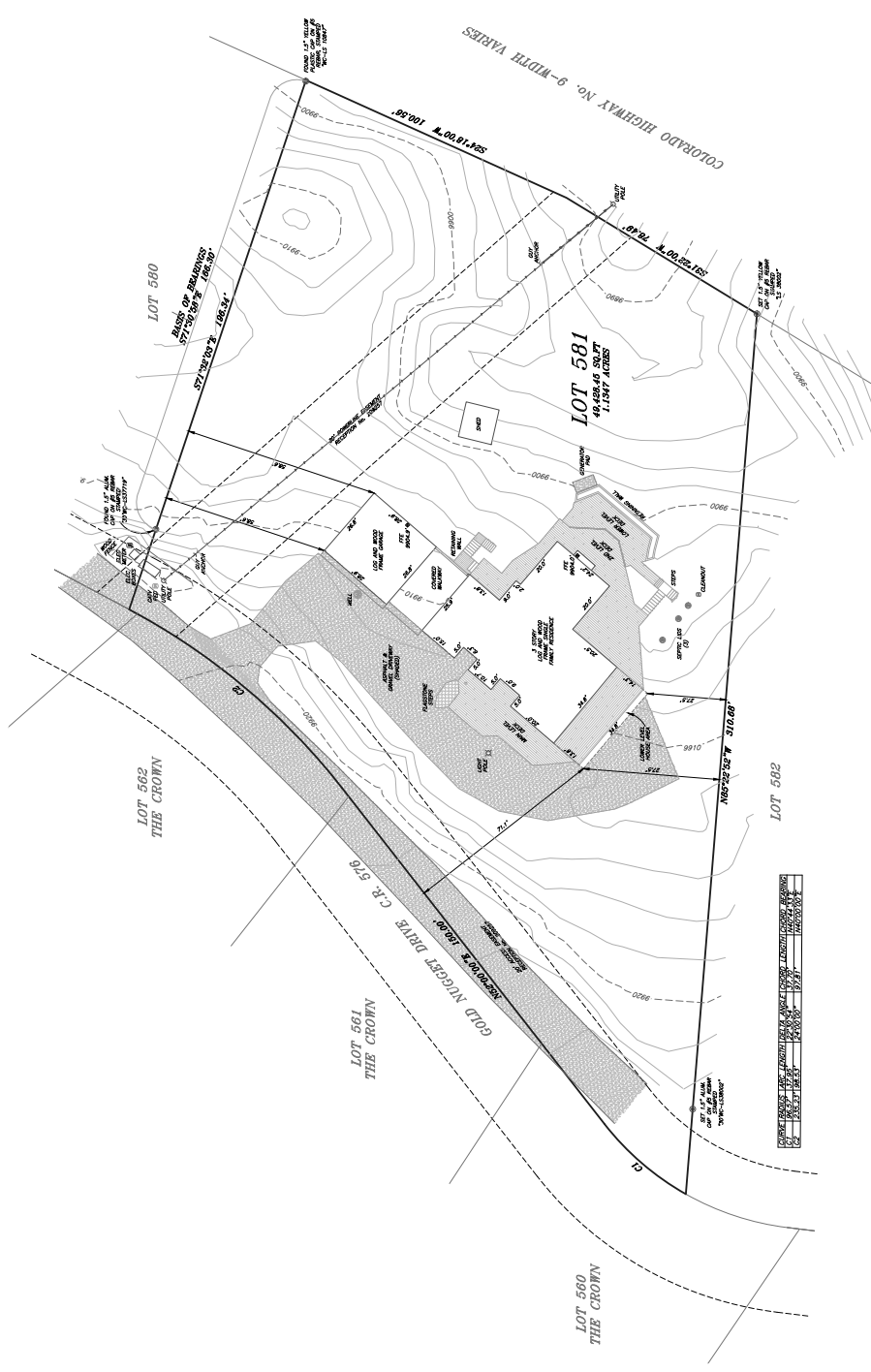
SURVEYOR'S NOTES

- FOR THE PROPERTY REPRESENTED AND ELEMENTS OF RECORD SHOWN HEREON, SURVEYOR J.E. HALLADAY OF THE FIRM OF SURVEYORS HALLADAY & ASSOCIATES, P.C., HAS CONDUCTED A SURVEY ON 10/21/2008. NO TITLE RESEARCH WAS PERFORMED BY HALLADAY & ASSOCIATES, P.C.
- THESE ARE 5-4 FEET OF SURVEY ON THE PROPERTY AT THE TIME OF SURVEY. SOME IMPROVEMENTS MAY NOT BEEN LOCATED.
- BLISS OF HALLADAY, ALONG THE NORTHEAST CORNER OF LOT 581, BETWEEN A 1.5" PLASTIC CAP, STAMPED "50 10047" AND A 1.5" ALUMINUM CAP, STAMPED "50 10047". AN SURVEY WITH A BEARING OF 377.0000° ± 100.00 FEET.

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN IS LOCATED IN THE COUNTY OF SUMMIT, STATE OF COLORADO, AND DESCRIBED AS FOLLOWS:

LOT 581, THE GOLDEN CROWN, ACCORDING TO THE PLAN THEREOF RECORDED JULY 28, 1984 AT RECEPTION NO. 20857.



SURVEYOR'S CERTIFICATE

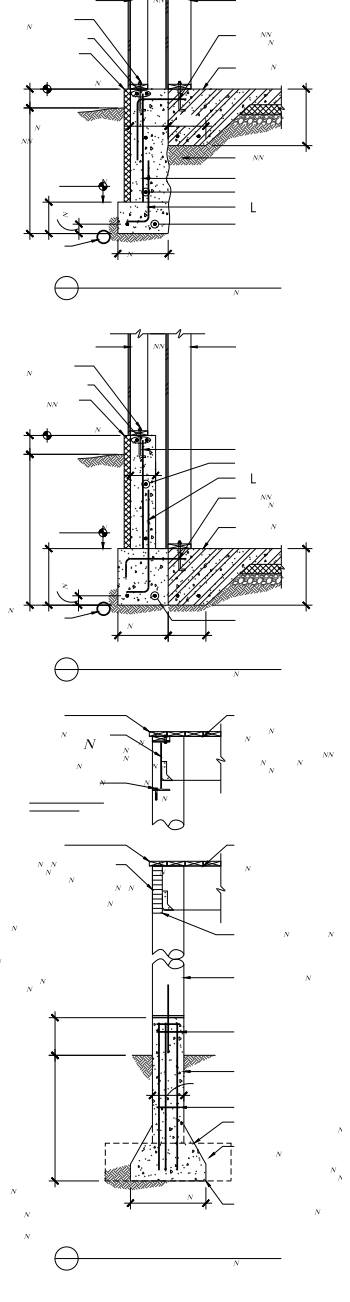
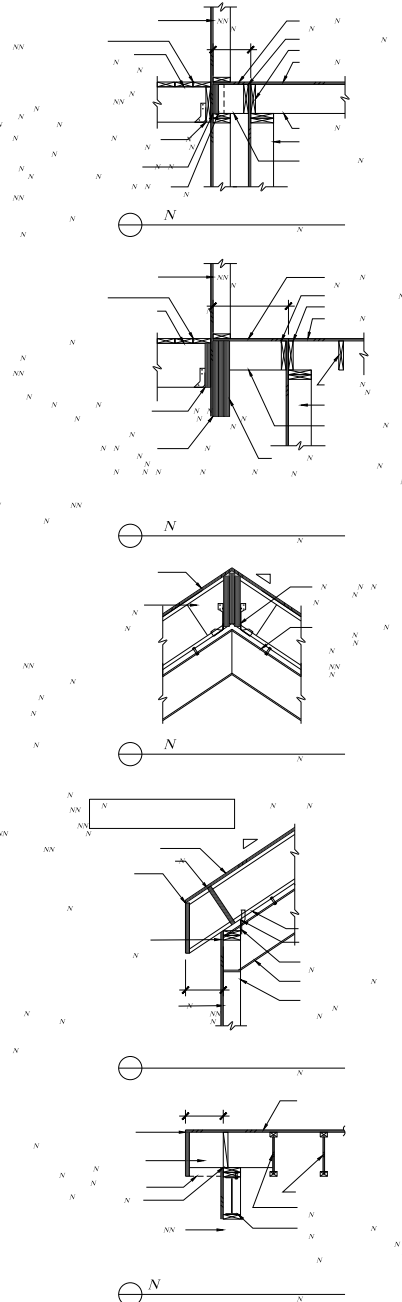
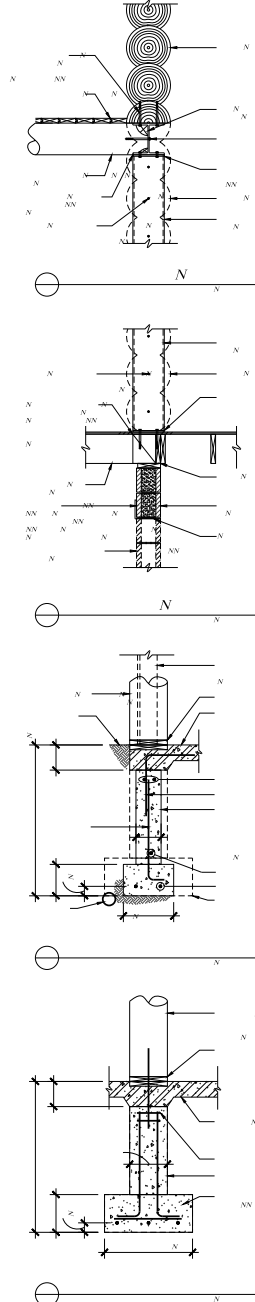
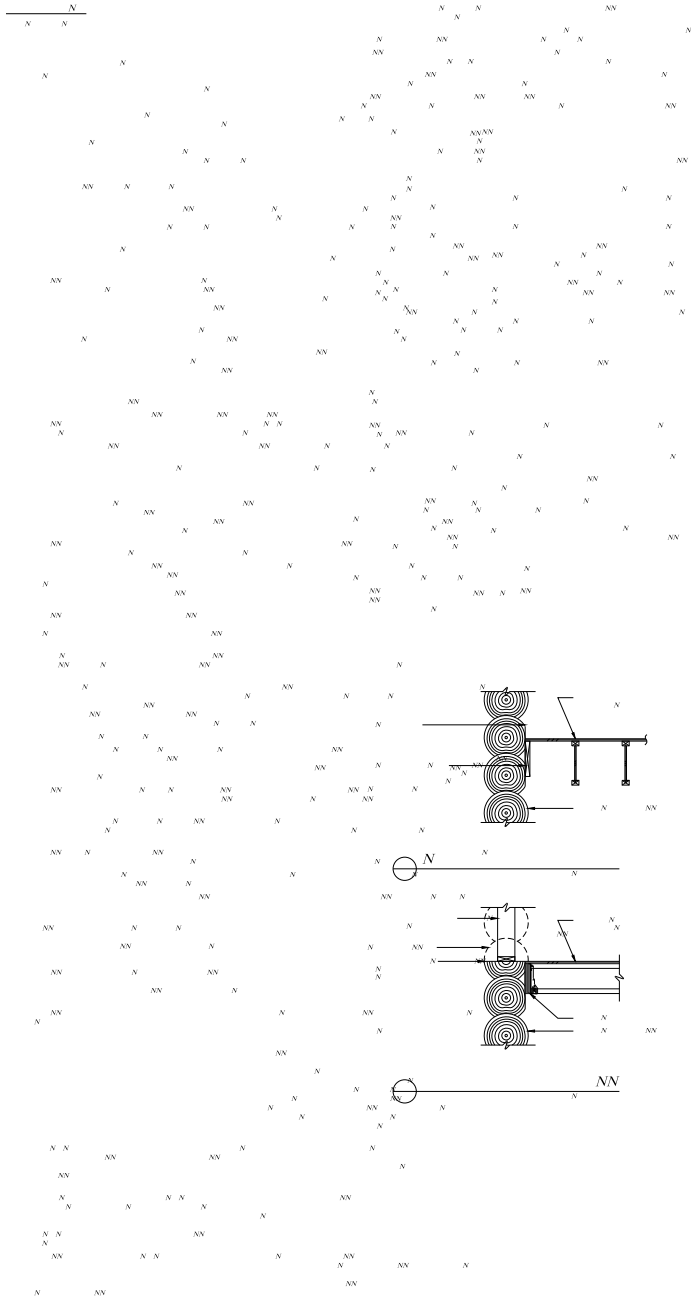
I, GEORGE CHRISTIAN MOODY, BEING A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO DO HEREBY CERTIFY THAT THE TOPOGRAPHIC MAP WAS MADE BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT THE PLATINGS SHOWN HEREBY ARE ACCURATE TO THE BEST OF MY KNOWLEDGE DATED THIS 10th DAY OF JULY, 2008.

GEORGE CHRISTIAN MOODY, P.L.S.
 FOR AND ON BEHALF OF BASELINE SURVEYS, LLC

DATE	BY	REVISIONS
10/21/2008	J.E. HALLADAY	1. INITIAL SURVEY
10/21/2008	J.E. HALLADAY	2. CORRECTED BEARING
10/21/2008	J.E. HALLADAY	3. CORRECTED BEARING
10/21/2008	J.E. HALLADAY	4. CORRECTED BEARING
10/21/2008	J.E. HALLADAY	5. CORRECTED BEARING
10/21/2008	J.E. HALLADAY	6. CORRECTED BEARING
10/21/2008	J.E. HALLADAY	7. CORRECTED BEARING
10/21/2008	J.E. HALLADAY	8. CORRECTED BEARING
10/21/2008	J.E. HALLADAY	9. CORRECTED BEARING
10/21/2008	J.E. HALLADAY	10. CORRECTED BEARING

Baseline Surveys LLC	
TOPOGRAPHIC SURVEY	
A SUBDIVISION OF A PART OF THE SE 1/4 OF SECTION 7 TOWNSHIP 7 SOUTH, RANGE 77 WEST OF THE 6th P.M. SUMMIT COUNTY, COLORADO	
Date	10/21/2008
Scale	Horizontal: 1" = 80'
Drawn By	RDG
Checked By	RDG
Job File	4883
DWG File	4883 TDPO

NOTICE: SURVEYS IN COLORADO ARE TO BE MADE ACCORDING TO THE COLORADO SURVEYING ACT AND THE COLORADO SURVEYING BOARD RULES. THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE SURVEYING ACT AND RULES.



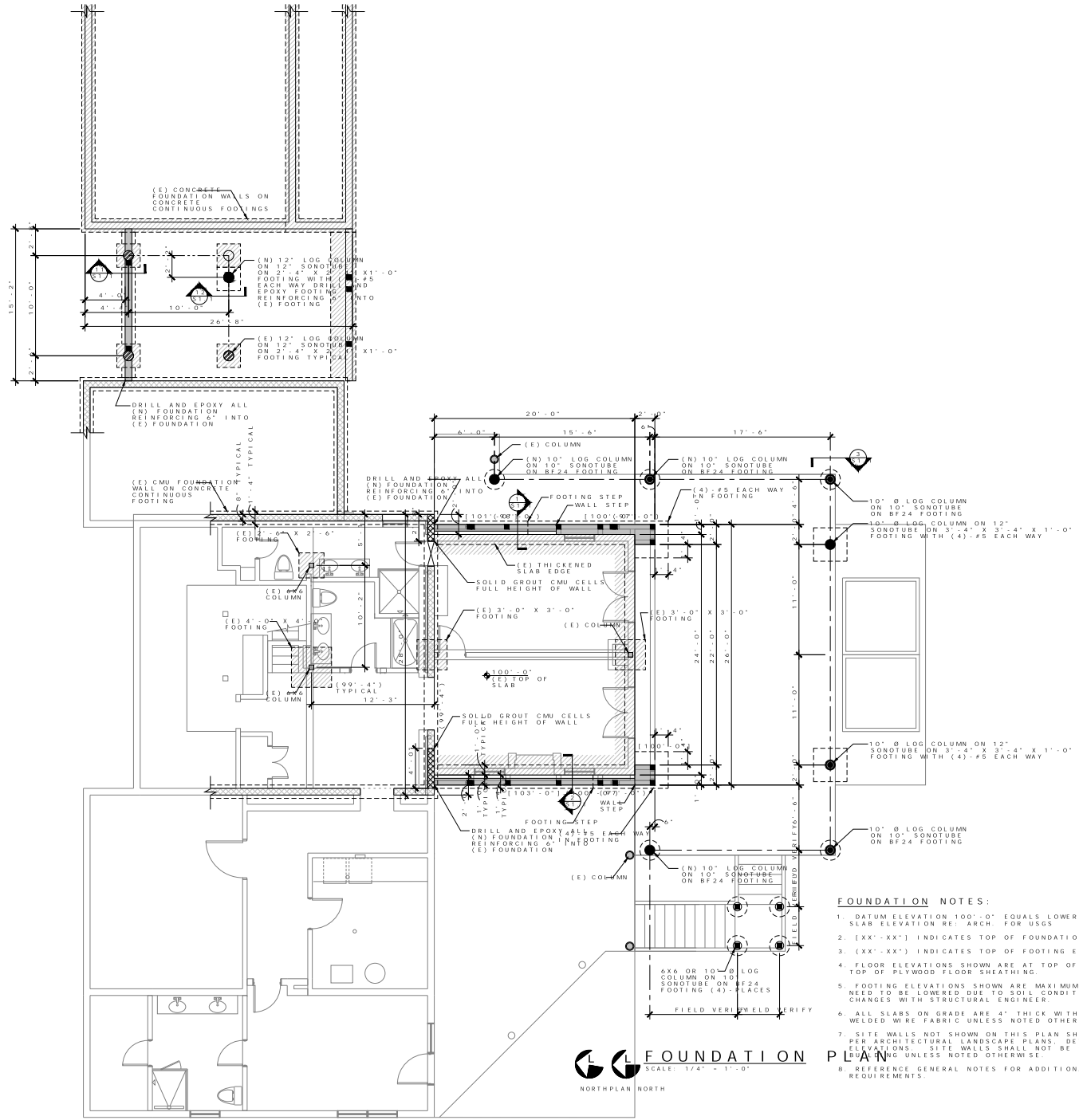
**FOX STRUCTURAL
ENGINEERING, LLC**
216 SHIMMERS WAY
DENVER, CO 80445
(303) 314-0002

DAVIS A A
LOT 58 I, GOLDEN CROWN SUBDIVISION, 25 I GOLD NUGGET DRIVE (CR 576)
BLUE RIVER, COLORADO



PROJECT 2517
DRAWN: CMKF
DATE: 02/06/2026
FOR: PERMIT

SI.1

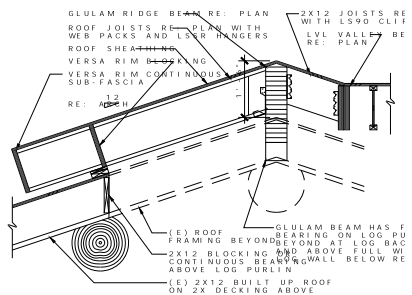


- FOUNDATION NOTES:**
1. DATUM ELEVATION 100'-0" EQUALS LOWER LEVEL TOP OF SLAB ELEVATION RE: ARCH. FOR USGS
 2. [XX'-XX"] INDICATES TOP OF FOUNDATION WALL ELEVATION
 3. (XX'-XX') INDICATES TOP OF FOOTING ELEVATION
 4. FLOOR ELEVATIONS SHOWN ARE AT TOP OF SLAB OR AT TOP OF PLYWOOD FLOOR SHEATHING.
 5. FOOTING ELEVATIONS SHOWN ARE MAXIMUMS AND MAY NEED TO BE LOWERED DUE TO SOIL CONDITIONS. VERIFY CHANGES WITH STRUCTURAL ENGINEER
 6. ALL SLABS ON GRADE ARE 4" THICK WITH 6X6 W2.1XW2 WELDED WIRE FABRIC UNLESS NOTED OTHERWISE.
 7. SITE WALLS NOT SHOWN ON THIS PLAN SHALL BE BUILT PER ARCHITECTURAL LANDSCAPE PLANS, DETAILS AND SPECIFICATIONS. SITE WALLS SHALL NOT BE CONNECTED TO FOUNDATION UNLESS NOTED OTHERWISE.
 8. REFERENCE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.

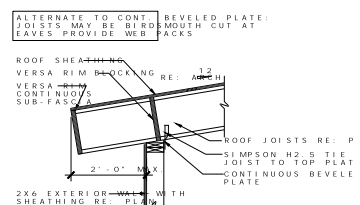
FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"
 NORTHPLAN NORTH



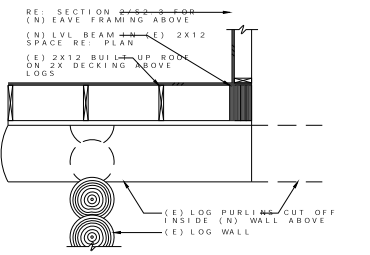
PROJECT #251
 DRAWN: CM/KF
 DATE: 02/06/2017
 FOR PERMIT



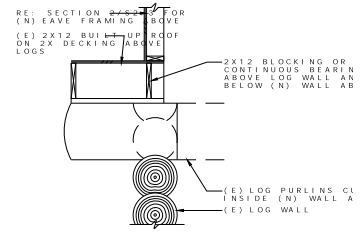
1
 RIDGE SECTION
 SCALE: 3/4" = 1'-0"



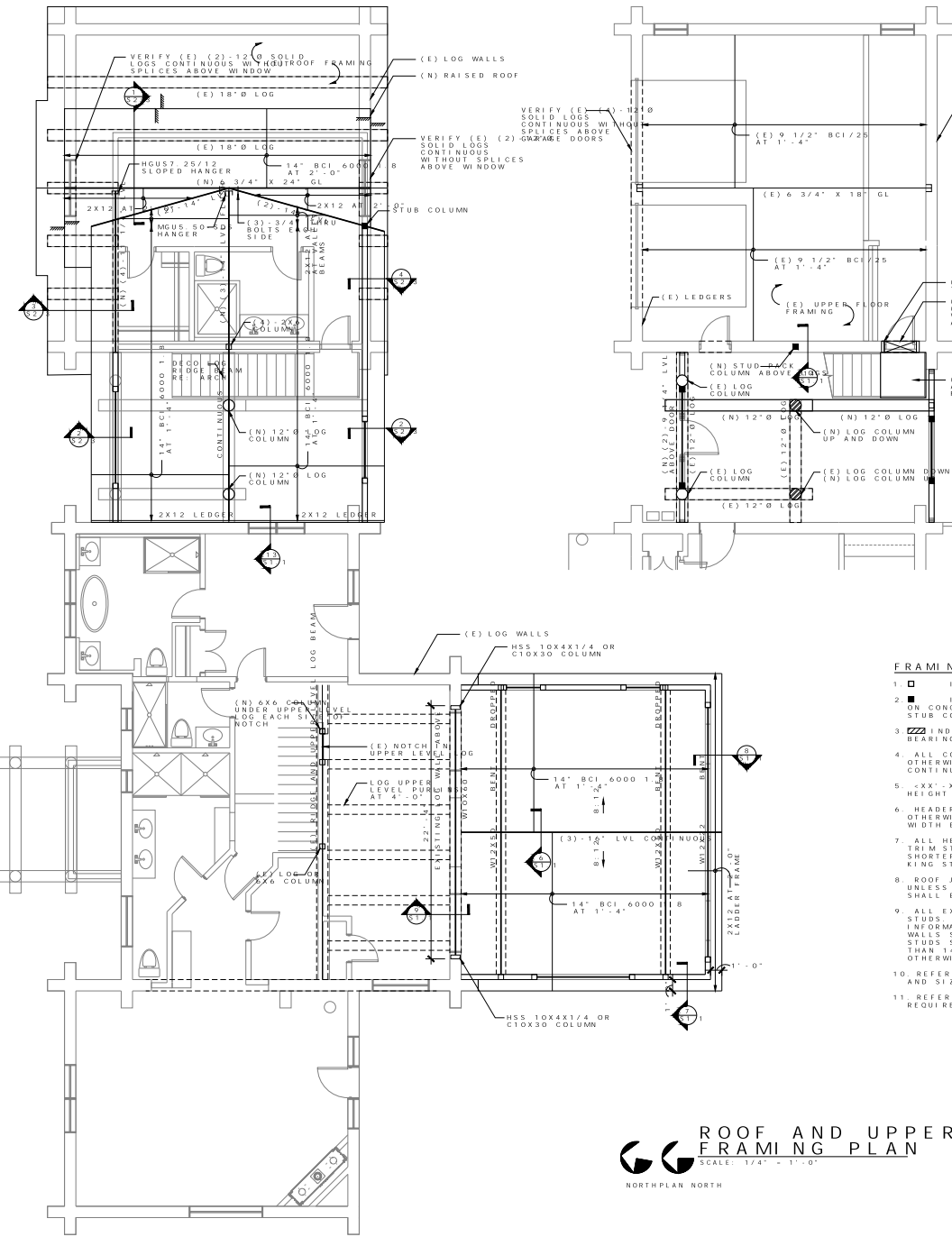
2
 EAVE SECTION
 SCALE: 3/4" = 1'-0"



3
 FRONT RAKE SECTION
 SCALE: 3/4" = 1'-0"



4
 REAR RAKE SECTION
 SCALE: 3/4" = 1'-0"



- FRAMING NOTES:**
1. [Symbol] INDICATES COLUMN DOWN ONLY.
 2. [Symbol] INDICATES COLUMN UP AND DOWN UNLESS IT BEARS ON CONCRETE BELOW, OR IT IS LABELED UP ONLY OR STUB COLUMN.
 3. [Symbol] INDICATES INTERIOR BEARING WALLS. JOISTS BEARING LOCATIONS SHALL LINE UP WITH STUDS BELOW.
 4. ALL COLUMNS SHALL BE (3)-2X6 MINIMUM UNLESS NOTED OTHERWISE. COLUMNS AND STUDS SHALL BE CONTINUOUS FLOOR TO FLOOR OR FLOOR TO ROOF.
 5. 'XX'-XX'- INDICATES TOP OF BEAM ELEVATION OR PLATE HEIGHT ELEVATION.
 6. HEADERS SHALL BE (2)-9 1/4" LVL UNLESS NOTED OTHERWISE. ALL HEADERS SHALL BE BUILT OUT TO 5 1/2" WIDTH BY ADDING RIGID INSULATION RE: ARCH.
 7. ALL HEADERS 6'-0" AND LONGER SHALL REQUIRE TWO TRIM STUDS AND TWO KING STUDS EACH SIDE. HEADERS SHORTER THAN 6'-0" REQUIRE ONE TRIM STUD AND ONE KING STUD EACH SIDE UNLESS NOTED OTHERWISE.
 8. ROOF JOIST HANGERS SHALL BE SIMPSON LSS9 TYPE UNLESS NOTED OTHERWISE. FLOOR JOIST HANGERS SHALL BE SIMPSON IUS TYPE UNLESS NOTED OTHERWISE.
 9. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED USING 2X4 STUDS. REFER TO EXTERIOR WALL DETAILS FOR MORE INFORMATION. STUDS CAN BE SPACED AT 2'-0" FOR WALLS SHORTER THAN 10'-0" UNLESS NOTED OTHERWISE. STUDS SHALL BE SPACED 1'-0" FOR WALLS SHORTER THAN 14'-0" AND TALLER THAN 10'-0" UNLESS NOTED OTHERWISE.
 10. REFERENCE ARCHITECTURAL DRAWINGS FOR LOCATION AND SIZE OF ROUGH OPENINGS IN WOOD STUD WALLS.
 11. REFERENCE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.

ROOF AND UPPER LEVEL FRAMING PLAN
 SCALE: 1/4" = 1'-0"
 NORTHPLAN NORTH

COLORADO DIVISION OF WATER RESOURCES

101 Columbine Bldg., 1845 Sherman St.
Denver, Colorado 80203

KB

THIS FORM MUST BE SUBMITTED
WITHIN 60 DAYS OF COMPLETION
OF THE WORK DESCRIBED HERE-
ON. TYPE OR PRINT IN BLACK
INK.

E

WELL COMPLETION AND PUMP INSTALLATION REPORT

PERMIT NUMBER 53170

WELL OWNER Robert A. Theobald NW ¼ of the SE ¼ of Sec. 7

ADDRESS breckenridge, Colo. 80424 T. 7 S., R. 77 W., 6 P.M.

DATE COMPLETED March 22, , 1972

HOLE DIAMETER

7 in. from 0 to 113 ft.

_____ in. from _____ to _____ ft.

_____ in. from _____ to _____ ft.

WELL LOG

From	To	Type and Color of Material	Water Loc.
0	113	fill	<u>98</u> <u>113</u>
TOTAL DEPTH <u>113</u>			

CASING RECORD: Plain Casing

Size 7 & kind 20 # from 0 to 98 ft.

Size _____ & kind _____ from _____ to _____ ft.

Size _____ & kind _____ from _____ to _____ ft.

Perforated Casing

Size 7 & kind 20# from 98 to 113 ft.

Size _____ & kind _____ from _____ to _____ ft.

Size _____ & kind _____ from _____ to _____ ft.

GROUTING RECORD

Material _____

Intervals _____

Placement Method _____

GRAVEL PACK: Size _____

Interval _____

TEST DATA

Date Tested March 22, , 19 72

Static Water Level Prior to Test _____ ft.

Type of Test Pump Hand

Length of Test _____

Sustained Yield (Metered) 1 gpm

Final Pumping Water Level 56

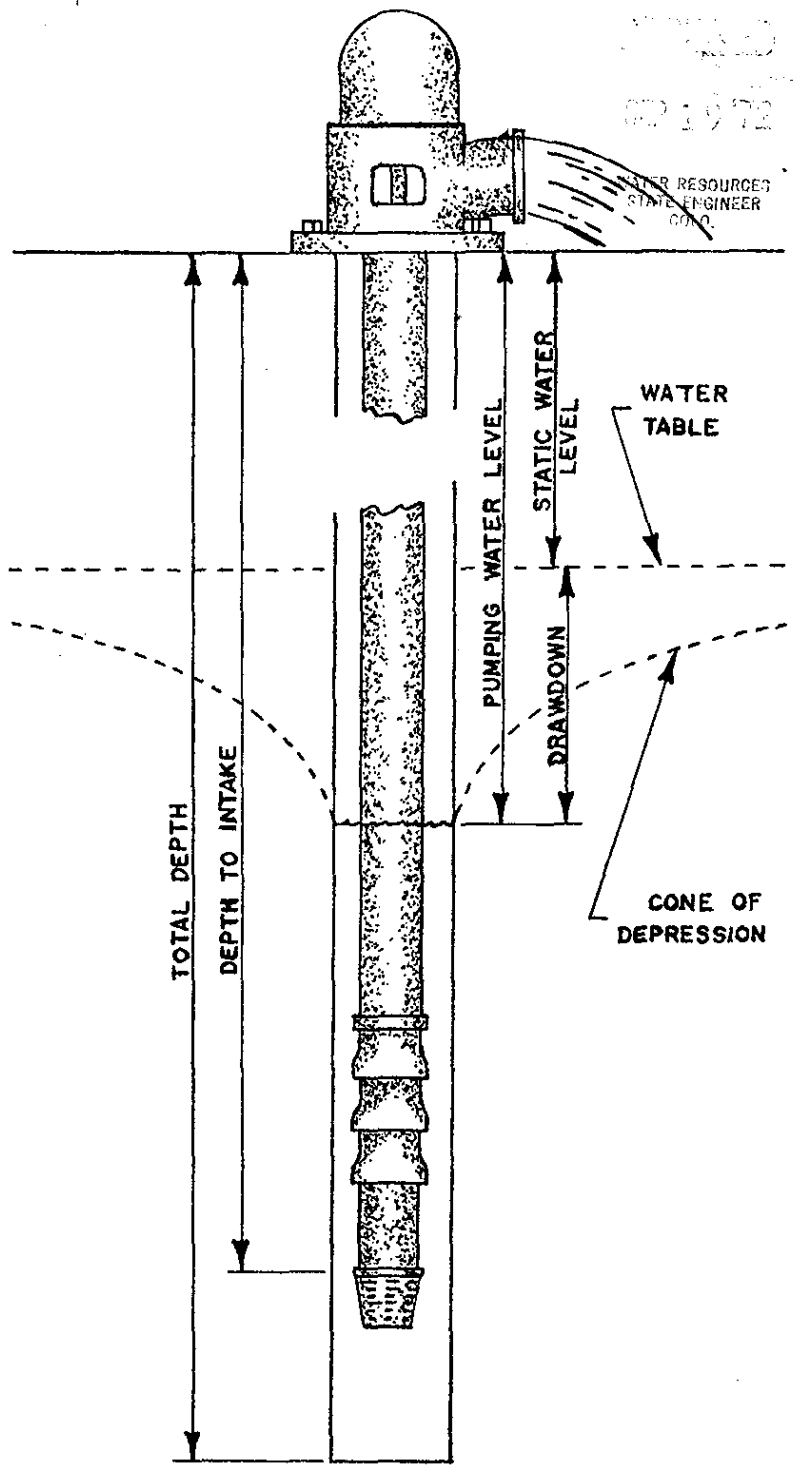
Use additional pages necessary to complete log.

PUMP INSTALLATION REPORT

Pump Make Reda
 Type Submersible
 Powered by Electricity HP 1/2
 Pump Serial No. NA
 Motor Serial No. NA
 Date Installed March 23, 1972
 Pump Intake Depth _____
 Remarks _____

WELL TEST DATA WITH PERMANENT PUMP

Date Tested _____
 Static Water Level Prior to Test _____
 Length of Test _____ Hours
 Sustained yield (Metered) 1 GPM
 Pumping Water Level 56
 Remarks _____



CONTRACTORS STATEMENT

The undersigned, being duly sworn upon oath, deposes and says that he is the contractor of the well or pump installation described hereon; that he has read the statement made hereon; knows the content thereof, and that the same is true of his own knowledge.

Signature William S. Shelton License No. 381

State of Colorado, County of Summit SS

Subscribed and sworn to before me this 18 day of September, 19 72

My Commission expires: February 18, 19 76.

Notary Public Shirley Eller

des RECEIVED

MAR 7 '72

TYPE OR PRINT IN BLACK INK. APPLICATION MUST BE COMPLETED BEFORE ACCEPTANCE.

APPLICATION FOR:

- A PERMIT TO USE GROUND WATER
- A PERMIT TO CONSTRUCT A WELL
- REPLACEMENT FOR NO. _____
- A PERMIT TO INSTALL A PUMP
- OTHER _____

APPLICANT Lois G. Theobald
Robert A. Theobald

Street Address _____

City & State Breckenridge, Colorado

Telephone No. 453-2286

NAME OF AQUIFER GROUND WATER IS TO BE OBTAINED

FROM: Bedrock

PROPOSED TOTAL DEPTH OF WELL 80 Ft.

ESTIMATED MAXIMUM PUMPING RATE 15 GPM

AVERAGE ANNUAL AMOUNT OF GROUND WATER TO BE

APPROPRIATED 7 Acre-feet

ANTICIPATED GROUT PROGRAM

Material Cement

Intervals _____

Placement Method Gravel

PROPOSED CASING:

Plain 7 in. from 0 ft. to 30 ft.

_____ in. from _____ ft. to _____ ft.

Perf. 5 9/16 in. from 30 ft. to 80 ft.

_____ in. from _____ ft. to _____ ft.

Driller Golden Eagle Drilling No. 387

Address Box 475 Friess, Colo. 80443

IF WELL IS USED FOR IRRIGATION, BACK SIDE OF THIS APPLICATION MUST BE COMPLETED. 2/608

GROUND WATER TO BE USED FOR:

- DOMESTIC (1) _____ COLORADO STATE ENGINEER (4)
- _____ LIVESTOCK (2) _____ INDUSTRIAL (5)
- _____ MUNICIPAL (8) _____ IRRIGATION (6)
- _____ OTHER _____

WELL LOCATION

COUNTY Summit

NW $\frac{1}{4}$ of the SE $\frac{1}{4}$ of Section 7

T. 7 S., R. 77 West, 6th P.M.

IN ADDITION TO THE ABOVE, THE WELL MUST BE LOCATED WITH REFERENCE TO GOVERNMENT SURVEY CORNERS, MONUMENTS OR SECTION LINES BY DISTANCE AND BEARING (DOMESTIC WELLS MAY BE LOCATED BY LOT, BLOCK, & SUBDIVISION.)

1,100 ft. from South section line
(North or South)

1,200 ft. from East section line
(East or West)

LOT _____ BLOCK _____ FILING # _____

SUBDIVISION Crown Subdivision
Blue River Estates

Town of Blue River

Ground Water Basin _____

Water Mgmt. Dist. _____

Anticipated drilling date March 19 72

Owner of land on which well is located:

Same

Other water rights on this land _____

Robert A. Theobald
Signature of Applicant

FOR OFFICE USE ONLY

CONDITIONS OF APPROVAL

APPLICATION APPROVED: VALID FOR ONE (1) YEAR AFTER DATE ISSUED UNLESS EXTENDED FOR GOOD CAUSE SHOWN TO THE ISSUING AGENCY.

PERMIT NO. 53170

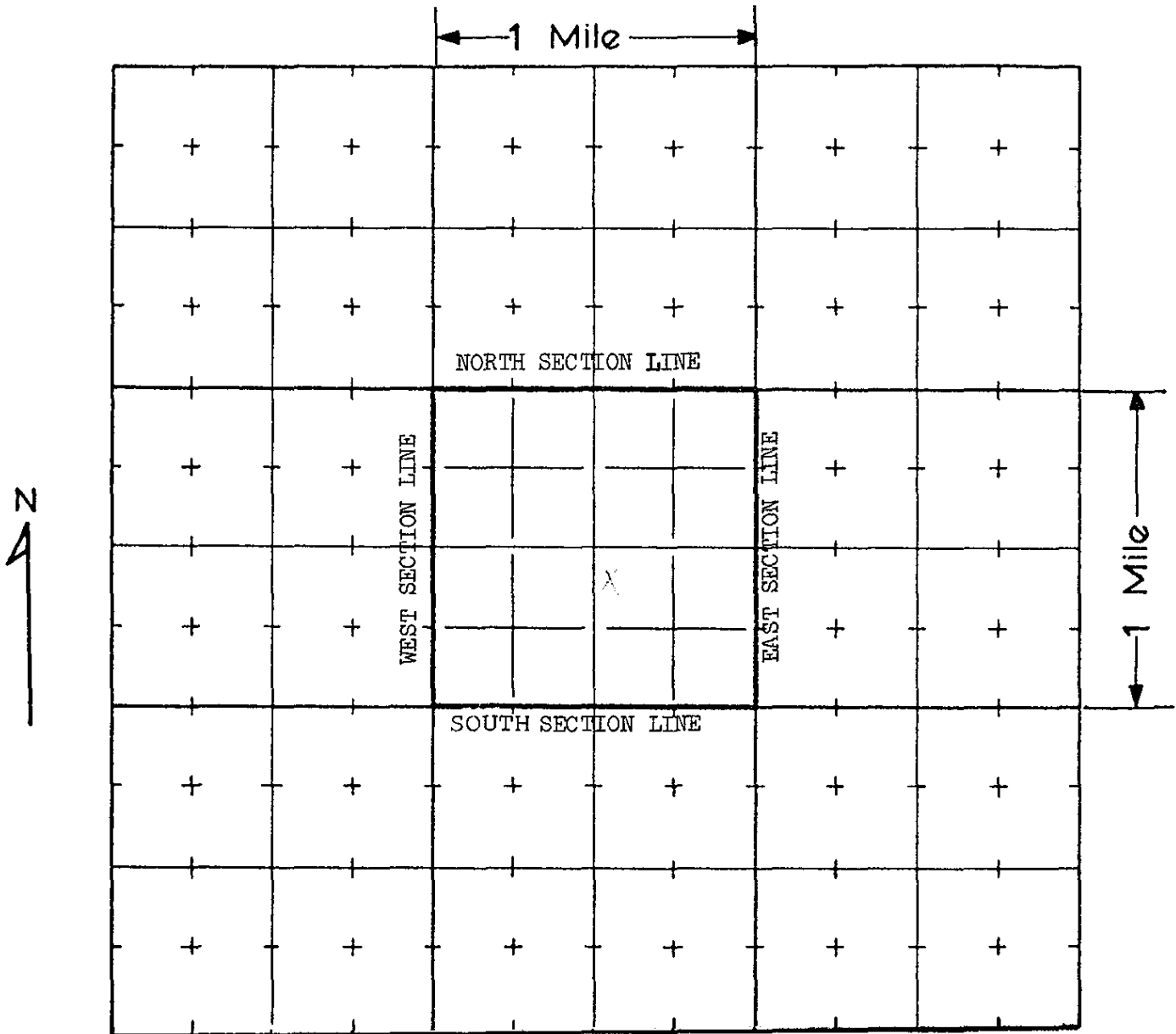
DATE ISSUED MAR 15 1972

STATE ENGINEER *[Signature]*

BY Donlan W. Ebers

THE LOCATION OF THE PROPOSED WELL MUST BE SHOWN AND THE AREA TO BE IRRIGATED MUST BE SHADED OR CROSS-HATCHED ON THE DIAGRAM BELOW

This diagram represents nine (9) sections. Use the CENTER SQUARE (one section) to indicate the location of the well, if possible.



THE SCALE OF THE DIAGRAM IS TWO INCHES EQUALS ONE-MILE

Owner of irrigated land _____ Number of acres to be irrigated _____

Legal description of irrigated land _____

WATER EQUIVALENTS TABLE (Rounded Figures)

- An acre-foot covers 1 acre of land 1 foot deep.
- 1 cubic foot per second (cfs) 449 gallons per minute
- 1 acre-foot 43,560 cubic feet 325,900 gallons.
- 1,000 gpm pumped continuously for one day produces 4.42 acre-feet.
- 100 gpm pumped continuously for one year produces 160 acre-feet.

TO: Town Manager/Clerk
FROM: Kyle Parag, Plan Reviewer - CAA
DATE: February 19, 2026
RE: Planning/Zoning/Architectural Guidelines review – 0015 Wilderness

Below please find staff's analysis that outlines the review with the Town's Zoning regulations and adopted Architectural Design Guidelines for the structure proposed

Zoning Regulation analysis –

Proposal: A new single-family residence with an attached garage. The proposed 2 story, 4 bedroom, 4 bath home, includes 2400 s.f. of living space and an attached 600 s.f., 2 vehicle garage for a combined 3000 square feet.

Zoning district: R-1

Lot Size: ~ 13,389 sq. ft.
80,000 sq. ft. Required– Existing Non-Conforming

Lot Width: ~ 159'
100 ft. Required - Complies

Setbacks: Proposed principal residence complies with required setbacks based upon submitted docs.

Height: Complies with required height limitations. The height at the highest roof ridge is proposed at 26'3"

Garage Stds: The proposed garage is ~600 sq. ft. and complies with the standards for structures less than 5,000 sq. ft. in habitable size.

Parking Stds: Parking requirements will be met through the proposed garage and exterior parking.

Architectural Design Guideline analysis -

Please note the following key to the interpretation of the analysis table:

Y	Element is in substantial compliance with the design guidelines
N	Does not comply with the design guidelines
PC	Subject to Planning Commission Specific approval
	Requires additional information from applicant
N/A	Not Applicable to the application

STANDARD	NOTES/REMARKS	SUBSTANTIAL COMPLIANCE
DEVELOPMENT STANDARD		
Article 3: Easements	Easements are indicated	Y
Article 4: Buildable Area/setbacks	Front setback is measured from the actual road location, significantly reducing buildable area on this lot.	Y
Article 5 Building Design Standards		
Article 5-20 Building Height	Height is indicated at 26'	Y
Article 5-60 Foundation	Foundation covering is unclear, as exposed concrete is indicated on one of the elevations, but stone base is indicated on the color board.	Y
Article 5-70 Roofs	Main roof design is a gable roof with a slope of 6:12	Y
Article 5-80 Garages	Garage door has a contemporary design but complements the home.	Y
Article 5-90 Window and doors	Windows are large for the home proportions	PC
Article 5-100	Horizontal wire is indicated	Y

Balconies and railings		
Article 5-110 Chimney and Roof Penetrations	None indicated, but a fireplace is indicated on the floor plan. Appears to be a sidewall vent.	Y
Article 6 Building Materials and Colors		
Article 6-20 Materials	Siding is horizontal lap.	Y
Article 6-30 Colors	Colors are provided and show general compliance. Very dark color patterns.	Y
Article 7 Accessory Improvements		
Article 7-(20-40, 110) Berms, Garages, sheds and Gazebos	None indicated. Garage is indicated at 600 Sqft	Y
Article 7-50 Driveways	Width indicated at 16'. Slopes are minimal	Y
Article 7-60 Parking Areas	Parking comprises of 2 interior spaces and one exterior space.	Y
Article 7-100 Decks	Large covered deck is proposed, shows general conformance	Y
Article 7-120 Hot Tubs	None indicated, however there is a patio that is into the setbacks, where a hot tub would not be permitted.	Y
Article 7-140 Fences	None indicated	Y
Article 7-150 Retaining walls	None indicated	Y
Article 8 Signs		

Article 8 Signs	None indicated	Y
Article 9 Lighting		
Article 9 Lighting	Downcast lights are indicated on the elevations, but specifications are not provided.	Y
Article 13 Environmental Regulations		
Article 13-20 Wetlands	Small section located on property, very close to construction, disturbance plan will be required.	Y

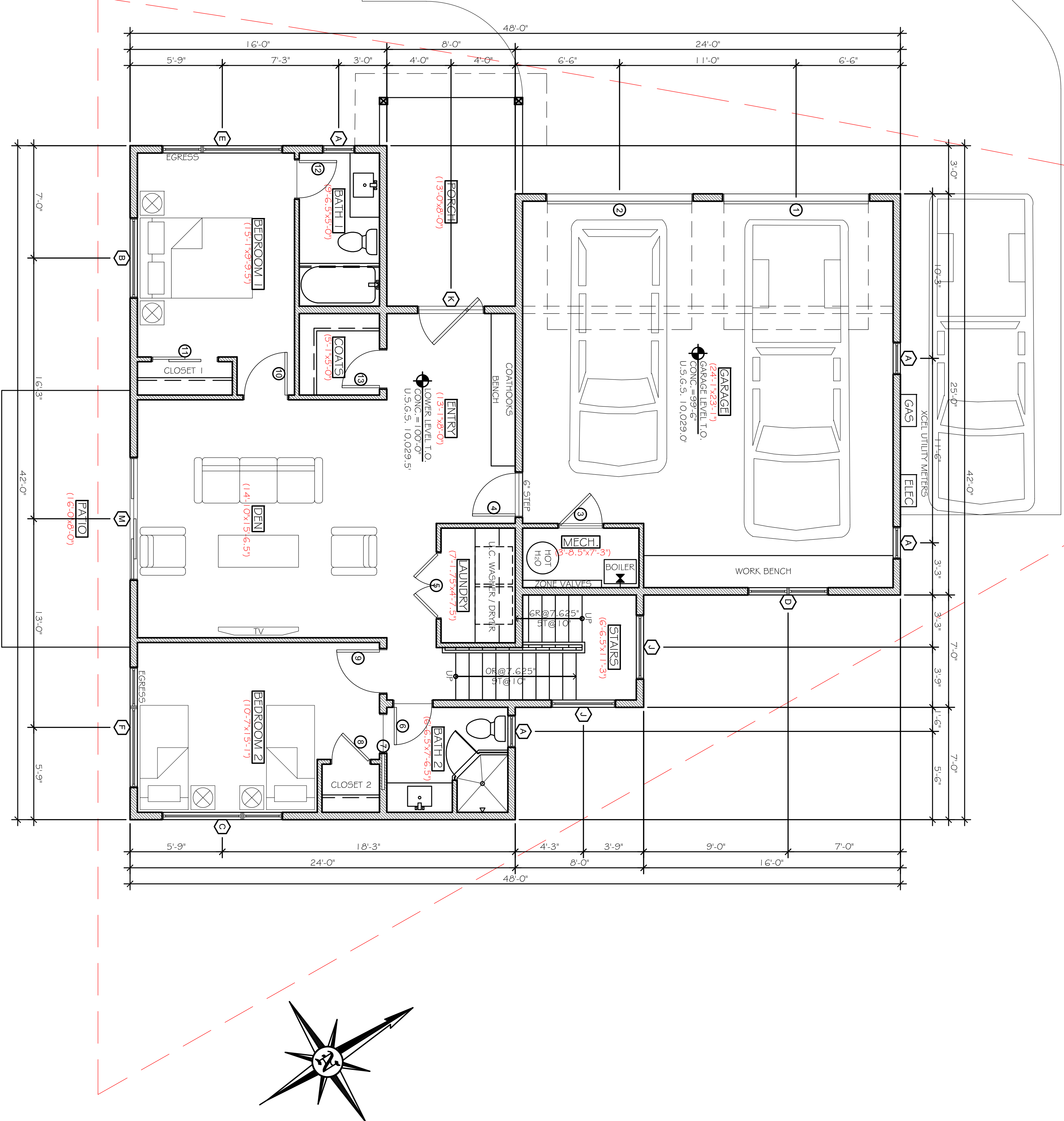
GENERAL NOTES

- The set of drawings contained within constitutes a "Builder's Set" only. The Contractor shall be responsible for all existing conditions, project coordination, finishes and detailing to complete the project per "Construction Industry Standards".
- These drawings are an instrument of service and are the exclusive property of EQUINOX Architecture LLC. They may not be duplicated, disclosed, or reproduced without the expressed written consent of EQUINOX Architecture LLC.
- Due to the complexity of the Design and Construction process, omissions and discrepancies may arise. Notify the Architect immediately to resolve any issues prior to any construction. Failure to do so shall relieve the Architect from any and all consequences.
- Changes from the plans made without consent of the Architect are unauthorized and shall relieve the Architect of responsibility of any and all consequences resulting from such changes.
- All construction and construction methods shall be in compliance of all applicable codes in force at the time of construction. This project is designed in accordance with the 2018 IRC as amended and adopted by the Town of Blue River Building Department.
- Contractor shall follow all Blue River construction guidelines.
- Due to harsh winter conditions, roof and deck surfaces must be maintained relatively free of ice and snow in order to mitigate any possible problems with these surfaces.
- All dimensions are to face of wood or concrete, verify all dimensions shown on plans prior to construction start (do not scale drawings) and notify Architect of any discrepancies.
- Floor elevations are given to top of concrete slabs and / or plywood floor decks.
- Square footage calculations are for code purposes only and should be recalculated for any other purpose.
- See floor plans for stair rise and run dimensions.
- All exterior walls are 2x6 frame construction. Interior walls are 2x4 and 2x6 frame construction, and all plumbing walls are 2x6 frame construction, unless noted otherwise.
- All interior walls and ceilings are to have 5/8" type X gypsum board, unless noted otherwise. Provide 5/8" moisture resistant gypsum board at walls and ceilings in moisture prone areas such as bathrooms and laundry room. Texture for all drywall areas to be selected or approved by Owner.

#	SIZE	TYPE	MATER.	COMMENTS
1	9'-0"x8'-0"	OVERHEAD	FIBERGLASS	INSULATED W/ LIGHTS & SLIDING FR. ELEVATIONS
2	9'-0"x8'-0"	OVERHEAD	FIBERGLASS	INSULATED W/ LIGHTS & SLIDING FR. ELEVATIONS
3	2'-8"x7'-0"	SWING (L.H.)	WOOD	SOLID CORE, 4-PANEL, 20 MIN. RATED, THRESHOLD
4	2'-8"x7'-0"	SWING (L.H.)	WOOD	SOLID CORE, 4-PANEL, 20 MIN. RATED, THRESHOLD
5	4'-0"x7'-0"	DBL. SWING	WOOD	SOLID CORE, 4-PANEL
6	2'-4"x7'-0"	SWING (R.H.)	WOOD	SOLID CORE, 2-PANEL, PRIVACY
7	2'-4"x7'-0"	ROCKET	WOOD	SOLID CORE, 2-PANEL, PRIVACY
8	2'-4"x7'-0"	SWING (R.H.)	WOOD	SOLID CORE, 2-PANEL
9	2'-8"x7'-0"	SWING (R.H.)	WOOD	SOLID CORE, 2-PANEL, PRIVACY
10	2'-8"x7'-0"	SWING (R.H.)	WOOD	SOLID CORE, 2-PANEL, PRIVACY
11	4'-0"x7'-0"	DBL. B+PASS	WOOD	SOLID CORE, 4-PANEL
12	2'-4"x7'-0"	SWING (L.H.)	WOOD	SOLID CORE, 2-PANEL, PRIVACY
13	2'-4"x7'-0"	SWING (L.H.)	WOOD	SOLID CORE, 4-PANEL
14	2'-4"x7'-0"	SWING (R.H.)	WOOD	SOLID CORE, 2-PANEL, PRIVACY
15	2'-4"x7'-0"	ROCKET	WOOD	SOLID CORE, 2-PANEL, PRIVACY
16	2'-8"x7'-0"	SWING (R.H.)	WOOD	SOLID CORE, 2-PANEL, PRIVACY
17	2'-0"x7'-0"	SWING (L.H.)	WOOD	SOLID CORE, 4-PANEL
18	4'-0"x7'-0"	DBL. B+PASS	WOOD	SOLID CORE, 4-PANEL
19	2'-4"x7'-0"	SWING (L.H.)	WOOD	SOLID CORE, 2-PANEL, PRIVACY
20	2'-4"x7'-0"	SWING (R.H.)	WOOD	SOLID CORE, 2-PANEL, PRIVACY
21	2'-4"x7'-0"	SWING (L.H.)	WOOD	SOLID CORE, 4-PANEL
22	2'-8"x7'-0"	SWING (R.H.)	WOOD	SOLID CORE, 2-PANEL, PRIVACY

DOOR NOTES

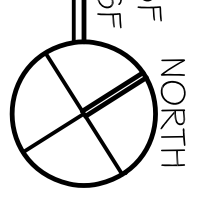
- See floor plans for door locations and swings.
- Doors and jambs to be fire rated where required by code. Fire Rated doors to be tight fitting solid core, 20-minute rated with threshold.
- Contractor to confirm all rough openings, swings, and jamb widths prior to ordering.
- All doors are to be solid core construction (1-3/4" thickness) with knobby alder, unless noted otherwise.
- Locate doors 4 1/2" from nearest perpendicular wall or centered in wall unless noted or drawn otherwise.
- Provide track, opener mechanism & remotes for over-head garage doors.
- Door symbols on plans are noted as Ⓞ.



LOWER LEVEL PLAN

1/4"=1'-0"

LIVABLE: 984 SF
GARAGE: 600 SF



	<h3>15 Wilderness Residence</h3>	
	<p>15 Wilderness Drive Lot 230, Wilderness Subdivision, Blue River Estates, Town of Blue River, Summit County, Colorado</p>	
<p>© 2026 job # 19025 date 2/3/26 drawn by RND checked by RND</p>	<p>REVISIONS: Town of Blue River P & Z Submittal</p>	<p>EQUINOX ARCHITECTURE LLC P.O. Box 6217, Breckenridge, CO 80424 970.453.9619 (phone & fax) www.equinoxarchitecture.com</p>
<p>sheet</p> <h1>A2</h1> <p>of 6</p>		

INSULATION NOTES

PROVIDE MINIMUM INSULATION FOR ASSEMBLIES PER 2018 IECC AS ADOPTED BY THE TOWN OF BLUE RIVER BUILDING DEPARTMENT AS FOLLOWS:

- 1) Exterior walls: R-23 Cavity + R-3 Exterior
- 2) Exterior Roof / Ceilings: R-49
- 3) Crawlspace / Cantilever Floors: R-38
- 4) Basement Walls: R-15 Continuous Insulated Sheathing or R-19 Cavity
- 5) Crawlspace Walls: R-15 Continuous Insulated Sheathing or R-19 Cavity
- 6) Under slabs: R-10
- 7) Windows: U-.32
- 8) Skylights: U-.55

PROVIDE THE FOLLOWING INSULATION:

EXTERIOR WALLS: ZIP System continuous insulated sheathing (R-3), 2" of sprayed, closed-cell, polyurethane insulation (R-13), plus 3.5" fiber-glass batt insulation (R-13)

ROOF: 6" of sprayed, closed-cell, polyurethane insulation (R-39), plus 8" blown-in batt (BIBS) insulation (R-29)

GARAGE CEILING: 11.08" Down-in batt (BIBS) insulation (R-43)

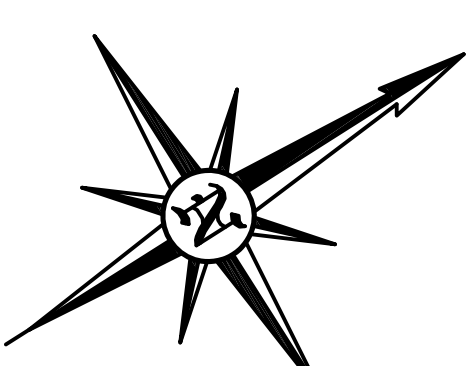
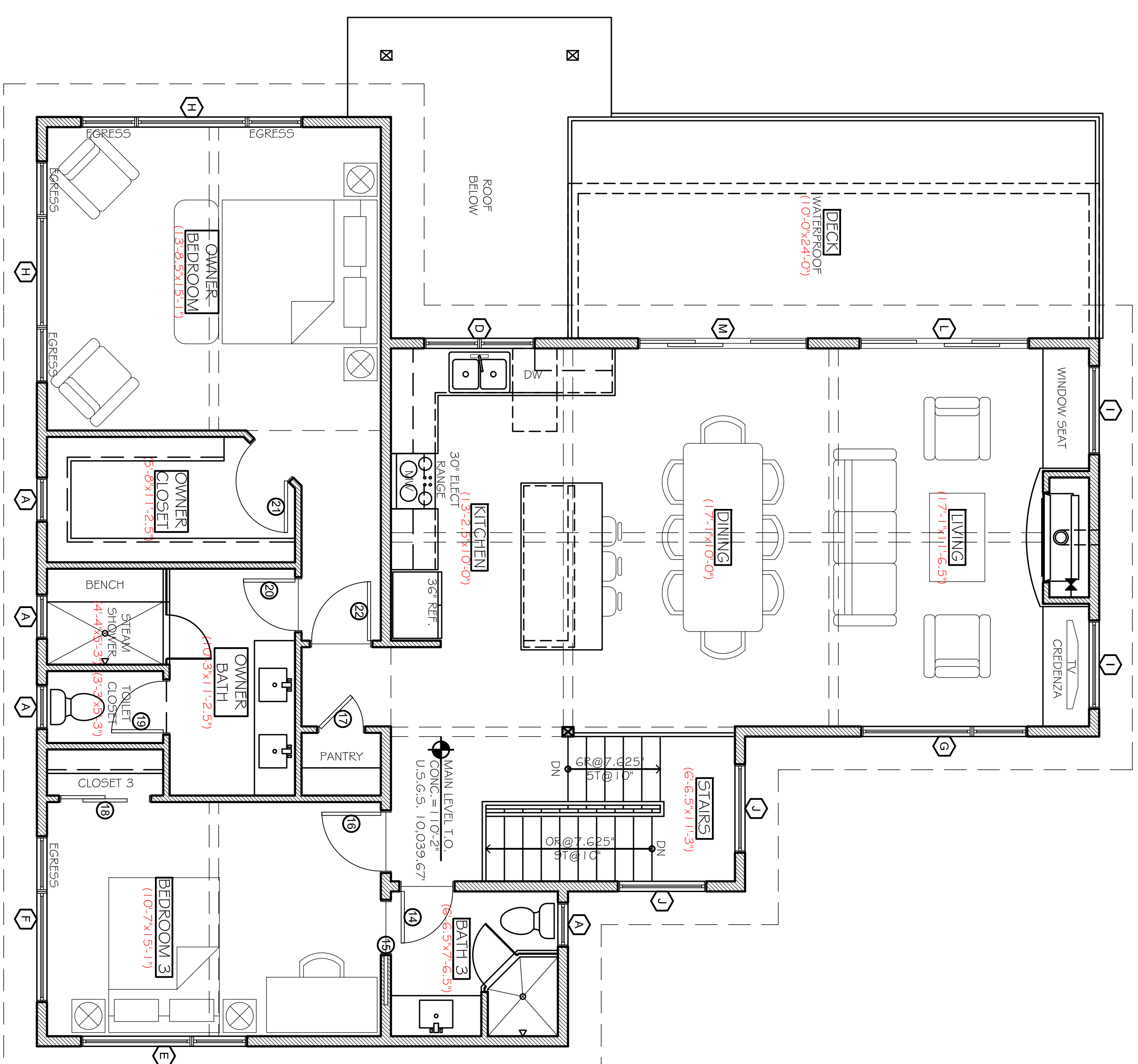
GARAGE INTERIOR WALL: 5.5" Down-in batt (BIBS) insulation (R-20)

FOUNDATION WALLS: 2" Continuous insulation exterior board (R-10), plus 1.5" of sprayed, closed-cell, polyurethane cavity insulation (R-10)

UNDER-SLAB: 2" Heated HFO under-slab, sprayed-foam insulation (R-15)

INTERIOR FLOORS: R-19 Fiberglass Batts with foil-face, facing upward

INTERIOR WALLS: R-11 Fiberglass Batts



UPPER LEVEL PLAN

1/4"=1'-0"

LIVABLE: 1,416 SF



15 Wilderness Residence

15 Wilderness Drive
 Lot 230, Wilderness Subdivision, Blue River Estates,
 Town of Blue River, Summit County, Colorado



EQUINOX ARCHITECTURE LLC

P.O. Box 6217, Breckenridge, CO 80424
 970.453.9619 (phone & fax)
 www.equinoxarchitecture.com

©	2026
job #	19025
date	2/3/26
drawn by	RKD
checked by	RKD
REVISIONS:	
Town of Blue River	
P & Z Submittal	

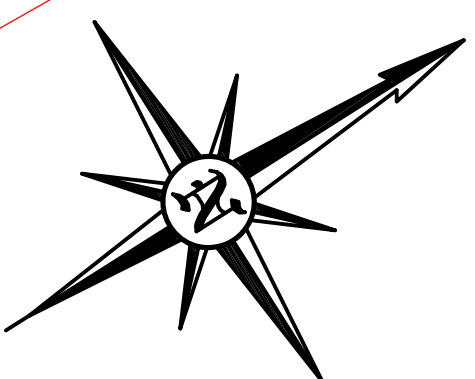
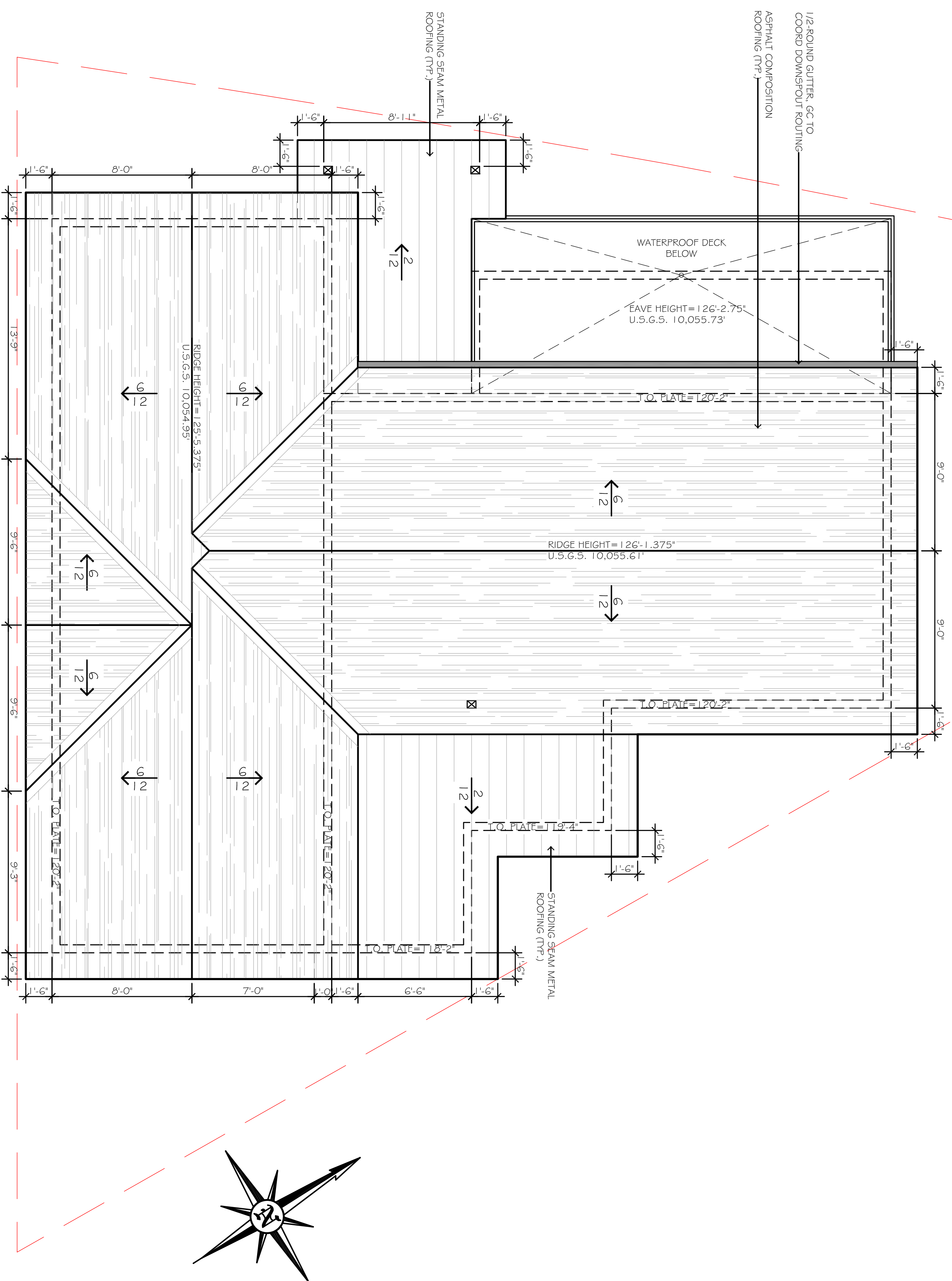
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ROOFING NOTES

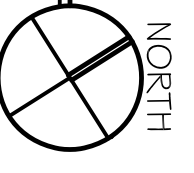
1. All roof overhang dimensions are finish dimensions.
2. Plywood roof sheathing to be covered with W.R. Grace "Ultra" heat-resistant Ice & Water Shield membrane (or approved equal), applied per manufacturer's recommendations.
3. Roof material shall be GAF Timberline HD asphalt composition shingle roofing at 6:12 gable roof areas.
4. Roof material shall be Premium Panel standing seam metal roofing (SMAF-675) at 2:12 shed roof areas.
5. Verify location of all plumbing vent penetrations prior to installation - locate away from roof valleys and within 5'-0" of roof ridge.
6. All valley, cave and wall flashing and all roof penetrations shall be pre-finished galvanized metal, unless noted otherwise.
7. All ridge elevations are given to top of finished roofing.
8. Provide electrical junction boxes for future heat tape near side wall terminations.
9. Provide structural support, and electrical rough-in for future photovoltaic solar panels.



ROOF PLAN

1/4"=1'-0"

ROOF AREA: 1,799 SF
WATERPROOF DECK: 240 SF



15 Wilderness Residence

15 Wilderness Drive
Lot 230, Wilderness Subdivision, Blue River Estates,
Town of Blue River, Summit County, Colorado



EQUINOX ARCHITECTURE LLC

P.O. Box 6217, Breckenridge, CO 80424
970.453.9619 (phone & fax)
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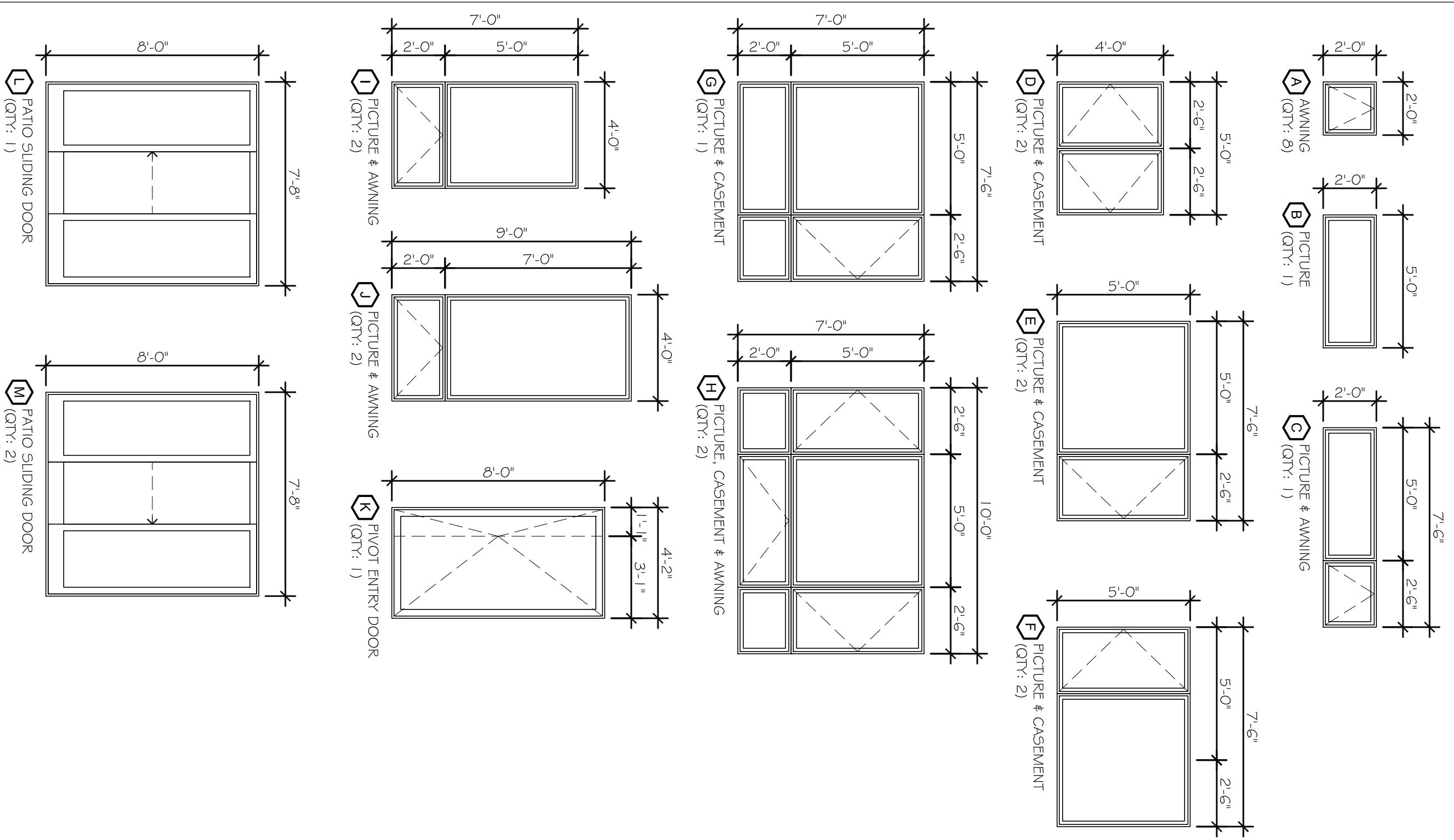
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job # 19025
date 2/3/26
drawn by RND
checked by RND
REVISIONS:
Town of Blue River
P & Z Submittal

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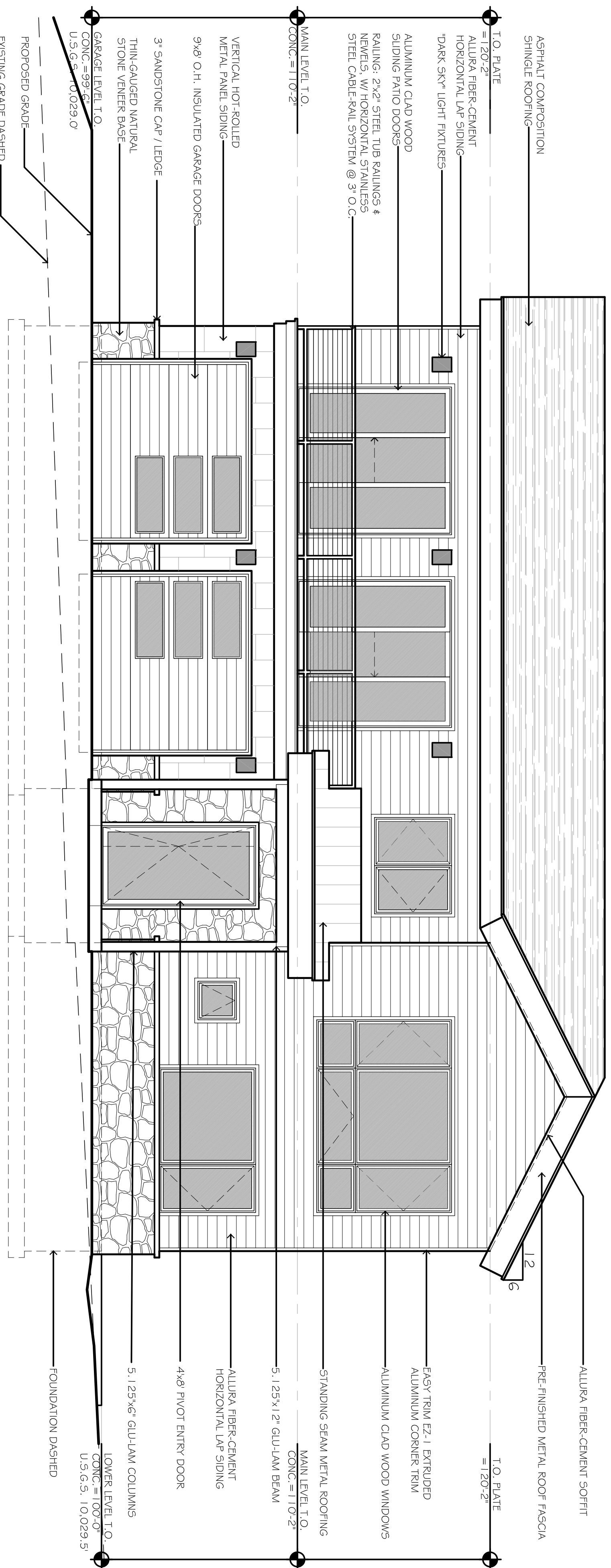
WINDOW SCHEDULE



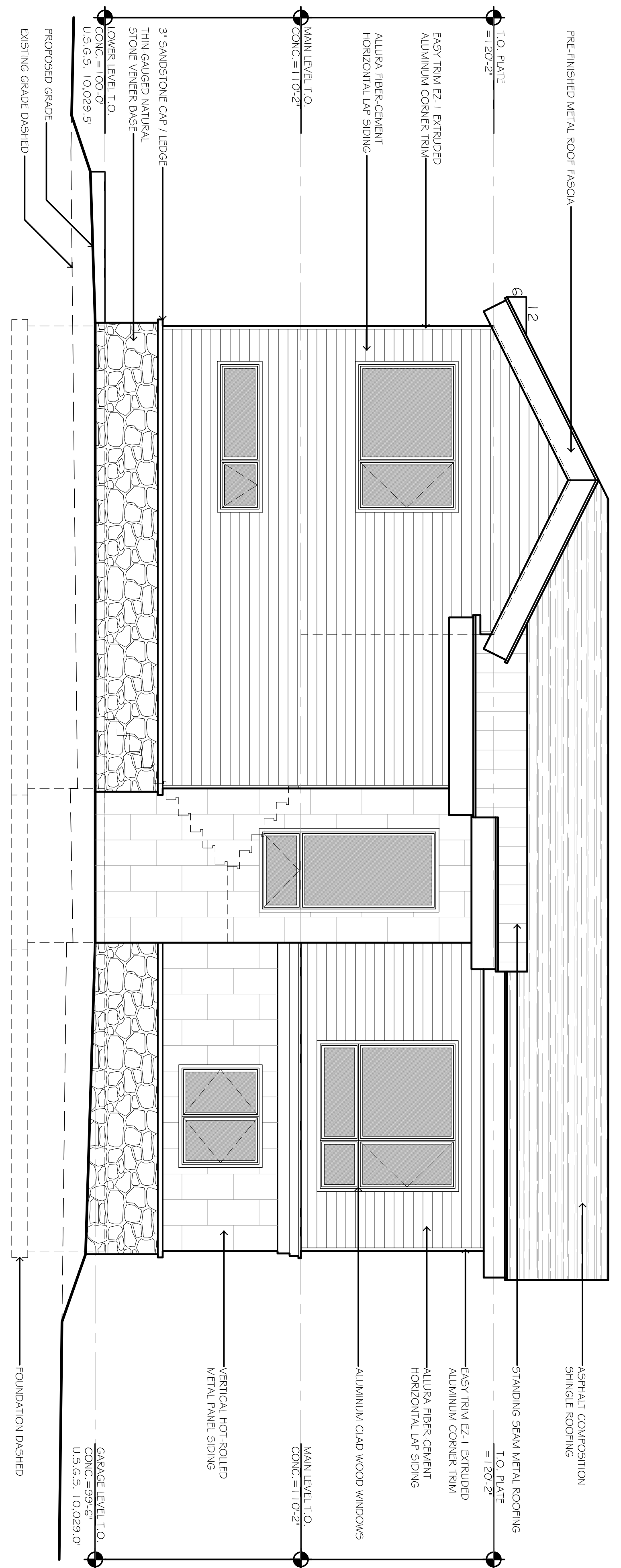
WINDOW NOTES

- All windows shall be wood frame and sash with aluminum exterior cladding. Contractor & Owner shall the option to substitute Anderson fiber-glass frame & sash windows.
- Window schedule dimensions are frame dimensions. Verify all rough opening dimensions with window supplier.
- See building elevations and sections for venting operation.
- All vented units shall be provided with screens.
- Fabro and sliding glass doors to be provided by window manufacturer.
- Windows shall have wood casing & sills on the interior, with jamb extensions for 2x6 walls.
- All glazing shall be insulated, 2-pane glass, suitable for installation above 9,000' (altitude) and tempered where required by code.
- Provide insulated double-pane glazing with maximum .32 U-value per 2018 IECC.
- All exterior openings shall be wrapped with G Tyvek or Ice & Water Shield. Provide 26 ga. 1/2" x 1/2" head flashing at all exterior openings, prime and paint or pre-finish to match window trim.
- General contractor and supplier to cross reference plans and elevations for window quantities, sizes and locations.
- Window supplier to advise General Contractor / Architect if additional reinforcement is required, review prior to fabrication.
- See elevations & sections for rough opening heights, dimensions from the top of concrete slabs and topping slabs. Coordinate window head heights with exterior and interior door head heights where possible.
- Windows are typically dimensioned on the floor plans to the center line of window.

WINDOW SYMBOLS ARE SHOWN ON PLANS AS



NORTHWEST ELEVATION



SOUTHEAST ELEVATION

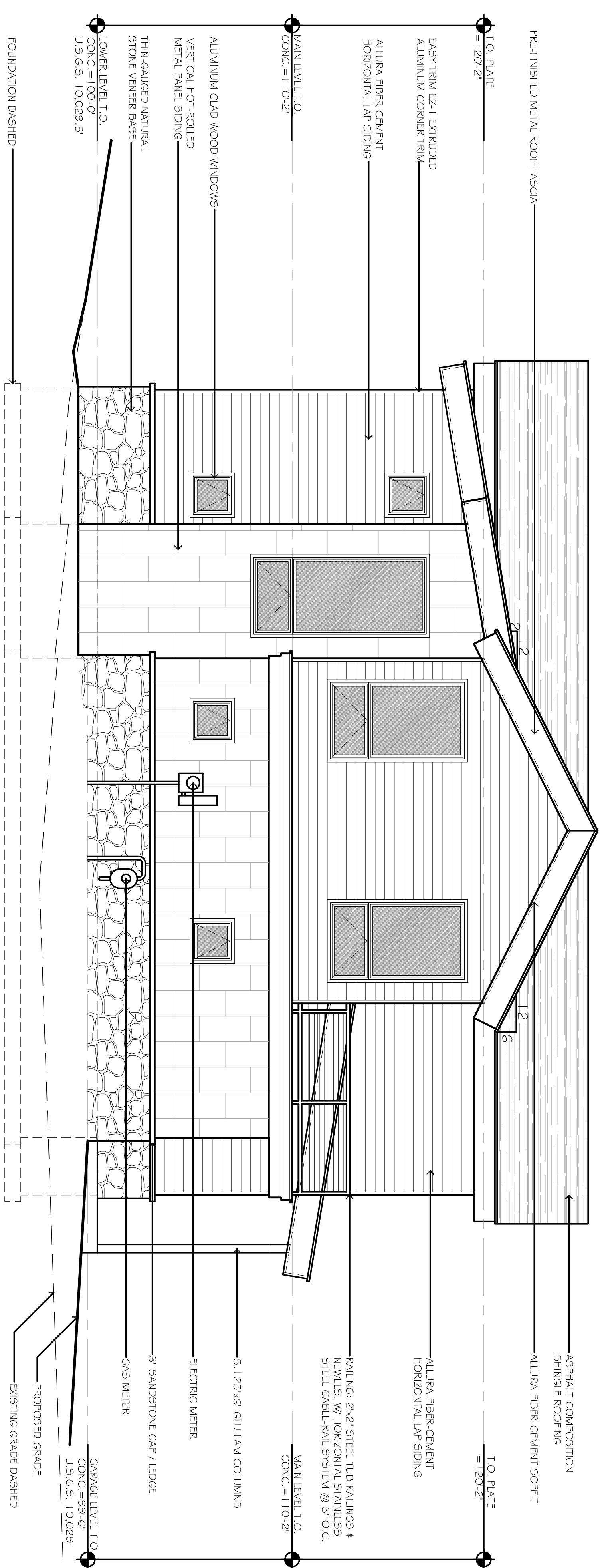


15 Wilderness Residence

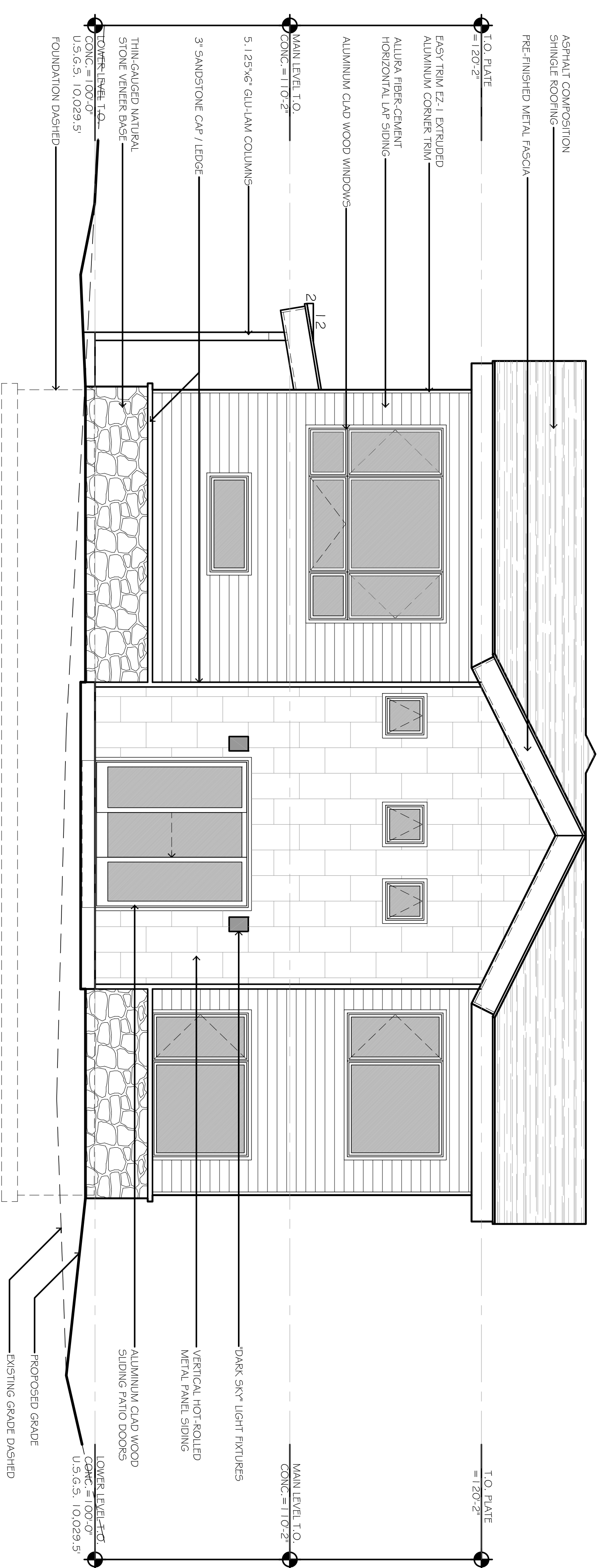
15 Wilderness Drive
 Lot 230, Wilderness Subdivision, Blue River Estates,
 Town of Blue River, Summit County, Colorado

EQUINOX
 ARCHITECTURE LLC
 P.O. Box 6217, Breckenridge, CO 80424
 970.453.9619 (phone & fax)
 www.equinoxarchitecture.com

©	2026
job #	19025
date	2/3/26
drawn by	RND
checked by	RND
REVISIONS:	
P & Z Submittal	



NORTHEAST ELEVATION



SOUTHWEST ELEVATION



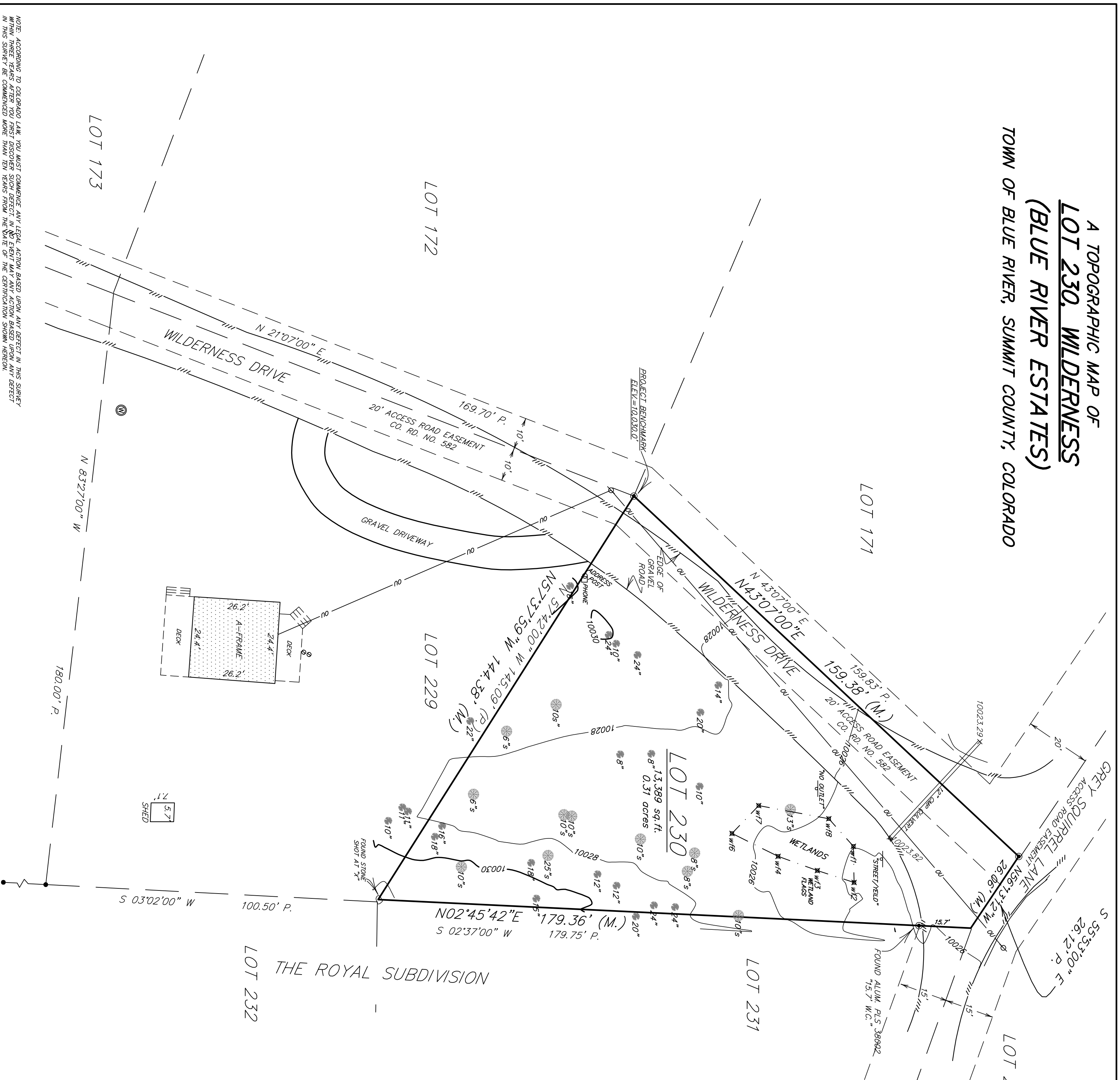
15 Wilderness Residence

15 Wilderness Drive
 Lot 230, Wilderness Subdivision, Blue River Estates,
 Town of Blue River, Summit County, Colorado

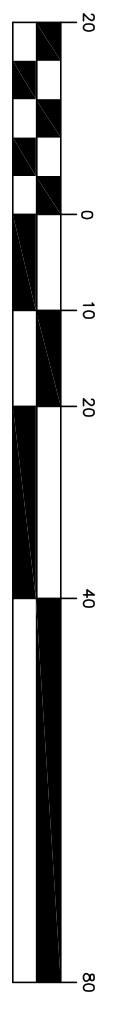
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drawn by	RKD
checked by	RKD
REVISIONS:	
Town of Blue River P & Z Submittal	

A TOPOGRAPHIC MAP OF
LOT 230, WILDERNESS
(BLUE RIVER ESTATES)
 TOWN OF BLUE RIVER, SUMMIT COUNTY, COLORADO

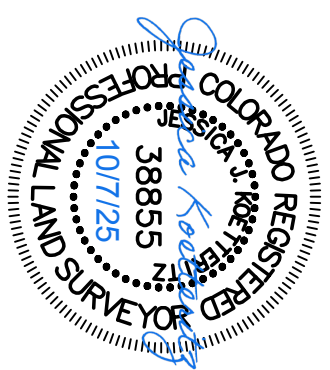


DATE OF FIELD SURVEY: 10/02/2025
 CONTOUR INTERVAL = 2 FEET



LEGEND

- REBAR & YELLOW PLASTIC CAP (PLS 38002)
- FOUND #4 REBAR
- M. MEASURED COURSE
- P. PLATTED COURSE
- UTILITY PEDESTAL
- FOUND 1"x1"x1' STONE
- SEWER CLEANOUT (4" PVC)
- WELL HEAD
- ⊕ UTILITY POLE
- — — — — OVERHEAD UTILITY LINES



Drawn RRL/GAW/WK	Dwg 18734TP	Project 18734
Checked JJK	Date 10/02/2025	Sheet 1 of 1
R-A-N-G-E-W-E-S-T ENGINEERS & SURVEYORS INC.		
P.O. Box 589 Silverthorne, CO 80498 970-468-6281		

NOTE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN TWO YEARS FROM THE DATE OF THE SURVEY OR WITHIN TWO YEARS FROM THE DATE OF THE COMMENCEMENT OF THIS SURVEY. ANY DEFECT IN THIS SURVEY COMMENCED MORE THAN TWO YEARS FROM THE DATE OF THE SURVEY OR MORE THAN TWO YEARS FROM THE DATE OF THE COMMENCEMENT OF THIS SURVEY SHALL BE DEEMED TO HAVE BEEN WAIVED.



Composition Roofing:
GAF Timberline "Charcoal"



Metal Roofing:
WSMR "Charcoal Gray"



Horizontal Lap Siding:
Allura "Urbane Bronze"



Metal Fascia:
Berridge "Charcoal"



Metal Siding Panels:
Hot-Rolled Steel



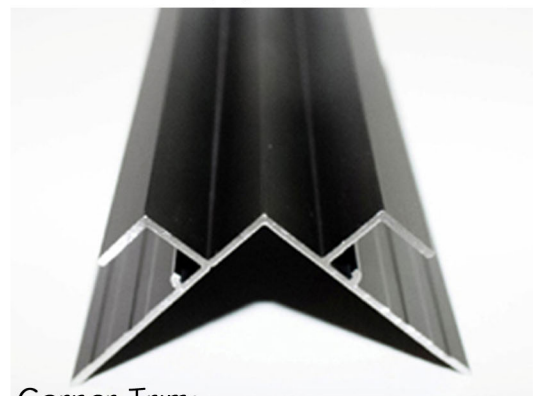
Window Cladding:
Sierra Pacific-061 "TW Black"

Materials & Colors

15 Wilderness Residence #19025
Equinox Architecture LLC 2/3/26



Stone Veneer Base:
Telluride Stone "Black Canyon"



Corner Trim:
EZ-31 "Black Anodized"

WETLAND DELINEATION REPORT FOR:

Lot 230, Wilderness Subdivision
15 Wilderness Drive, Blue River, CO 80424
Summit County, CO

Prepared For:

Jason K. Smith
42 Wilderness Drive
Blue River, CO 80424

Prepared By:

285 Engineering, Inc
Jennifer D. Migliorato
P.O. Box 1048
Conifer, CO 80433



07/13/2025 – Revised 08/05/2025

Project No. 2025154



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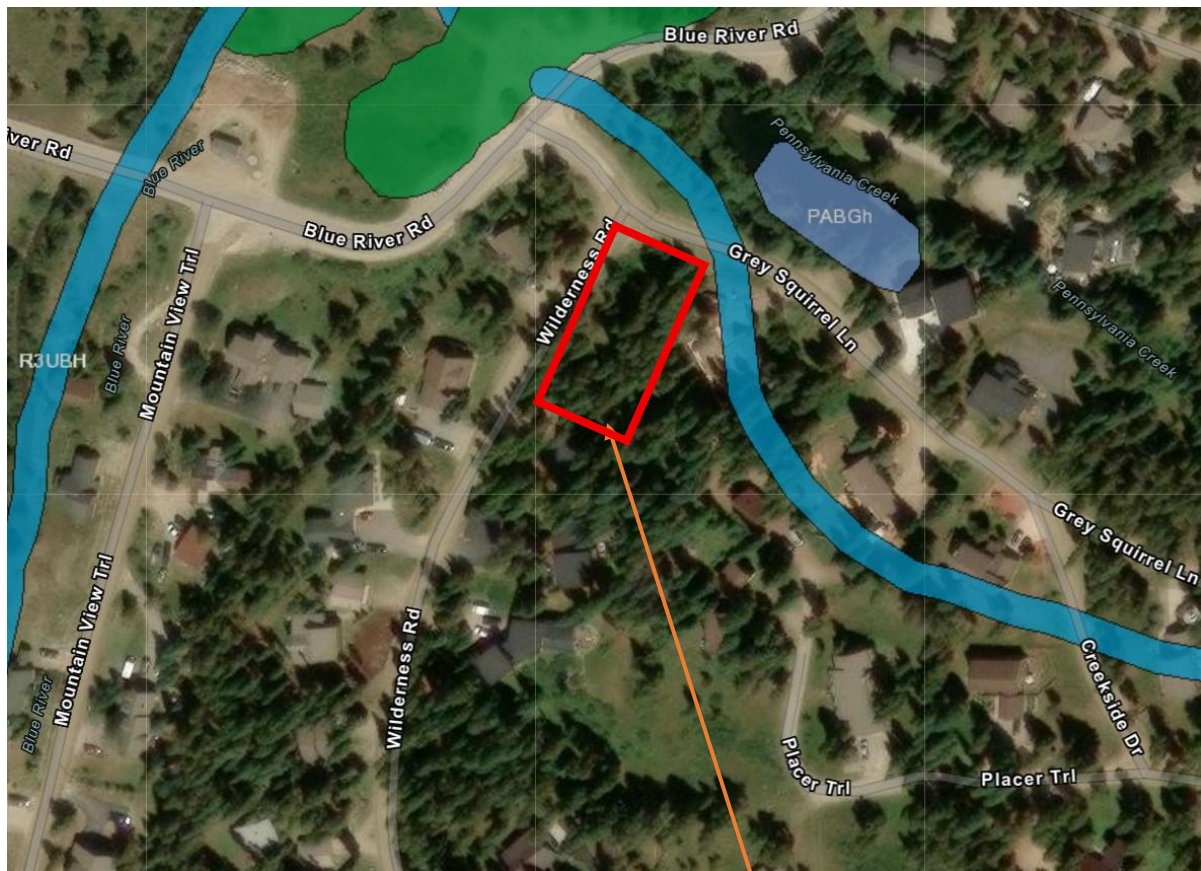
Appendices:

Appendix A - Wetland Data Forms
Wetland Survey

WETLAND DELINEATION REPORT

WETLAND DELINEATION SUMMARY

On May 22, 2025, a site visit was performed to determine if/and where wetlands were present on the subject site. During the site visit several soils samples were obtained and the vegetation and hydrology of the site were logged. The vegetation, soils and hydrology of two separate wetland locations were documented using Army Corps of Engineers approved data forms. Several other locations were tested throughout the wetlands present on the subject property. A search of the National Wetland Inventory (NWI) mapping concluded there are no NWI mapped wetlands on the project site.



Subject Site (Does not represent property boundary lines)

Figure 1 – National Wetland inventory map



INTRODUCTION

Purpose and goals

The purpose of this study was to identify and delineate any wetland areas within the property boundaries for the purpose of future development. This report has been prepared based on field data and pertinent background information. The purpose of this report is to detail the findings of the wetland delineation performed on the subject lot. During the site visit wetland flagging was placed along the edge of the wetland areas. Flagging was placed around a wetland pocket located on the northern portion of the lot.

METHODS

A site visit was performed to determine if/and where wetlands are present at the subject site. Wetland boundaries, if encountered, on the site were identified and delineated on the subject property according to the parameters specified within the *1987 Corps of Engineers Wetland Delineation Manual* and within in the *Corps of Engineers Regional Supplement to the Corps of Engineers Wetlands Delineation Manual: Western Mountains, Valleys, and Coast Region (Version 2.0)* (Environmental Laboratory 2010). During the field inspection several observation locations were chosen within the site to evaluate the hydrology, vegetation, and soils. Data forms were filled out for several areas within the site boundaries. Soils coloring was determined using *Munsell Soils Color Charts* (Kollmorgen Instruments 2000). Vegetation was generally assessed within a 5 to 30-foot radius at each location. Plants were identified using various published materials and were ranked using the *National Wetlands Plant List* (USACE, 2020).

Pre-Field Review of Information

The following sources were reviewed prior to and after field visits to obtain information on vegetation patterns, topography, drainage and soils.

- City/County Inventory maps and property data
- U.S. Geological Survey (USGS) 7.5 minute topographic maps
- Natural Resources Conservation Service (NRCS) soils survey maps and information.
- Current and Historical aerial photography.
- National Wetlands Inventory Mapping



EXISTING CONDITIONS

Project area setting

The project site is in Section 19, Township 7 South, Range 77 West, in Summit County, Colorado. The subject site lies at latitude 39.429486 and longitude -106.042186 with an approximate elevation of 10,030 feet. Blue River and its associated riparian area is located west of the subject site, and Pennsylvania Creek is located northeast of the subject site.

Wetland/Upland Summary

Based on information obtained during the site visit it was determined that wetlands and/or aquatic resources exist on the lot and are generally found along the northern corner of the lot. The three parameters of a wetland (hydric soils, hydrophytic vegetation, and hydrology) were observed within the wetland areas. In some locations hydrophytic vegetation was encountered, but these areas generally lacked the other required parameters and these areas were marked as uplands. Documentation of the soils, vegetation and hydrology is provided in the Data Forms in Appendix A.

The wetland boundaries were marked with pink delineation flagging. The wetland flagging was subsequently located by an independent surveyor. A survey, provided by Baseline Surveys, LLC. is attached in this document.

Hydrology

Hydrology indicators were encountered in the testing locations within the wetland areas. Hydrology is generally derived from surface water, shallow groundwater, and precipitation. Changes to the overall hydrology in the area have changed the overall drainage patterns. Hydrology in the wetland pocket may not be present in all years, and the wetland appears to be in decline. Hydrology was not encountered in the upland areas on the site, though it is likely to be present at certain times of the year. Groundwater table depths may fluctuate with season and precipitation rates in both the wetland and upland areas.



Vegetation

Vegetation was observed throughout the property. Hydrophytic vegetation was encountered within the wetland boundaries on the site. Hydrophytic vegetation species observed outside of the wetlands locations was not present with dominance or other wetland parameters were missing. Following is a partial list of plant species that were encountered at or near the wetland boundaries. See attached data forms for the complete list of plant species observed. The plants are ranked according to the 2020 National Wetland Plant List (USACOE, 2020). The scientific plant name and rating are included in the list below.

Hydrophytic Species

- *Salix monitcola* – OBL
- *Mertensia Ciliata* – FACW
- *Dasiphora fruticose* - FAC
- *Lonicera involucrata* -FAC
- *Potentilla Gracilis* – FAC

* = Tentative assignment based on limited information

OBL = Occurs almost always (estimated probability 99%) under natural conditions in wetlands.

FACW = Usually occurs in wetlands (estimated probability 67%-99%), but occasionally found in non-wetlands.

FAC = Equally likely to occur in wetlands or non-wetlands (estimated probability 34%-66%).

FACU = Usually occurs in non-wetlands (estimated probability 67%-99%), but occasionally found on wetlands (estimated probability 1%-33%).

UPL = Occurs in wetlands in another region, but occurs almost always (estimated probability 99%) under natural conditions in non-wetlands in the regions specified.

NI = No indicator

N/L = Not listed

Soils

The upland soils were fairly consistent throughout the testing pits. In general, a small organic layer underlain by fine sandy loam. Refusal was often present at a cobble and boulder matrix.

Hydric soils were encountered within the wetlands. The hydric soils generally consisted of saturated soils with low chroma and value and high organic content. See attached data forms for more specific information regarding soil types. According to NRCS soils map, soil data was not available for the property location.

Gravel/Road base material was present on top of the hydric soils present in portions of the wetland pocket. The road building material appears to have been placed in the wetland pocket as part of the routine snow removal along Wilderness Drive and Grey Squirrel Lane.



Figure 2 - Web Soil Survey Mapping



References:

- Environmental Laboratory. 2010. *Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Western Mountains, Valleys, and Coast Region (9Version 2.0)*, Technical Report, U.S. Army Engineer Waterway Experiment Station, Vicksburg, Mississippi.
- Kollmorgen Instruments. 2000. *Munsell Soil Color Charts*. Kollmorgen Instruments Corporation, Baltimore, MD.
- Us Army Corps of Engineers (USACOE). 2020. *National Wetland Plant List*. Biological Report <http://rsgisias.crrel.usace.army.mil/NWPL/>
- Soil Survey Staff. *Web Soil Survey of Summit County, Colorado*. Natural Resources Conservation Service, United States Department of Agriculture. *Web Soil Survey*. <<http://websoilsurvey.nrcs.usda.gov/app/>>.
- USDA, NRCS. 2007. The PLANTS Database (<http://plants.usda.gov>, October 2007). National Plant data Center, Baton Rouge, LA 70874-4490 USA.
- Soil Survey Staff. 2006. *Keys to the Soil Taxonomy*, 10th ed. USDA-Natural Resources Conservation Service, Washington, DC.
- Cowardin, L. M., V. Carter, F. C. Golet, E. T. LaRoe. 1979. *Classifications of wetlands and deepwater habitats of the United States*. U.S. Department of the Interior, Fish and Wildlife Service, Washington, D.C. Jamestown, ND: Northern Prairie Wildlife Research Center Home Page. <http://www.npwrc.usgs.gov/resource/1998/classwet/classwet.htm> (Version 04DEC98)



Appendix A

U.S. Army Corps of Engineers WETLAND DETERMINATION DATA SHEET – Western Mountains, Valleys, and Coast Region See ERDC/EL TR-10-3; the proponent agency is CECW-COR	OMB Control #: 0710-0024, Exp: 09/30/2027 Requirement Control Symbol EXEMPT: (Authority: AR 335-15, paragraph 5-2a)
----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------

Project/Site: 15 Wilderness Drive, Blue River City/County: Blue River/Summit County Sampling Date: 2025-05-22
 Applicant/Owner: Jason K. Smith State: CO Sampling Point: Wetland A
 Investigator(s): Jennifer Migliorato Section, Township, Range: 19, T7S, R77W
 Landform (hillside, terrace, etc.): Dip Local relief (concave, convex, none): Concave Slope (%): 0-2
 Subregion (LRR/MLRA): LRR E, MLRA 48A Lat: 39.429486 Long: 106.042186 Datum: WGS84
 Soil Map Unit Name: No Data NWI classification: None

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Hydric Soil Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Remarks:	

VEGETATION – Use scientific names of plants.

Tree Stratum	(Plot size: <u>30' radius</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1.					Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC: <u>3</u> (A) Total Number of Dominant Species Across All Strata: <u>3</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>100.00</u> (A/B)
2.					
3.					
4.					
		=Total Cover			
Sapling/Shrub Stratum	(Plot size: <u>15' radius</u>)				Prevalence Index worksheet: Total % Cover of: Multiply by: OBL species <u>70</u> x 1 = <u>70</u> FACW species <u>15</u> x 2 = <u>30</u> FAC species <u>15</u> x 3 = <u>45</u> FACU species <u>0</u> x 4 = <u>0</u> UPL species <u>0</u> x 5 = <u>0</u> Column Totals: <u>100</u> (A) <u>145.00</u> (B) Prevalence Index = B/A = <u>1.45</u>
1.	<u>Salix monticola</u>	<u>70</u>	<u>Y</u>	<u>OBL</u>	
2.	<u>Dasiphora fruticosa</u>	<u>5</u>	<u>N</u>	<u>FAC</u>	
3.	<u>Lonicera involucrata</u>	<u>5</u>	<u>N</u>	<u>FAC</u>	
4.					
		80.0 =Total Cover			
Herb Stratum	(Plot size: <u>5' radius</u>)				Hydrophytic Vegetation Indicators: ___ 1 - Rapid Test for Hydrophytic Vegetation <input checked="" type="checkbox"/> 2 - Dominance Test is >50% <input checked="" type="checkbox"/> 3 - Prevalence Index is ≤3.0 ¹ ___ 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) ___ 5 - Wetland Non-Vascular Plants ¹ ___ Problematic Hydrophytic Vegetation ¹ (Explain) <small>¹Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.</small>
1.	<u>Mertensia ciliata</u>	<u>15</u>	<u>Y</u>	<u>FACW</u>	
2.	<u>Potentilla gracilis</u>	<u>5</u>	<u>Y</u>	<u>FAC</u>	
3.					
4.					
5.					
6.					
7.					
8.					
9.					
10.					
11.					
		20.0 =Total Cover			
Woody Vine Stratum	(Plot size: <u>30' radius</u>)				Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
1.					
2.					
		0 =Total Cover			
% Bare Ground in Herb Stratum _____					
Remarks:					



U.S. Army Corps of Engineers
WETLAND DETERMINATION DATA SHEET – Western Mountains, Valleys, and Coast Region
See ERDC/EL TR-10-3; the proponent agency is CECW-COR

OMB Control #: 0710-0024, Exp: 09/30/2027
Requirement Control Symbol EXEMPT:
(Authority: AR 335-15, paragraph 5-2a)

Project/Site: 15 Wilderness Drive, Blue River City/County: Blue River/Summit County Sampling Date: 2025-05-22
Applicant/Owner: Jason K. Smith State: CO Sampling Point: Upland B
Investigator(s): Jennifer D. Migliorato Section, Township, Range: 19, T7S, R77W
Landform (hillside, terrace, etc.): Dip Local relief (concave, convex, none): Concave Slope (%): 0-2
Subregion (LRR/MLRA): LLR E, MLRA 48A Lat: 39.426486 Long: 106.042186 Datum: WGS84
Soil Map Unit Name: No Data NWI classification: None

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

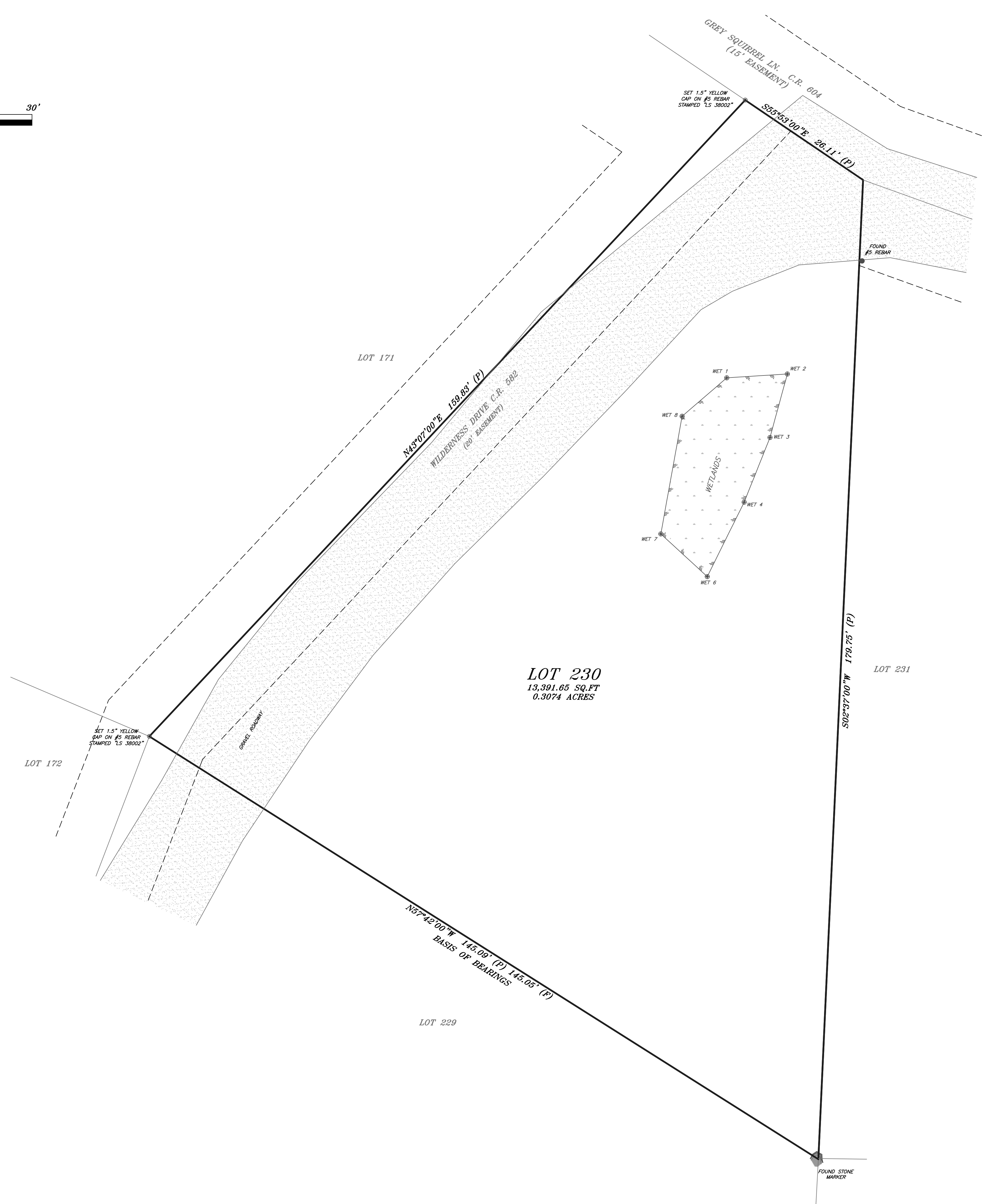
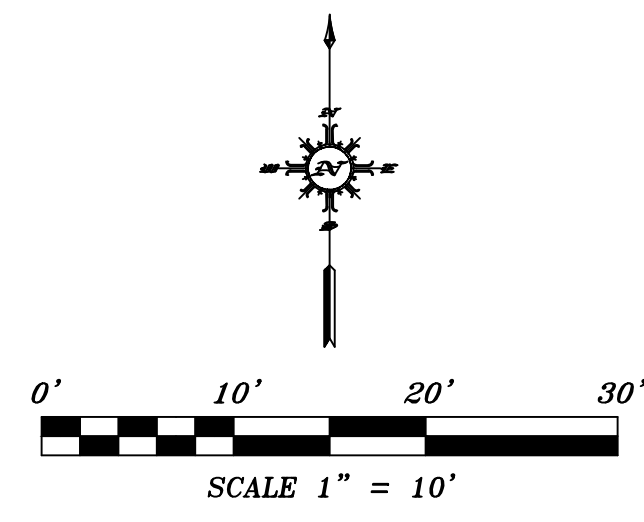
SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Hydric Soil Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Wetland Hydrology Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Remarks:	

VEGETATION – Use scientific names of plants.

Tree Stratum (Plot size: <u>30' radius</u>)	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC: <u>3</u> (A) Total Number of Dominant Species Across All Strata: <u>6</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>50.00</u> (A/B)
1. <u>Abies lasiocarpa</u>	10	Y	FACU	
2. <u>Picea engelmannii</u>	10	Y	FAC	
3. _____				
4. _____				=Total Cover
Sapling/Shrub Stratum (Plot size: <u>15' radius</u>)				Prevalence Index worksheet: Total % Cover of: Multiply by: OBL species <u>0</u> x 1 = <u>0</u> FACW species <u>0</u> x 2 = <u>0</u> FAC species <u>20</u> x 3 = <u>60</u> FACU species <u>55</u> x 4 = <u>220</u> UPL species <u>0</u> x 5 = <u>0</u> Column Totals: <u>75</u> (A) <u>280.00</u> (B) Prevalence Index = B/A = <u>3.73</u>
1. <u>Dasiphora fruticosa</u>	5	Y	FAC	
2. <u>Lonicera involucrata</u>	5	Y	FAC	
3. _____				
4. _____				
Herb Stratum (Plot size: <u>5' radius</u>)				Hydrophytic Vegetation Indicators: <input type="checkbox"/> 1 - Rapid Test for Hydrophytic Vegetation <input type="checkbox"/> 2 - Dominance Test is >50% <input type="checkbox"/> 3 - Prevalence Index is ≤3.0 ¹ <input type="checkbox"/> 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) <input type="checkbox"/> 5 - Wetland Non-Vascular Plants ¹ <input type="checkbox"/> Problematic Hydrophytic Vegetation ¹ (Explain) ¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.
1. <u>Fragaria virginiana</u>	25	Y	FACU	
2. <u>Taraxacum officinale</u>	15	Y	FACU	
3. <u>Chamaenerion angustifolium</u>	5	N	FACU	
4. _____				
5. _____				
6. _____				
7. _____				
8. _____				
9. _____				
10. _____				
11. _____				=Total Cover
Woody Vine Stratum (Plot size: <u>30' radius</u>)				Hydrophytic Vegetation Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
1. _____				
2. _____				
% Bare Ground in Herb Stratum <u>0</u>				
Remarks: Facultative species found within wetland areas and upland areas.				

LAND SURVEY PLAT
LOT 230
WILDERNESS SUBDIVISION
 LOCATED IN SECTION 19, TOWNSHIP 7 SOUTH
 RANGE 77 WEST OF THE 6th P.M.
 TOWN OF BLUE RIVER, SUMMIT COUNTY, COLORADO



SURVEYOR'S NOTES

- 1) FOR THE PROPERTY DESCRIPTION AND EASEMENTS OF RECORD BASELINE SURVEYS LLC RELIED ON THE RECORDED PLAT OF BLUE RIVER ESTATES-WILDERNESS SUBDIVISION RECORDED UNDER RECEPTION No. 92845. NO TITLE COMMITMENT WAS PROVIDED AT THE TIME OF SURVEY AND NO TITLE RESEARCH WAS PERFORMED BY BASELINE SURVEYS LLC.
- 2) BASIS OF BEARINGS: ALONG THE SOUTHERLY LINE OF LOT 230 BETWEEN TWO MONUMENTS AS SHOWN WITH A BEARING OF N57°42'00"W, 145.05 FEET.

SURVEYOR'S CERTIFICATE

I, GEORGE CHRISTIAN MOODY, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO DO HEREBY CERTIFY THAT THIS IMPROVEMENT SURVEY PLAT WAS PREPARED BY ME AND UNDER MY SUPERVISION FROM A SURVEY MADE BY ME AND UNDER MY SUPERVISION AND THAT BOTH ARE ACCURATE TO THE BEST OF MY KNOWLEDGE. DATED THIS 16TH DAY OF JUNE, 2025.

George Christian Moody
 GEORGE CHRISTIAN MOODY, P.L.S.
 COLORADO E.S. No. 38002
 FOR AND ON BEHALF OF BASELINE SURVEYS, LLC



COUNTY SURVEYOR'S CERTIFICATE

DEPOSITED THIS _____ DAY OF _____, 2025, AT _____, IN
 BOOK _____ OF THE COUNTY SURVEYOR'S LAND SURVEY
 PLATS/RIGHT OF WAY SURVEYS AT PAGE _____, RECEPTION NO. _____

 COUNTY SURVEYOR, COUNTY OF SUMMIT

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

Baseline Surveys LLC		P.O. BOX 7576 13541 COLO. HWY #9 BRECKENRIDGE, CO 80424 (970) 453-7155	
LAND SURVEY PLAT			
LOT 230 WILDERNESS SUBDIVISION LOCATED IN SECTION 19, TOWNSHIP 7 SOUTH RANGE 77 WEST OF THE 6th P.M. TOWN OF BLUE RIVER, SUMMIT COUNTY, COLORADO			
Date	Revisions	Date: 06/18/25	Scale Horiz: 1" = 10'
		Drawn By: RDG	Checked By: NPO
		Job File: 4801	DWG File: 4801 LSP



**285 Engineering, Inc.
P.O. BOX 1048
CONIFER, CO 80433
720-515-1781
www.285Engineering.com**

SOIL AND FOUNDATION REPORT

Prepared For:

15 Wilderness Drive, LLC
c/o Lou Fishman
8989 E. Cedar Hill Place
Lone Tree, CO 80124

Subject Site:

Lot 230, Blue River Estates
15 Wilderness Drive
Blue River, Summit County, CO

12/03/2025

Project # 2025154

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Figure 1 – Location(s) of Test Pit(s)

Figure 2 – Summary Log(s) of Test Pit(s)



Purpose

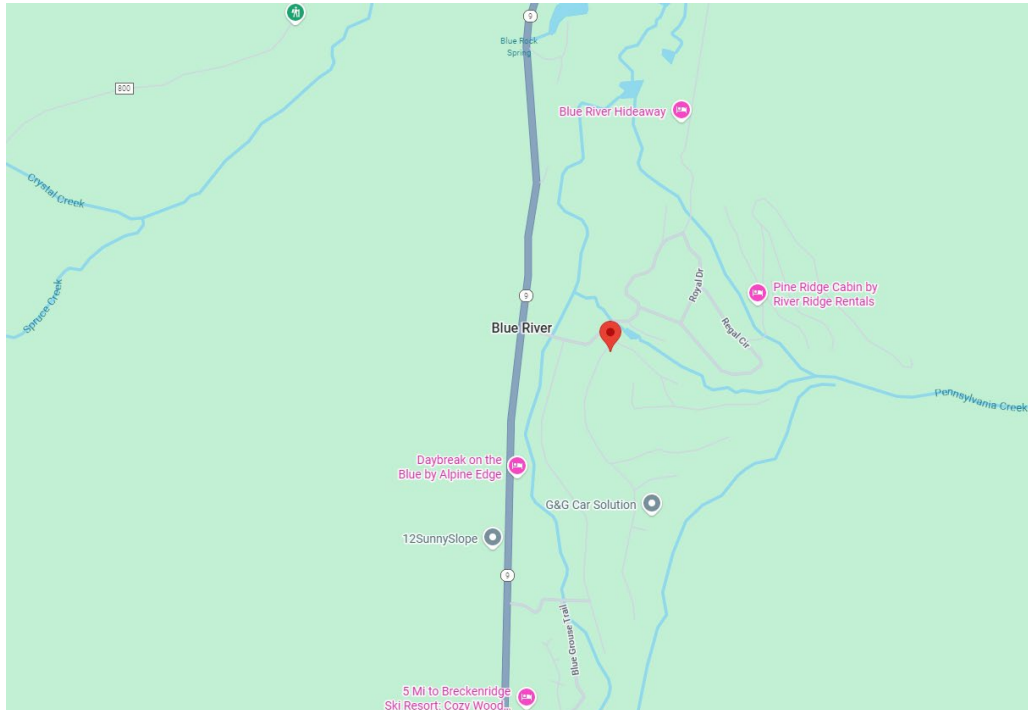
We conducted this investigation to evaluate subsurface conditions at the site and provide geotechnical engineering recommendations for the proposed residence. Our report was prepared from data developed during our field exploration, engineering analysis, and experience. This report includes a description of the subsurface conditions observed in one exploratory pit and presents geotechnical engineering recommendations for design and construction of the residence foundations, floor systems, and details influenced by the subsoils.

Recommendations contained in this report were developed based on our understanding of the planned construction. If plans differ significantly from the descriptions contained in the report, we should be informed so that we determine whether our recommendations and design criteria are appropriate.

Project Location and Site Conditions

The project is located south of the intersection of Wilderness Drive and Grey Squirrel Lane in Blue River, Colorado, as shown on the vicinity map below. Vegetation covering is primarily grass, brush, and coniferous trees. The proposed building site is situated in a slight depression with a slope of approximately 3 percent to the south.

Vicinity Map



Proposed Construction

The proposed residence will be a two-story structure with an attached garage. The lower level and garage floors will be slab-on-grade and/or structurally supported over a crawlspace. Lower-level floors will be constructed near existing grade. Wood frame construction will be used above grade with cast-in-place concrete foundation walls below grade. Required excavations are not expected to exceed 5 feet for foundations. Foundation loads are expected to be typical of a single family residence. The proposed location of the residence is shown on Figure 1.

Soils and Subsurface Conditions

Subsurface conditions were investigated by observing one exploratory pit excavated at the approximate location shown on Figure 1. Subsurface conditions



observed in the pit were logged by our representative who obtained samples of the soils during excavation. A graphic log of the soils observed in the pit is shown on Figure 2.

Subsurface conditions observed in the test pit generally consisted of 6 inches of topsoil overlying sandy gravel and cobbles to the maximum depth excavated of 8 feet. No free groundwater was observed in the pit at the time of excavation; however, seasonal high groundwater indicators were observed at a depth of 5 feet.

Geology

We reviewed the following geologic mapping showing the site:

Geologic Map of the Breckenridge Quadrangle, Summit and Park Counties, Colorado (Open Map 02-7) by C.A Wallace, John W. Keller, James P. McCalpin, Paul J. Bartos, Erik E. Route, Natalie N. Jones, Francisco Gutierrez, Cindy L. Williams and Matthew L. Morgan with Colorado Geological Survey, 2003.

The site is mapped on the toe edge of fan deposits overlying alluvium. Neither the Geologic map, nor our site visit, found any geologic constraints for the planned construction.

Design Recommendations

Foundation Recommendations

The structure can be supported on footing foundations on the undisturbed, natural soils. Prior to concrete placement, the footing areas should be moistened and compacted to provide a flat and level subgrade. Loose and disturbed soils should be removed or compacted. Our representative should observe conditions exposed in the completed foundation excavation to confirm whether the exposed soils are as anticipated and suitable for support of the foundation.

- Soils loosened during the forming process for the footings should be removed or compacted prior to placing concrete. Concrete must not be placed on snow, frozen soils, or saturated soils.



- Shallow seasonal high groundwater indicators were observed in our test pit during our investigation. Water seepage should be expected during excavation. The foundation areas and excavations should be protected from any groundwater and precipitation through the use of shallow trenches and sumps. Trenches should be 1 to 2 feet below footing subgrade elevation. Excavations should be sloped to a gravity discharge or to a temporary sump where water can be removed by pumping, if necessary. It is very important that an excavation dewatering plan be in place prior to excavation. If the footing subgrade soils are exposed without proper drainage and become softened due to equipment traffic, subexcavation and replacement may be required. This process can be costly.
- Footings can be sized using a maximum allowable soil pressure of 3,500 psf. We expect settlement of footings will be approximately 1 inch or less.
- To resist lateral loads, a coefficient of friction of 0.45 can be used for concrete in contact with soil. Lateral loads can be resolved by evaluating passive resistance using a passive equivalent fluid density of 350 pcf for onsite soil backfill that is compacted. These values have not been factored; appropriate factors of safety should be applied in design.
- Continuous wall footings should have a minimum width of at least 16 inches. Foundations for isolated columns should have minimum dimensions of 24 inches by 24 inches. Larger sizes may be required, depending upon foundation loads.
- Grade beams and foundation walls should be well reinforced, top and bottom, to span undisclosed loose or soft soil pockets and resist lateral earth pressures. We recommend reinforcement sufficient to span an unsupported distance of at least 10 feet. Reinforcement should be designed by the structural engineer.
- The soils under exterior footings should be protected from freezing. The bottom of footings must be constructed at the minimum depth required by the local building department or deeper.



Foundation Walls/Retaining Walls

Foundation walls which extend below-grade should be designed for lateral earth pressures where backfill is not present to about the same extent on both sides of the wall. Many factors affect the values of the design lateral earth pressure. These factors include, but are not limited to, the type, compaction, slope and drainage of the backfill, and the rigidity of the wall against rotation and deflection. For a very rigid wall where negligible or very little deflection will occur, an “at-rest” lateral earth pressure should be used in design. For walls that can deflect or rotate 0.5 to 1 percent of wall height (depending upon the backfill types), lower “active” lateral earth pressures are appropriate. Typical below-grade walls in residences deflect or rotate slightly under normal design loads, and that this deflection results in satisfactory wall performance. Thus, the earth pressures on the walls will likely be between the “active” and “at-rest” conditions.

If on-site soils are used as backfill and the backfill is not saturated, we recommend design of basement walls at this site using an equivalent fluid density of at least 50 pcf. This value assumes deflection; some minor cracking of walls may occur. If very little wall deflection is desired, a higher design value is appropriate. The structural engineer should also consider site-specific grade restrictions, the effects of large openings on the behavior of the walls, and the need for lateral bracing during backfill.

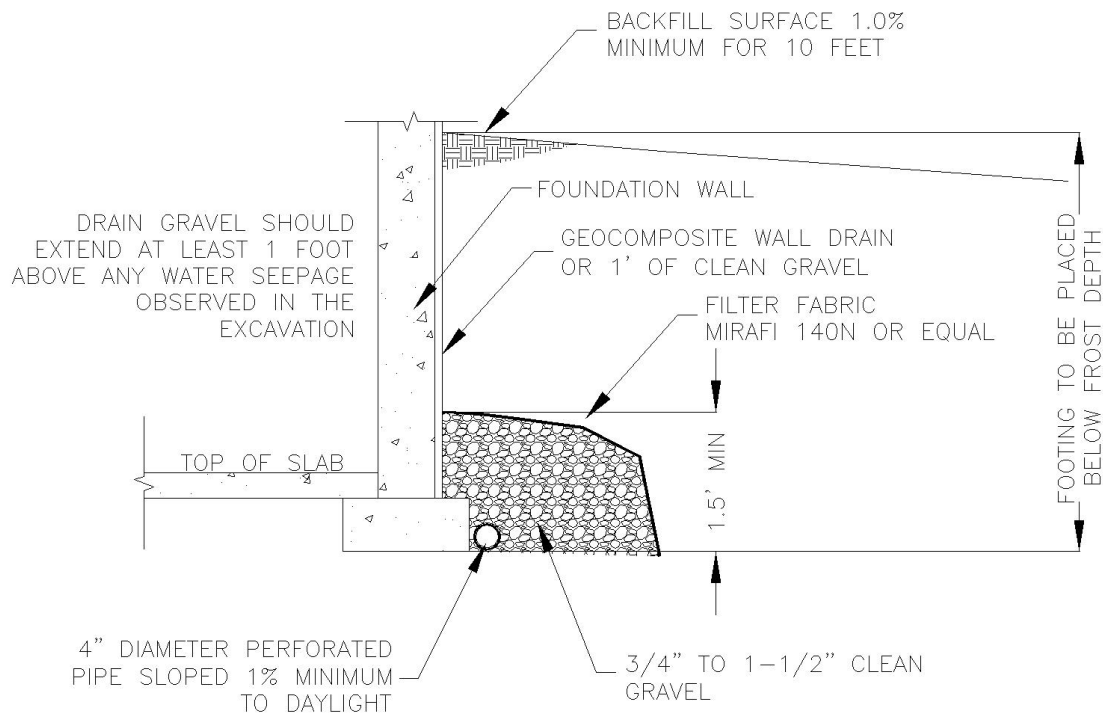
Retaining walls that are free to rotate and allow the active earth pressure condition to develop can be designed using an equivalent fluid density of at least 40 pcf for on-site soil backfill.

Proper placement and compaction of foundation backfill is important to reduce infiltration of surface water and settlement of backfill. The natural soils can be used as backfill, provided they are free of rocks larger than 6 inches in diameter, organics, and debris. The upper 2 feet of fill should be a relatively impervious material to limit infiltration. Backfill which will support surface improvements (patios, driveways, etc.) should be placed in thin loose lifts, moisture conditioned to within +/-2 percent of optimum moisture content, and compacted to at least 95 percent of ASTM D 698 maximum dry density. Thickness of lifts will likely need to be reduced if there are small confined areas of backfill, which limit the size and weight of compaction equipment. Some settlement of the backfill should be expected even if the material is placed and compacted properly. In our experience, settlement of properly compacted backfill could

be on the order of 0.5 to 1 percent of backfill thickness. Methods to reduce the risk of backfill settlement include using a granular material and increasing the minimum compaction level. Moisture content and density of the backfill should be tested during placement. Observation of the compaction procedure is necessary.

Drainage Systems

Groundwater from snow melt, precipitation and irrigation of landscaping frequently flows through relatively permeable backfill placed adjacent to a structure, and collects on the surface of less permeable soils occurring at the bottom of foundation excavations. To reduce the likelihood water pressure will develop outside foundation walls and the risk of accumulation of water at the basement or crawlspace level, we recommend a foundation drain be installed anywhere retaining conditions exist. The drain should be installed along the entire basement or crawlspace perimeter where retaining conditions exist. The foundation drain should be sloped to daylight or to an internal sump where water can be removed by pumping. Below is a typical drain detail.



FOOTING TO FOUNDATION
 WALL DETAIL



Surface Drainage

Surface drainage is critical to the performance of foundations, floor slabs and concrete flatwork. The following recommendations should be observed during and after construction. Inundation of the excavation areas should be avoided during construction. The ground surface surrounding any buildings should be sloped to drain water away from the foundation in all directions. We recommend providing a slope of at least 12 inches in the first 10 feet in landscape areas where possible, and a slope of at least 3 inches in the first 10 feet in paved areas. A swale should be provided around the uphill side of the building to divert surface runoff. The upper 2 feet of the backfill should be a relatively impervious type material to prevent excess water from entering the foundation areas. Any downspouts and drains should be installed so that the water discharges well away from the backfill areas. Landscape irrigation within 5 feet of the foundation walls should be avoided.

Slabs

The natural soils found on site are suitable to support lightly loaded floor slabs. The natural soils must be free of topsoil. It is recommended that the floor slabs be underlain by a minimum of 4 inches of clean gravel. This material should consist of minus 2-inch aggregate with at least 50% retained on the No. 4 sieve and less than 2% passing the No. 200 sieve. Slabs should be separated from exterior walls and interior bearing members with slip joints which allow free vertical movement of the slabs. Frequent control joints should be provided, in accordance with American Concrete Institute (ACI) recommendations, to reduce problems associated with shrinkage and curling. We recommend floor slabs be designed to be at least two feet above the seasonal high groundwater level.

Structural fill for floor slabs can be used including use of native soils that are free from organic matter, rocks larger than 6 inches in diameter, and debris. Structural fill beneath slabs should be placed in thin loose lifts, moisture conditioned to within +/-2 percent of optimum moisture content, and compacted to at least 95 percent of ASTM D 698 maximum dry density.



Radon

Radon is a gaseous, radioactive element that comes from the radioactive decay of uranium, which is commonly found in igneous rocks. The average indoor radon level in Colorado is above the recommended action level of 4 pCi/L as recommended by the Environmental Protection Agency. Testing for radon gas at the site is beyond the scope of this study. Typically, radon mitigation systems consist of ventilation systems installed beneath lower-level slabs and crawlspaces. These mitigation systems can normally be installed during construction at a relatively low cost, which is recommended. We are not experts in radon testing or mitigation. If the client is concerned about radon, then a professional in this special field of practice should be consulted.

Site Visits and Observations

Recommendations in this report are contingent upon confirmation of the excavated foundation soils. We recommend that 285 Engineering, Inc. provide construction observation services to allow us the opportunity to verify whether soil conditions are consistent with those found during this investigation. If others perform these observations, they must accept responsibility to judge whether the recommendations in this report remain appropriate. An observation and site visit shall be performed after the excavation for the footings, prior to footing placement. An additional site visit is recommended after the foundation drain has been installed, prior to backfill.



Limitations

The conclusions and recommendations within this report are based upon the site visit, soils studies, the proposed type of construction, and experience in the area. The study has been completed in accordance with generally accepted geotechnical engineering practices in this area. Possible variations in the subsurface conditions may increase the risk of foundation movement. This report does not represent a warranty implied or expressed. Our findings are based upon subsurface conditions observed, and variations in subsurface conditions may not become evident until the excavation is completed. If conditions encountered during the excavation and construction process appear different than the details of this report, a re-evaluation is required, and this office should be notified so new recommendations can be made.

Prepared by:

A handwritten signature in black ink, appearing to read 'Matthew R. Hopkins', written over a light blue horizontal line.

Matthew R. Hopkins

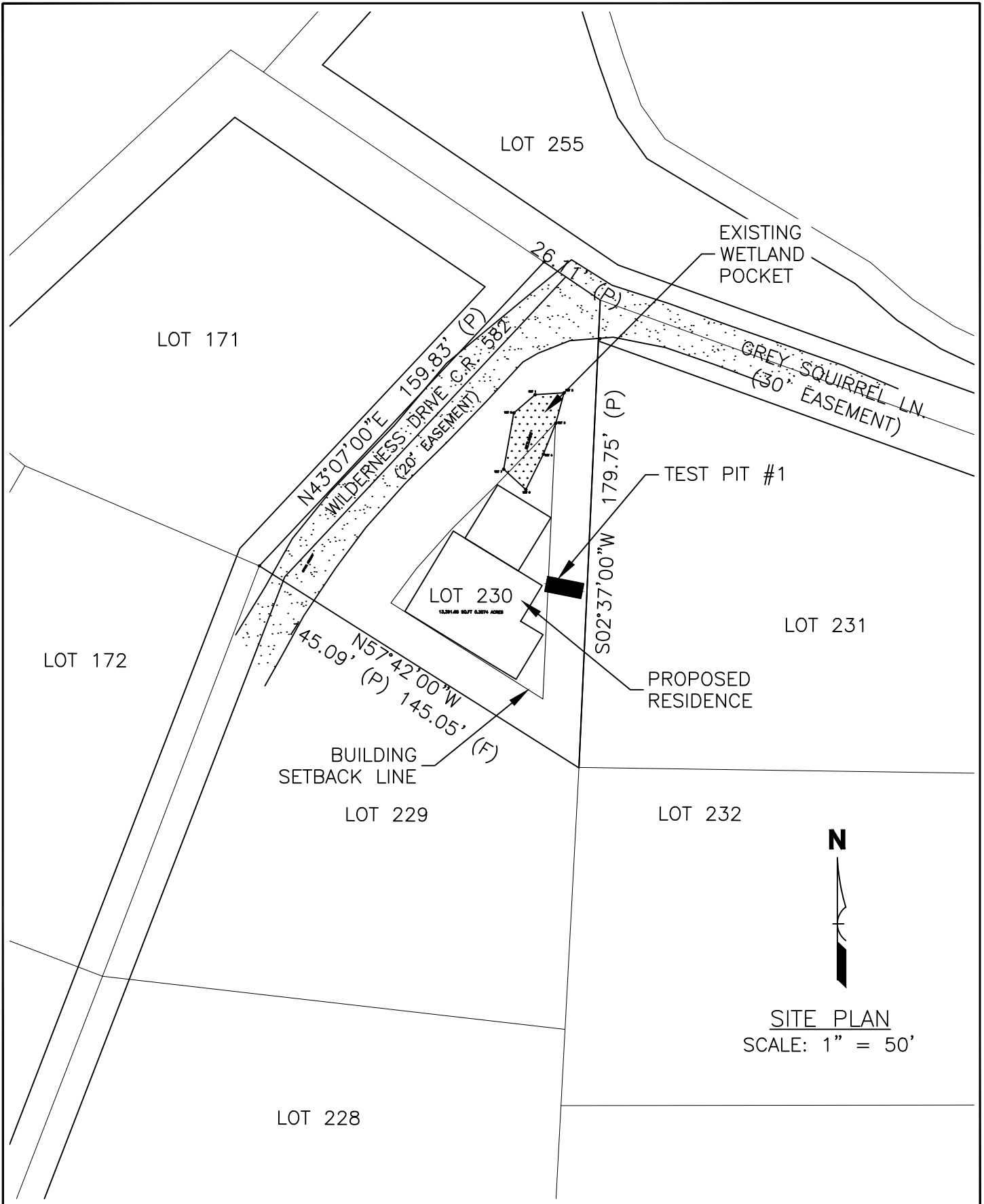
Reviewed by:



Roger J. Shafer, P.E.

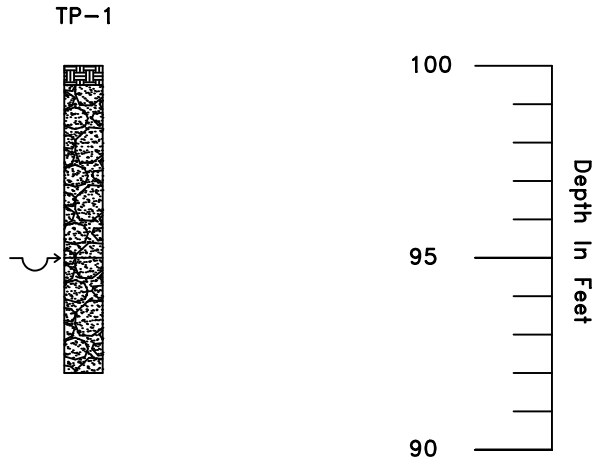
285 Engineering, Inc.
P.O. Box 1048
Conifer, CO. 80433
(720)-515-1781
www.285engineering.com

MRH:RJS



SITE PLAN
SCALE: 1" = 50'

<p>285 ENGINEERING P.O. BOX 1048 CONIFER, CO 80433 (720)-515-1781</p>	<p>PROJECT #: 2025154 LOCATION: 15 WILDERNESS DRIVE BLUE RIVER, COLORADO CLIENT: LOU FISHMAN</p>	<p>DATE: 12/03/2025 DRAWN BY: MRH SCALE: SHOWN REVISIONS:</p>	<p>LOCATIONS OF TEST PIT(S) FIGURE 1</p>
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LEGEND:



TOPSOIL – silty sand with roots and organics, slightly moist, dark brown.



GRAVEL – silty, very sandy, with subangular to subrounded cobbles and boulders, slightly moist to moist with depth, dense, redish brown.



Seasonal high groundwater indicators encountered in pit at depth indicated.

NOTES:

1. Test pit was excavated on 12/02/2025 with a track mounded mini excavator.
2. Free groundwater was not observed in the pit at the time of excavation.
Seasonal high groundwater indicators where encountered at the depth indicated.
Groundwater levels can fluctuate.
3. Pit location shown on Figure 1 was measured from site features and is not the result of a survey.
4. This test pit is the subject to the explanations, limitations and conclusions contained in this report.

285 ENGINEERING
P.O. BOX 1048
CONIFER, CO
80433
(720)-515-1781

PROJECT #: 2025154
LOCATION:
15 WILDERNESS DRIVE
BLUE RIVER, COLORADO
CLIENT:
LOU FISHMAN

DATE: 12/03/2025
DRAWN BY: MRH
SCALE: N/A

REVISIONS:

SUMMARY LOGS
OF TEST PIT(S)

FIGURE 2

Sec. 16B-4-30(b)(3):

Suggest to revise 16B-4-30(b)(3):

(3) Recorded Road Easements, Platted Road Easements (Public and Private) and Access Easements.

Easements for roads or access (both public and private) are recorded with the Summit County Clerk and Recorder's Office to reserve property for vehicular traffic and to provide for permanent access to property. Depending on the nature of the road or access easement, development within the easement may be restricted or prohibited. The following language from before ordinance may be worth discussion... Such easements are not available for any development or improvement other than overhead and subsurface utilities that will not interfere with the existing or future use of the road within the road easement or the access secured by the easement.

Sec. 16B-4-20:

Suggest to revise Sec. 16B-4-20. Setbacks.

Setbacks (front, rear, and sides) are established by the Zone District that is assigned to a lot. See Chapter 16A - Zoning. Setbacks are a specified distance measured from either: (a) the front, rear, and sides of the property line that defines the boundaries of the lot; or (b) the boundary of a Town Road Easement held or maintained by the Town of Blue River, or the boundary of any recorded public or private right-of-way or road easement, as required by Section 16B-4-50 (Buildable Area). Setbacks effectively define the initial location within the lot in which the principal permitted building or structure may be lawfully constructed, erected, or maintained except as expressly permitted by the Land Use Code. Such initial location is subject to limitations imposed by easements and other encumbrances.

Sec. 16B-4-50:

Suggest to revise Sec. 16B-4-50. Buildable Area.

(a) Determining Building, Structure, and Accessory Improvement Location. When seeking Town approval of the location within a lot of any building, structure, accessory improvement, or other improvement regulated by the Land Use Code, the owner or applicant shall demonstrate a consideration of the following when deciding the appropriate location of the building, structure, accessory improvement, or other improvement:

1. The lot's setbacks imposed by the applicable zone district (see Chapter 16A – Zoning).
2. Easements that may prohibit, restrict, or limit the location of development or improvements;

This sentence feels unnecessary / consider striking.. Although front, side and rear setbacks established by a zone district are typically measured from the lot lines of the property, when a Town Road Easement encroaches into a lot, the setback shall be measured from the edge of the Town Road Easement.

Sec. 16-3-20:

Suggest to revise 16-3-20:

Setback means the distance required by the lot's zone district (see Chapter 16A) between the drip edge of a building or proposed building and the closer of the lot line or: (a) the edge of any Town Road Easement held or maintained by the Town of Blue River; or (b) the edge of any right-of-way or road, access and pedestrian easements, unless a different distance is established by a site plan, subdivision plat, or other document approved by the Town.

Interpretive Note for Setback: The phrase "within a setback," "within the setback" or "within the setbacks" shall be interpreted to refer to the area defined as a setback and shall not mean within the area enclosed by or that results from the application of two or more setbacks. The area enclosed by or results from the application of setbacks to a lot, which area is outside of the setbacks, is known as the buildable area (see definition above).

TOWN OF BLUE RIVER, COLORADO

ORDINANCE NO. 2025-02

AN ORDINANCE OF THE BOARD OF TRUSTEES OF THE TOWN OF BLUE RIVER, COLORADO, AMENDING SECTIONS OF ARTICLE 4 OF CHAPTER 16B AND AMENDING THE DEFINITION OF “SETBACK” IN ARTICLE 3 OF CHAPTER 16, IN THE BLUE RIVER MUNICIPAL CODE (CHAPTERS OF THE BLUE RIVER LAND USE CODE) ALL PERTAINING TO THE MEASUREMENT OF SETBACKS

WHEREAS, the Town of Blue River was incorporated in 1964 as a statutory municipality organized pursuant to the provisions of Section 31-2-101, et seq., C.R.S.; and

WHEREAS:

- A. Colorado state law authorizes municipalities to regulate land use and development including but not limited to ensuring adequate setbacks to best protect the health, safety and welfare of the public.
- B. In 2023, the Board of Trustees for the Town of Blue River (“Board”) adopted in 2023 the Blue River Land Use Code (“LUC”) which is a part of the Blue River Municipal Code, to govern and regulate the use of land within the Town; and
- C. The LUC regulates the location of buildings and structures within a lot by the use, in part, of “setbacks” which are commonly understood to be a set distance from a property line or from a point, line, easement, land feature (such as water body, floodplain, or steep slope), or other recognized element found within or adjacent to a lot; and
- D. The Board of Trustees finds that the construction of buildings and structures in close proximity to public roads, and also in areas of floodways and floodplains, presents a potential harm to both the occupants of the building or structure and the public; and
- E. The Board of Trustees finds that it is commonly accepted planning and land development practices to require a setback of buildings and structures from roads to protect the health safety and welfare of the public; and
- F. The determination of the appropriate setbacks and appropriate means of measuring a setback is a legislative determination of a municipality.

BE IT ORDAINED by the Board of Trustees of the Town of Blue River, Colorado, as follows:

Section 1. Amendment of Section 16B-4-30(b)(3). Subsection (b)(3) of Section 16B-4-30 of the Municipal Code of the Town of Blue River titled *Easements* is amended to read as follows:

(3) **Recorded Road Easements and Access Easements (Public or Private).**

Easements for roads or access (both public and private) are recorded with the Summit County Clerk and Recorder's Office to reserve property for vehicular traffic and to provide for permanent access to property. Depending on the nature of the road or access easement, development within the easement may be restricted or prohibited.

Section 2. Amendment of Section 16B-4-30(b) by Renumbering Subsections (4), (5), (6), and (7). Subsection (b)(4) through Subsection (7) of Section 16B-4-30(b) of the Municipal Code of the Town of Blue River titled *Easements* is amended by renumbering as follows:

Current Subsection Number	New Subsection Number
(b)(4)	(b)(5)
(b)(5)	(b)(6)
(b)(6)	(b)(7)
(b)(7)	(b)(8)

Section 3. Amendment of Section 16B-4-30(b) by Addition of New Subsections (4). Subsection (b) of Section 16B-4-30 of the Municipal Code of the Town of Blue River titled *Easements* is amended by the addition of new subsection (4) to read as follows:

(4) **Town Road Easement.**

The Town established and claims a prescriptive easement (the "Town Road Easement") for all constructed and existing roads that the Town has historically and for more than 20 years, openly, adversely, notoriously, and exclusively managed, maintained, repaired, plowed, and controlled for the purpose of providing a road system accessible to the general public. The Town maintains a publicly available map illustrating the names and general locations of the Town Road Easements. Additionally, these Town Road Easements can be viewed as to their locations at <https://earth.google.com>. The Town will physically mark the boundaries of a prescriptive Town Road Easement at the reasonable request of a property owner for that portion of the easement adjacent to the owner's property. The Town's claimed Road Easement does not include lawfully recognized and recorded private roads that the Town has historically maintained in accordance with a written maintenance or management agreement with a homeowner's association, neighborhood or civic association, or property owner.

Section 4. Amendment of Section 16B-4-30. Section 16B-4-30 of the Municipal Code of the Town of Blue River titled *Setbacks* is amended to read as follows:

Sec. 16B-4-20. Setbacks.

Setbacks (front, rear, and sides) are established by the Zone District that is assigned to a lot. See Chapter 16A - Zoning. Setbacks are a specified distance measured from either: (a) the front, rear, and sides of the property line that defines the boundaries of the lot; or (b) the boundary of a Town Road Easement, or any recorded public or private right-of-way or road easement held or maintained by the Town of Blue River, as required by Section 16B-4-50 (*Buildable Area*). Setbacks effectively define the initial location within the lot in which the principal permitted building or structure may be lawfully constructed, erected, or maintained except as expressly permitted by the Land Use Code. Such initial location is subject to limitations imposed by easements and other encumbrances.

Section 4. Renumbering of Second Section 16B-4-40 AS 16B-4-50. The adopted Land Use Code inadvertently included two sections numbered 16B-4-40. The second of these sections (titled *Buildable Area*) was intended to be numbered as Section 16B-4-50 and is therefore renumbered as Section 16B-4-50.

Section 5. Amendment of Section 16B-4-50(a)(1). Section 16B-4-50(a)(1) of the Municipal Code of the Town of Blue River titled *Buildable Area* is amended to read as follows:

- (a) Determining Building, Structure, and Accessory Improvement Location. When seeking Town approval of the location within a lot of any building, structure, accessory improvement, or other improvement regulated by the Land Use Code, the owner or applicant shall demonstrate a consideration of the following when deciding the appropriate location of the building, structure, accessory improvement, or other improvement:

1. The *lot's* setbacks imposed by the applicable zone district. (see Chapter 16A – Zoning).

Although front, side, and rear setbacks established by a zone district are typically measured from the lot lines of the property, when a Town Road Easement encroaches into a lot, the setback shall be measured from the edge of the Town Road Easement.

Section 6. Amendment of Section 16-3-20. Section 16-3-20 of the Municipal Code of the Town of Blue River titled *Definitions* is amended for the definition of “Setback” to read as follows:

Setback means the distance required by the lot's zone district (see Chapter 16A) between the drip edge of a building or proposed building and the *closer* of the lot line or the edge of any Town Road Easement or any recorded public or private right-of-way or road easement held or maintained by the Town of Blue River unless a different distance is established by a Town-approved site plan, subdivision plat, annexation or development agreement, or other document approved by the Town.

Interpretive Note for Setback: The phrase "within a setback," "within the setback" or "within the setbacks" shall be interpreted to refer to the area defined as a setback and shall not mean within the area enclosed by or that results from the application of two or more setbacks. The area enclosed by or results from the application of setbacks to a lot, which area is outside of the setbacks, is known as the *Buildable Area* (see definition above).

Section 7. Amendment of Section 16-3-20. Section 16-3-20 of the Municipal Code of the Town of Blue River titled *Definitions* is amended for the definition of "*Town Road Easement*" to be located in appropriate alphabetic order and to read as follows:

Town Road Easement means the prescriptive easement established and claimed by the Town of Blue River due to historical use for more than 20 years in an open, adverse, notorious, and exclusive manner though the management, maintenance, repair, plowing, and control for the purpose of providing a road system accessible to the general public and to protect the health and safety of the public.

Section 8. Severability. Should any one or more sections or provisions of this Ordinance or of the Code provisions enacted hereby be judicially determined invalid or unenforceable, such judgment shall not affect, impair, or invalidate the remaining provisions of this Ordinance or of such Code provision, the intention being that the various sections and provisions are severable.

Section 9. Repeal. Any and all Ordinances or Codes or parts thereof in conflict or inconsistent herewith are, to the extent of such conflict or inconsistency, hereby repealed; provided, however, that the repeal of any such Ordinance or Code or part thereof shall not revive any other section or part of any Ordinance or Code provision heretofore repealed or superseded.

Section 10. Minor Revision or Correction Authorized. The Town Manager, in consultation with the Town Attorney, is authorized to make minor revisions or corrections to the codified version of the provisions of this Ordinance provided that such revisions or corrections are grammatical, typographical, or non-substantive and do not alter or change the meaning and intent of this Ordinance.

Section 11. Effective Date. The provisions of this Ordinance shall become effective thirty (30) days after publication following the final passage.

INTRODUCED, READ, PASSED, ADOPTED, AND ORDERED PUBLISHED at a regular meeting of the Board of Trustees of the Town of Blue River, Colorado, held on the 18th day of February, 2025



Mayor

ATTEST:



Town Clerk

Published in the Summit County Journal February 28, 2025