



BLUE RIVER PLANNING AND ZONING COMMISSION MEETING MONTH

Tuesday, June 3, 2025

6:00 PM

0110 Whispering Pines Circle, Blue River, CO

Agenda

The public is welcome to attend the meeting either in person or via Zoom.

The Zoom link is available on the Town website:

<https://townofblueriver.colorado.gov/board-of-trustees>

Please note that seating at Town Hall is limited.

Call to Order, Roll Call

Approval of Minutes

A. Minutes

Project Approval

B. 0194 Golden Crown-New Construction

Adjourn



BLUE RIVER PLANNING AND ZONING COMMISSION MEETING MONTH

Tuesday, May 6, 2025

6:00 PM

0110 Whispering Pines Circle, Blue River, CO

Minutes

The public is welcome to attend the meeting either in person or via Zoom.

The Zoom link is available on the Town website:

<https://townofblueriver.colorado.gov/board-of-trustees>

Please note that seating at Town Hall is limited.

Call to Order, Roll Call

Due to incoming weather, the Planning & Zoning Commission meeting was moved to Zoom. Chair Johnson called the meeting to order at 6:00 p.m.

PRESENT:

Planning & Zoning Commissioner Tim Johnson
Planning & Zoning Commissioner Doug O'Brien
Planning & Zoning Commissioner Troy Watts
Planning & Zoning Commissioner Dan Cleary
Planning & Zoning Commissioner Kristofer Carlsted

Excused: Travis Beck; Gordon Manin

Also present: Town Manager/Clerk Michelle Eddy; Building Official Kyle Parag

Approval of Minutes

A. Minutes

Cleary moved and O'Brien seconded to approve the minutes of April 2025. Motion passed unanimously.

Project Approval

B. Project Review Summary Memo

1. 0061 Twilight-Renovation Addition

Building Official Parag provided an overview of the project recommending approval. Discussion of the siding.

O'Brien moved and Watts seconded to approve the renovation and addition at 0061 Twilight as presented. Motion passed unanimously.

2. 0039 Lodestone-New Construction (project previously approved; moderate changes with new owners)

Building Official Parag provided information about the new construction project recommending approval. It was noted this project was previously approved under prior owners. The Building Official noted the driveway has been corrected to meet code.

Cleary moved and Carlsted seconded to approve the new construction project at 0039 Lodestone as amended and presented. Motion passed unanimously.

3. 0064 Tarnwood-Carriage House

Chair Johnson recused himself from discussion and voting on the project as he is the contractor for the project. Troy Watts served as chair for the project review.

Building Official Parag provided information about the new construction project recommending approval. Discussion of wetlands and it is currently believed there are no wetlands present within 100' of the proposed project.

Watts moved and O'Brien seconded to approve the carriage house at 0064 Tarnwood as presented. Motion passed unanimously.

Adjourn

Cleary moved O'Brien seconded to adjourn the meeting at 6:36 p.m. Motion passed unanimously.

Respectfully Submitted:

Michelle Eddy, MMC
Town Clerk



Town of Blue River Memorandum

TO: Planning & Zoning Commission Members

FROM: Kyle Parag, Building Official & Town Manager Michelle Eddy

DATE: May 29, 2025, 2025

SUBJECT: **Project Review Notes for P & Z Consideration**

Planning & Zoning Commission Members

Below is a summary of the projects presented for the June 3, 2025 meeting. The summary includes all items for Planning & Zoning review and consideration. **All projects have been reviewed for compliance with the Land Use and Building Codes and unless otherwise noted are recommended for approval.**

0194 Golden Crown-New Construction

- Complies with required setbacks.
- Complies with height limitations.
- Garage complies with standards.
- For additional review and consideration:
 - Driveway exceeds 12' allowed for the first 10'.

TO: Michelle Eddy, CMC/CPM - Town Manager/Clerk
FROM: Kyle Parag, Plan Reviewer - CAA
DATE: May 29, 2025
RE: Planning/Zoning/Architectural Guidelines review – 0194 Golden Crown Lane

Below please find staff's analysis that outlines the review with the Town's Zoning regulations and adopted Architectural Design Guidelines for the structure proposed

Zoning Regulation analysis –

Proposal: A new single-family residence with an attached garage. The proposed 2 story, 3 bedroom, 3.5 bath home, includes 2325 s.f. of living space and an attached 576 s.f., 2 vehicle garage for a combined 2811 square feet.

Zoning district: R-1

Lot Size: ~ 23,358 sq. ft.
80,000 sq. ft. Required– Existing Non-Conforming

Lot Width: ~ 199'
100 ft. Required - Complies

Setbacks: Proposed principal residence complies with required setbacks based upon submitted docs. Home is tight on 3 sides to setbacks.

Height: Complies with required height limitations. The height at the highest roof ridge is proposed at 30.1'

Garage Stds: The proposed garage is ~576 sq. ft. and complies with the standards for structures less than 5,000 sq. ft. in habitable size.

Parking Stds: Parking requirements will be met through the proposed garage and exterior parking.

Architectural Design Guideline analysis -

Please note the following key to the interpretation of the analysis table:

Y	Element is in substantial compliance with the design guidelines
N	Does not comply with the design guidelines
PC	Subject to Planning Commission Specific approval
	Requires additional information from applicant
N/A	Not Applicable to the application

STANDARD	NOTES/REMARKS	SUBSTANTIAL COMPLIANCE
DEVELOPMENT STANDARD		
Article 3: Easements	No easements are indicated, but none are anticipated on this property.	Y
Article 4: Buildable Area/setbacks	Setbacks are indicated correctly and comply with requirements	Y
Article 5 Building Design Standards		
Article 5-20 Building Height	Height is indicated at 30'	Y
Article 5-60 Foundation	Foundation is not exposed, indicated to be covered with stone	Y
Article 5-70 Roofs	Main roof design is low pitch gable with high pitch connections and shows general conformance	Y
Article 5-80 Garages	Garage door has a contemporary design but complements the home. Garage is subordinate to the home as practical.	Y
Article 5-90 Window and doors	Windows are sized to complement the home, front door is substantial.	Y

Article 5-100 Balconies and railings	Horizontal metal is indicated, shows general conformance	Y
Article 5-110 Chimney and Roof Penetrations	None indicated, but a fireplace is indicated to side vent	Y
Article 6 Building Materials and Colors		
Article 6-20 Materials	Siding is Cementitious horizontal with board and batten appearance accent. Shows general conformance.	Y
Article 6-30 Colors	Colors are provided and show general compliance. Earthy and natural tones.	Y
Article 7 Accessory Improvements		
Article 7-(20-40, 110) Berms, Garages, sheds and Gazebos	None indicated. Garage is indicated at 576 Sqft	Y
Article 7-50 Driveways	Width indicated at 14'. Slopes very low. Exceeds the allowable 12' of (4) in the first 10 feet from the road.	N
Article 7-60 Parking Areas	Parking comprises of 2 interior spaces and one exterior space. Exterior space is not clearly indicated, but space clearly exists.	Y
Article 7-100 Decks	Large un-covered deck is proposed, shows general conformance	Y
Article 7-120 Hot Tubs	Hot tub indicated on rear of home.	Y
Article 7-140 Fences	None indicate	Y
Article 7-150 Retaining walls	Boulder retaining wall indicated on elevations	Y
Article 8 Signs		

Article 8 Signs	None indicated	Y
Article 9 Lighting		
Article 9 Lighting	Downcast lights are indicated	Y
Article 13 Environmental Regulations		
Article 13-20 Wetlands	None indicated	Y

POWERS BETZ RESIDENCE

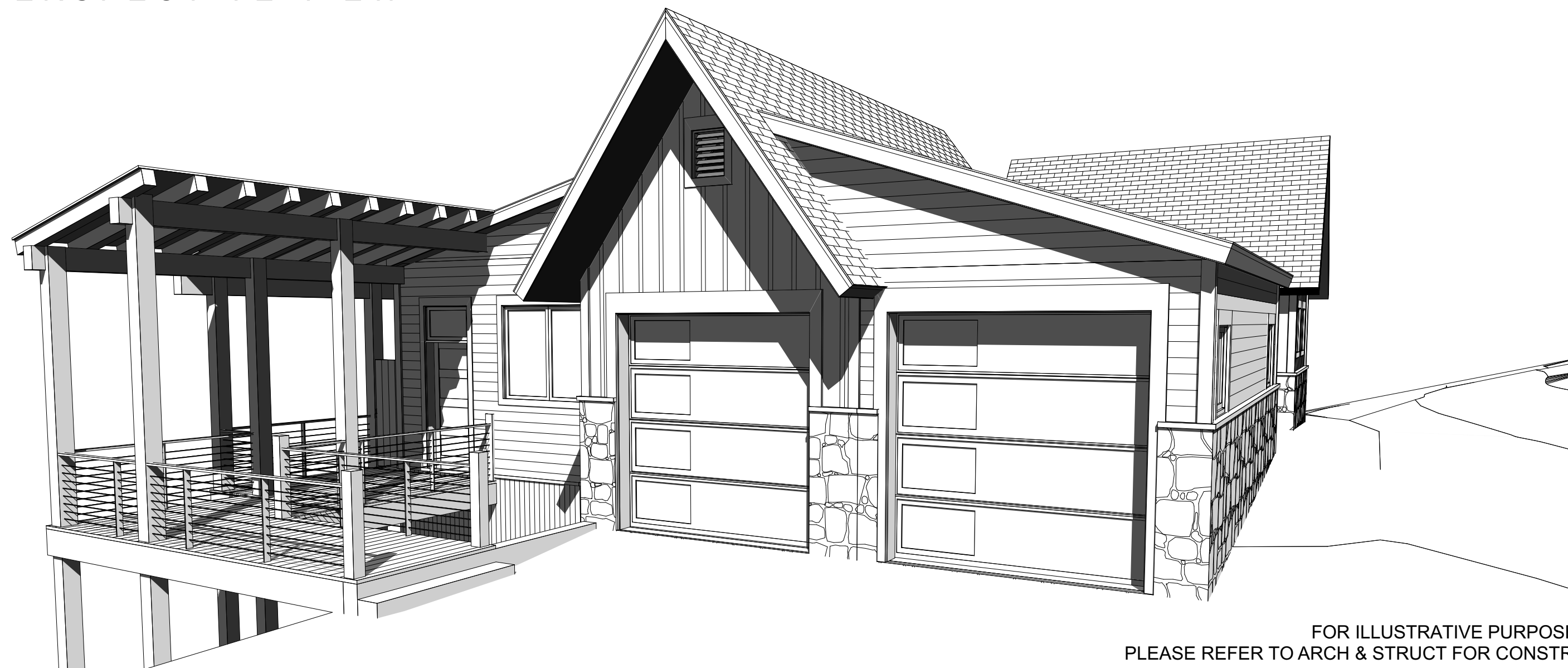
GENERAL NOTES

- SCOPE OF CONTRACTOR'S WORK:
ALL ITEMS AND WORK SHOWN IN THESE CONSTRUCTION DOCUMENTS SHALL BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR OR HIS SUBCONTRACTORS UNLESS NOTED AS EXISTING OR NOT IN CONTRACT (N.I.C.) ON THE DRAWINGS.
- CODES:
THIS PROJECT IS GOVERNED BY THE 2018 INTERNATIONAL RESIDENTIAL CODE & 2018 INTERNATIONAL ENERGY CONSERVATION CODE AS ADOPTED BY THE TOWN OF BLUE RIVER, COLORADO. ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL NATIONAL, STATE, AND LOCAL CODES, REGULATIONS AND RESTRICTIONS WHICH APPLY TO THIS PROJECT. THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND REQUIRED APPROVALS. BUILDING AREAS ARE SHOWN FOR CODE PURPOSES ONLY AND SHALL BE RECALCULATED FOR ANY OTHER PURPOSES.
- DUTY OF COOPERATION:
RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, HIS CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT COMPOUNDS MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. FAILURE TO GIVE SUCH NOTICE SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES.
- CHANGES TO THE WORK:
SUBSTITUTION OF "EQUAL" PRODUCTS WILL BE ACCEPTABLE ONLY WITH OWNER'S OR ARCHITECT'S WRITTEN APPROVAL. IF THE CONTRACTOR REQUIRES ANY CHANGES WHICH IMPACT THE PROJECT SCHEDULE OR BUDGET, HE SHALL SUBMIT A WRITTEN CHANGE ORDER REQUEST TO THE OWNER OR ARCHITECT PRIOR TO THE COMMENCEMENT OF SUCH WORK. PERFORMANCE OF SUCH WORK WITHOUT APPROVAL BY CHANGE ORDER INDICATES GENERAL CONTRACTOR'S ACKNOWLEDGEMENT OF NO INCREASE IN CONTRACT SUM OR TIME. CHANGES FROM THE PLANS OR SPECIFICATIONS MADE WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ANY AND ALL CONSEQUENCES RESULTING FROM THESE CHANGES.
- WORKMANSHIP:
IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC., TO OBTAIN A COMPLETE JOB WITHIN THE RECOGNIZED STANDARDS OF THE INDUSTRY, AND SHALL BE RESPONSIBLE FOR FOLLOWING MANUFACTURERS' INSTALLATION RECOMMENDATIONS AND INSTRUCTIONS.
- FIELD VERIFICATIONS:
VERIFY ALL EXISTING CONDITIONS, DIMENSIONS (INCLUDING, BUT NOT LIMITED TO, PROPERTY BOUNDARIES, BUILDING SETBACKS, AND SITE SLOPES), AND UTILITY LOCATIONS ON THE JOB SITE PRIOR TO THE BEGINNING OF ANY WORK. NOTIFY ARCHITECT FOR INTERPRETATION OR CLARIFICATION OF ANY CONFLICTS OR DISCREPANCIES IN THE DRAWINGS IMMEDIATELY. FAILURE TO GIVE SIMPLE NOTICE SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR SAID DISCREPANCIES.
- DIMENSIONS:
WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. PLAN DIMENSIONS ARE TO THE FACE OF FRAMING MEMBERS. FACE OF WOOD FURRING OR FACE OF CONCRETE WALLS UNLESS OTHERWISE NOTED. SECTION OR ELEVATION DIMENSIONS ARE AT TOP OF CONCRETE, TOP OF PLYWOOD, OR TOP OF WALL PLATES OR BEAMS UNLESS OTHERWISE NOTED.
- CONSTRUCTION SAFETY:
THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
- EXCAVATION PROCEDURES:
IF A SOILS REPORT IS NOT AVAILABLE FOR THIS PROJECT, UPON COMPLETION OF THE EXCAVATION, THE OWNER SHALL RETAIN A SOILS ENGINEER TO INSPECT THE SOIL CONDITIONS IN ORDER TO DETERMINE THE ADEQUACY OF THE FOUNDATION DESIGN. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER.
- FIELD CUTTING OF STRUCTURAL MEMBERS:
THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL FIELD COORDINATE AND OBTAIN APPROVAL FROM ARCHITECT/ENGINEER BEFORE ANY CUTTING, NOTCHING OR DRILLING OF ANY CAST-IN-PLACE CONCRETE, STEEL FRAMING, OR ANY OTHER STRUCTURAL ELEMENTS WHICH MAY AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING WHEN IT IS NECESSARY TO BORE STUDS, JOISTS, OR RAFTERS FOR ELECTRICAL OR PLUMBING RUNS. THE HOLES SHALL NOT BE GREATER THAN 40% OF THE MEMBER DEPTH IN LOAD BEARING CONDITIONS, AND NOT GREATER THAN 60% OF MEMBER DEPTH IN NON LOAD BEARING CONDITIONS. REFER TO THE 2018 INTERNATIONAL RESIDENTIAL CODE RE: MANUFACTURERS' OR SUPPLIER'S INSTRUCTIONS, AND STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- ROOF MAINTENANCE:
EXCESSIVE BUILDUP OF SNOW AND ICE ON ROOFS MAY LEAD TO WATER INTRUSION. IT IS THE OWNERS' RESPONSIBILITY TO KEEP THE ROOF REASONABLY CLEAR OF SNOW BUILDUP AND ICE DAMS EITHER THRU PERIODIC SNOW REMOVAL OR THE INSTALLATION OF A SNOW MELT SYSTEM AT THE EAVES, AND OTHER POTENTIAL PROBLEM AREAS. WE RECOMMEND THE INSTALLATION OF ELECTRICAL OUTLETS ON DEDICATED CIRCUITS IN THE VICINITY OF THESE AREAS DURING CONSTRUCTION TO FACILITATE SNOW MELT SYSTEM IF REQUIRED.

ATTACHMENTS

EXTERIOR LIGHT FIXTURE CUT SHEET

FRONT PERSPECTIVE VIEW



FOR ILLUSTRATIVE PURPOSES ONLY
PLEASE REFER TO ARCH & STRUCT FOR CONSTRUCTION

SCHEDULES

DOOR SCHEDULE

#	W	HT	THK	MTL	PANEL	OPER	GLASS	NOTES
01	9'-0"	9'-0"	1 3/4"	METAL	PANEL	OVER-HD	PART	GARAGE DOOR RE: ELEVATIONS
02	6'-0"	7'-0"	1 3/4"	COMP.	PATIO	SLIDER	FULL	2 PANEL SLIDER / MULLED WIN 'E' ABOVE
03	3'-0"	7'-0"	1 3/4"	COMP.	PATIO	SWING	PART	ENTRY DOOR RE: ELEV / MULLED WIN 'J' ABOVE
04	3'-0"	8'-0"	1 3/4"	COMP.	PATIO	SWING	HALF	
05	3'-0"	6'-8"	1 3/4"	COMP.	PATIO	SWING	-	20 MIN FIRE RATED, SELF CLOSING, TIGHT SEAL
06	4'-0"	6'-8"	1 3/8"	WOOD	PANEL	BIPASS	-	
07	3'-0"	6'-8"	1 3/8"	WOOD	PANEL	POCKET	-	
08	3'-0"	6'-8"	1 3/8"	WOOD	PANEL	SWING	-	
09	2'-8"	6'-8"	1 3/8"	WOOD	PANEL	SWING	-	
10	2'-8"	6'-8"	1 3/8"	WOOD	PANEL	SLIDER	-	BARN DOOR
11	2'-4"	6'-8"	1 3/8"	WOOD	PANEL	SWING	-	

WINDOW SCHEDULE

#	UNIT	TYPE	W	H	NOTES
A	72X60 / 36X60 / (3) 36X24	FIX / CSMT / (3) AWN	9'-0"	7'-0"	
B	72X60 / 36X60	FIX / CSMT	9'-0"	5'-0"	EGRESS
C	36X36 / 72X36 / 36X72 / 72X72	(3)FIX / CSMT	9'-0"	9'-0"	EGRESS
D	(2) 36x60	(2) CSMT	6'-0"	5'-0"	
E	(2) 36X24	(2) FIX	6'-0"	2'-0"	MULLED TO DOOR #02
F	60X60 / (2) 30X24	FIX / (2) AWN	5'-0"	7'-0"	
G	36X60	CSMT	3'-0"	6'-0"	EGRESS
H	36X36	AWN	3'-0"	3'-0"	
I	36X36	AWN	3'-0"	3'-0"	SHOWER WINDOW
J	36X24	FIX	3'-0"	2'-0"	MULLED TO DOOR #03

FINISH SCHEDULE

RM #	ROOM	FLRG	BASE	WALLS	CLG	HT	NOTES
101	LOCK OFF	CONC.	-	GYP	GYP	8'-10"	
102	BEDROOM 2	WOOD	WOOD	GYP	GYP	8'-10"	
103	BATH 2	TILE	WOOD	GYP	GYP	8'-10"	VENT TO EXTERIOR
104	MECH	CONC.	-	GYP	GYP	8'-10"	VENT TO EXTERIOR
105	FAMILY ROOM	WOOD	WOOD	GYP	GYP	8'-10"	
106	BEDROOM 3	WOOD	WOOD	GYP	GYP	8'-10"	
107	BATH 3	TILE	WOOD	GYP	GYP	8'-10"	VENT TO EXTERIOR
201	GARAGE	CONC.	-	GYP	GYP	VAULT	
202	MUD / LNDR	TILE	WOOD	GYP	GYP	10'-0"	VENT TO EXTERIOR
203	MASTER BEDROOM	WOOD	WOOD	GYP	T&G WOOD	VAULT	
204	M. BATH	TILE	WOOD	GYP	GYP	10'-0"	VENT TO EXTERIOR
205	M. CLOSET	WOOD	WOOD	GYP	GYP	10'-0"	
206	POWDER	TILE	WOOD	GYP	GYP	10'-0"	VENT TO EXTERIOR
207	GREAT ROOM	WOOD	WOOD	GYP	T&G WOOD	VAULT	
208	DINING	WOOD	WOOD	GYP	T&G WOOD	VAULT	
209	KITCHEN	WOOD	WOOD	GYP	T&G WOOD	VAULT	
210	ENTRY	WOOD	WOOD	GYP	T&G WOOD	VAULT	

DOOR & WINDOW NOTES

- ALL WINDOWS TO BE ALUM. OR COMPOSITE AS SELECTED BY OWNER UNLESS OTHERWISE NOTED.
- UNIT SIZES HAVE BEEN ROUNDED FOR COMPARISON WITH OTHER MANUFACTURERS. VERIFY ALL EXACT SIZES WITH APPROPRIATE MANUFACTURER. SUBSTITUTIONS OF MANUFACTURERS WILL BE ALLOWED ONLY WITH OWNER/ARCHITECT APPROVAL; REFER TO GENERAL NOTES.
- SEE WINDOW SCHEDULE FOR WINDOW TYPE AND OPERATION. CROSS-CHECK OPERATION WITH EXTERIOR ELEVATIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO ORDERING UNITS.
- DUAL GLAZE ALL WINDOWS AND DOORS WITH LOW-E GLASS RATED FOR USE AT HIGH ALTITUDES. PER MANUFACTURER'S REQUIREMENTS.
- TEMPERED GLASS AT DOORS, WITHIN 18" OF FLOOR, AND ADJACENT TO STAIRS AND DOORS. AS REQUIRED BY CODE.
- FIELD MEASURE FOR ALL CUSTOM UNIT SIZES PRIOR TO ORDERING.
- PROVIDE WEATHERSTRIPPING AND ALUMINUM THRESHOLDS AT ALL EXTERIOR DOORS AND AS NOTED ON SCHEDULES.
- PROVIDE METAL FLASHING AT ALL DOOR AND WINDOW HEADERS.
- WRAP MEMBRANE FLASHING INTO ALL WINDOW & DOOR ROUGH OPENINGS PER MANUFACTURER RECOMMENDATIONS
- INSULATE ALL EXTERIOR SHIM SPACES AT DOORS AND WINDOWS.
- VERIFY WINDOW AND DOOR HARDWARE FINISHES WITH OWNER PRIOR TO ORDERING.
- EACH SLEEPING ROOM TO HAVE AN EGRESS WINDOW OR DOOR TO MEET 2018 IRC REQUIREMENTS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO ORDERING UNITS.
- PROVIDE ALL COMBINATION UNITS WITH EXTERIOR MULLION COVERS.
- WINDOWS AND DOORS TO HAVE FIELD APPLIED EXTERIOR TRIM.
- ALL WINDOWS TO HAVE U-FACTOR 0.30 MAX PER 2018 IRC

INTERIOR FINISH NOTES

- FOLLOW ALL MANUFACTURERS' RECOMMENDATIONS AND INSTALLATION INSTRUCTIONS PER GENERAL NOTES.
- COMMENCEMENT OF FINISH WORK INDICATES ACCEPTANCE OF PRIOR WORKMANSHIP BY INSTALLER.
- ALL WALLS AND CEILINGS TO RECEIVE 5/8" TYPE "X" GYPSUM BOARD, TAPE, 2 COATS MUD. TEXTURE AND 2 COATS PAINT UNLESS OTHERWISE NOTED HEREIN OR ON DRAWINGS.
- PROVIDE 5/8" TYPE "X" GYPSUM BOARD AS REQUIRED BY CODE AND BUILDING DEPARTMENT AT GARAGE, MECHANICAL ROOM AND BELOW STAIR.
- PROVIDE 1/2" CEMENT BOARD UNDERLAYMENT AT ALL CERAMIC TILE AREAS.
- FINISH ALL CLOSETS AND STORAGE AREAS TO MATCH ADJACENT SPACES UNLESS OTHERWISE NOTED ON PLANS.
- ALL CLOSETS TO HAVE COAT ROD AT 5'-6" AFF W/TYPICAL SHELF ABOVE UNLESS NOTED.
- TYPICAL SHELF: 16 1/2" DEEP 3/4" AC GRADE PLYWOOD (PAINT) WITH 3/4" WOOD EDGE BAND AT EXPOSED EDGES (SPECIES AND FINISH TO MATCH ADJACENT WOOD TRIM).
- TYPICAL FIXED SHELF ASSEMBLY: TYP. SHELVES SPACED AT 16" OC VERT. STARTING AT 24" AFF.

FLOOR ELEVATIONS

LOWER FLOOR	EL: 90'-0"	= USGS: 9,970.0
GARAGE ENTRY	EL: 99'-6"	= USGS: 9,979.5
MAIN FLOOR	EL: 100'-0"	= USGS: 9,980.0
MAIN RIDGE	EL: 120'-1"	= USGS: 10,000.1

LEGAL DESCRIPTION

LOT 538
CROWN SUB.

194 GOLD CROWN LANE
BLUE RIVER, CO 80424

PROJECT DIRECTORY

OWNER:	CAROLYN POWERS & MORGAN BETZ 400 N PARK AVE. UNIT 12B BRECKENRIDGE, CO 80424 PH:
ARCHITECT:	ARAPAHOE ARCHITECTS, P.C. PO BOX 4780 BRECKENRIDGE, CO 80424 PH: 970-453-8474
STRUCTURAL ENGINEER:	CTL RHOMPSON, INC PO BOX 2122 SILVERTHORNE, CO 80498 PH: 970-453-2047
CIVIL ENGINEER:	MARCIN ENGINEERING 213 TABOR STREET BUENA VISTA, CO PH: 719-395-3332
CONTRACTOR:	SWEET HOMES OF COLORADO INC 129 10TH STREET, UNIT A2 SILVERTHORNE CO 804 PH: 970-262-3818

BUILDING AREA

	FINISHED	UNFINISHED	TOTAL
MAIN FLOOR	1,315	576	1,891
LOWER FLOOR	819	101	920
TOTAL:	2,134	677	2,811

NOTES: UNFINISHED INCLUDES GARAGE, LOCK-OFF STORAGE & MECH

SHEET INDEX

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A-6	ROOF PLAN
A-7	BUILDING ELEVATIONS
A-8	BUILDING ELEVATIONS
A-9	BUILDING SECTIONS & NOTES
A-10	BUILDING SECTIONS
A-11	DETAILS
A-12	DETAILS

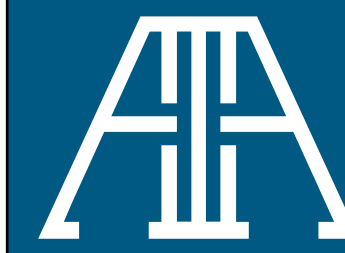
STRUCTURAL

S-1	FOUNDATION PLAN
S-2	FOUNDATION DETAILS
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CIVIL

C-1	GRADING AND DRAINAGE PLAN
C-2	DETAILS

SURVEY



ARAPAHOE
ARCHITECTS

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194 GOLD CROWN LANE
BLUE RIVER, CO

NOTES & SCHEDULES

JOB 2419

DWN BY GP

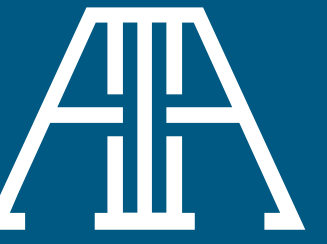
ISSUE

05/01/2025 - PERMIT

A-1

A TOPOGRAPHIC MAP OF
LOT 538, THE CROWN
 GOOSE PASTURE TARN-BLUE RIVER ESTATES, INC.
 TOWN OF BLUE RIVER, SUMMIT COUNTY, COLORADO

GOLD KING PLACER



ARAPAHOE
ARCHITECTS

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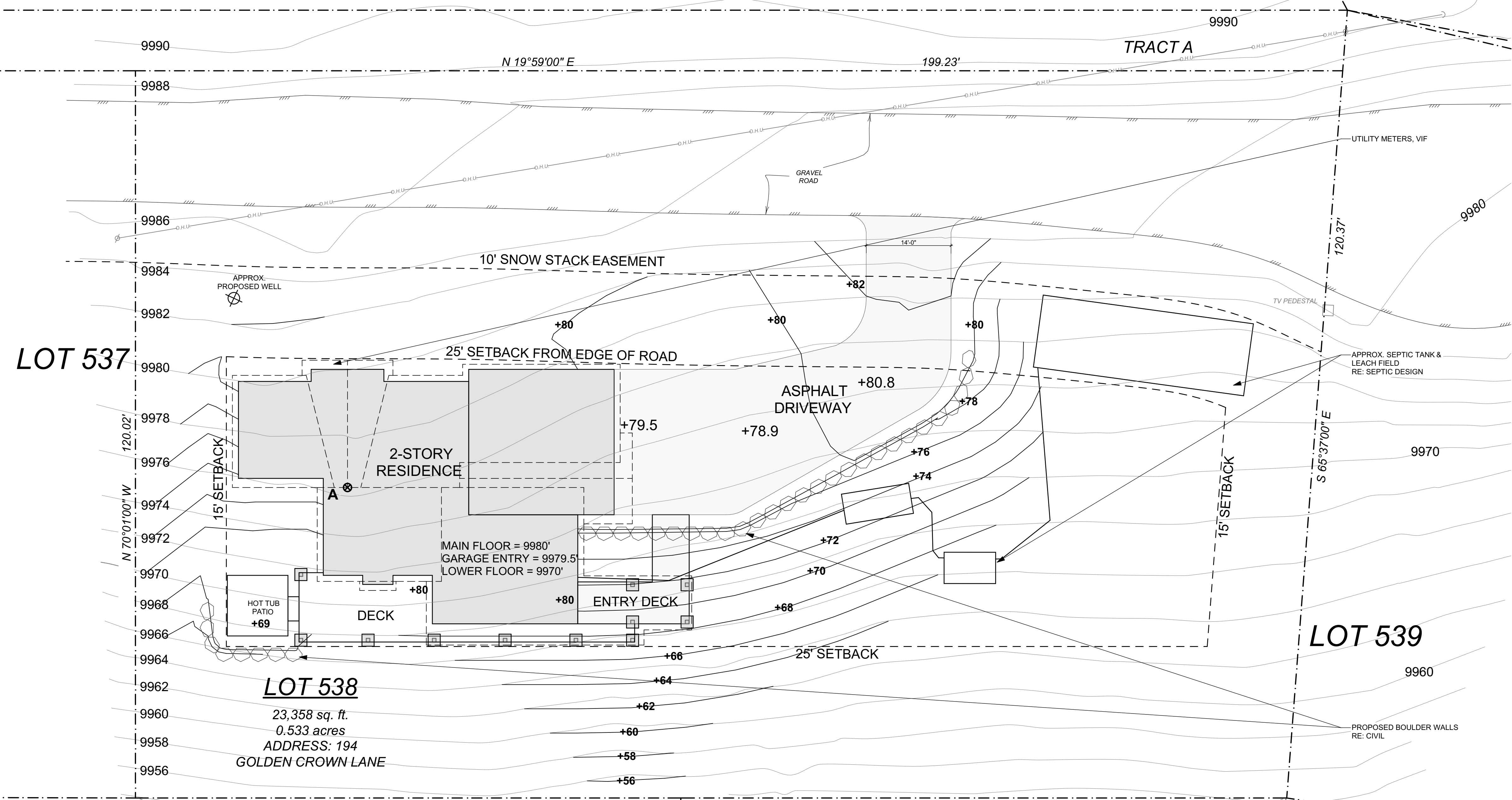
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194 GOLD CROWN LANE
BLUE RIVER, CO

SITE PLAN

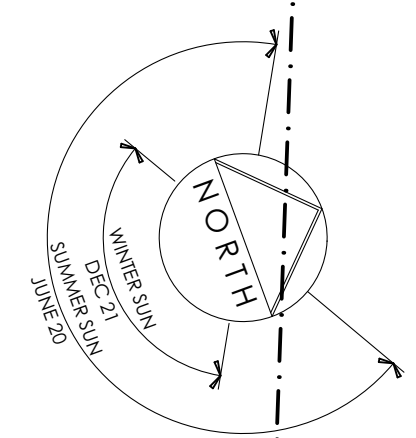
JOB 2419
DWN BY GP
ISSUE 05/01/2025 - PERMIT

SHEET

A-2



HEIGHT CALCS						
POINT (ELEVATION)	NATURAL GRADE	FINISHED GRADE	MEASURED FROM	ROOF ELEVATION	CALCULATION	HEIGHT
A	9,976.5'	9,970.0'	FINISHED GRADE	10,000.1'	10,000.1'-9,970.0'	30.1'

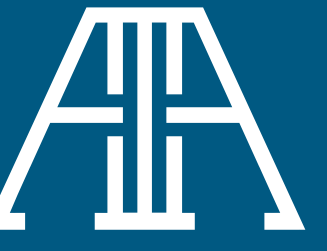
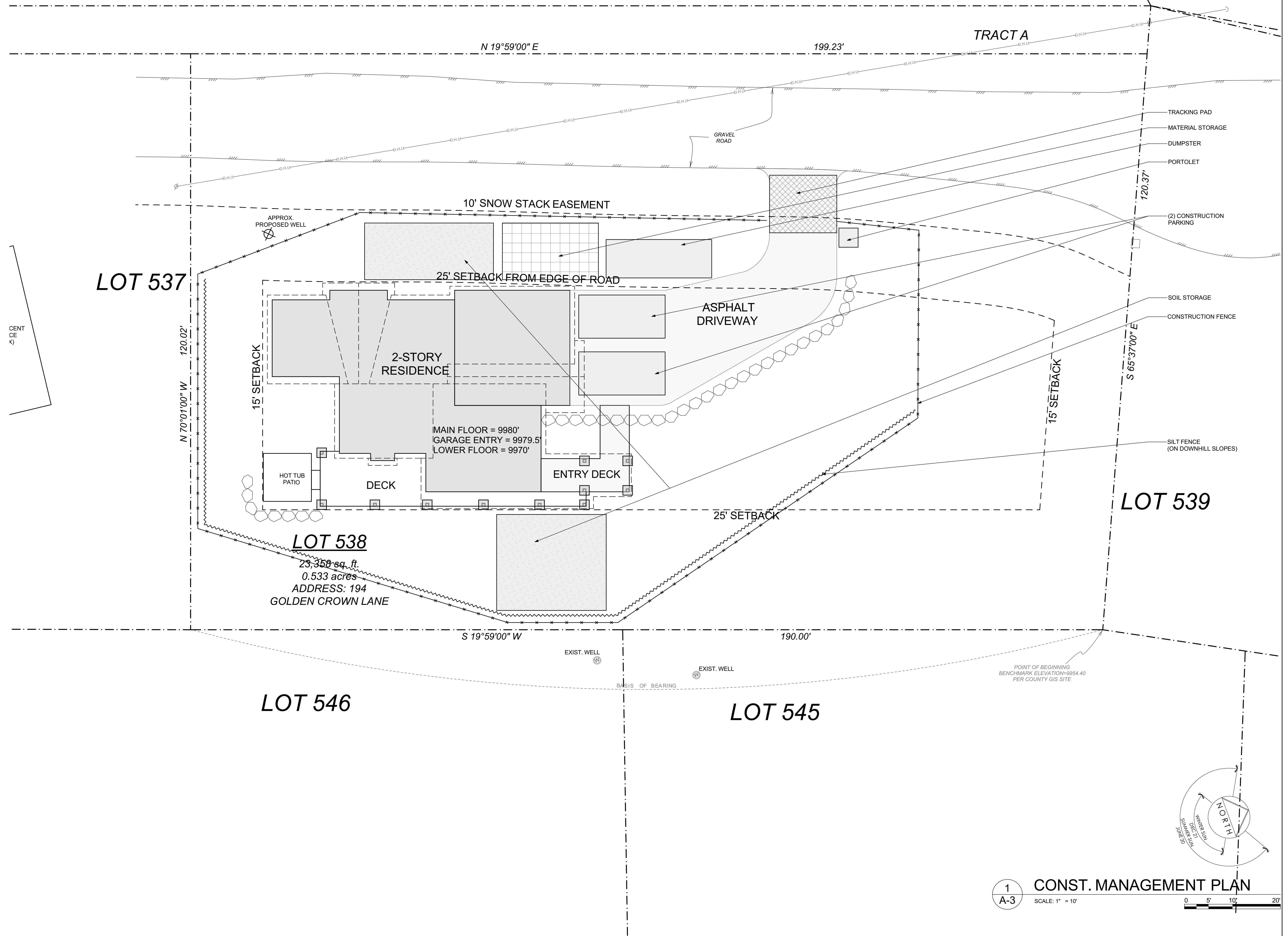


1 SITE PLAN
A-2 SCALE: 1" = 10'

FILE: G:\A\Arch\Projects\2024-2025\2419 - Powers Betz Residence\Drawings\A-2.dwg - Powers Betz Residence.dwg - 05/01/2025 10:11:11 AM

A TOPOGRAPHIC MAP OF
LOT 538, THE CROWN
 GOOSE PASTURE TARN-BLUE RIVER ESTATES, INC.
 TOWN OF BLUE RIVER, SUMMIT COUNTY, COLORADO

GOLD KING PLACER



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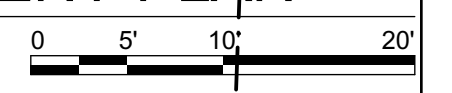
CONST.
MNGMT. PLAN

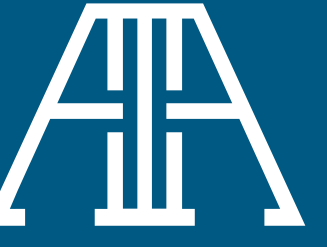
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A-3

1
A-3
CONST. MANAGEMENT PLAN
SCALE: 1" = 10'





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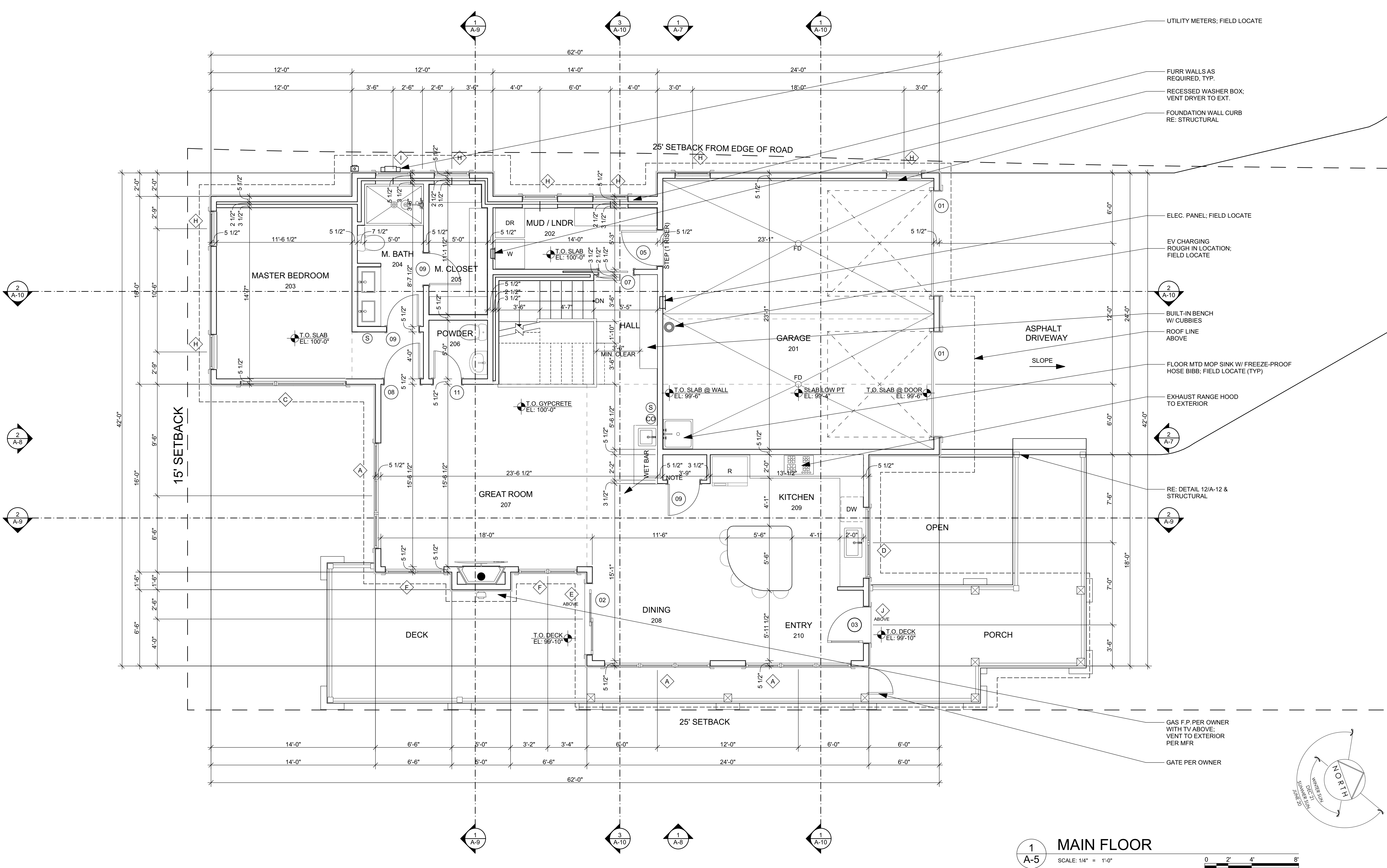
194 GOLD CROWN LANE
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MAIN FLOOR PLAN

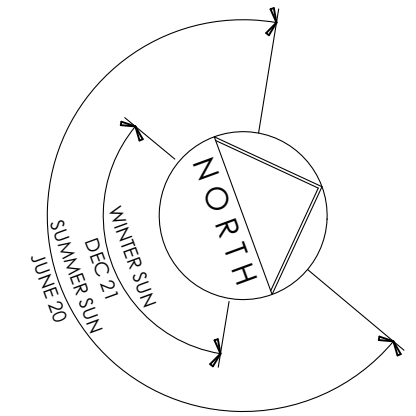
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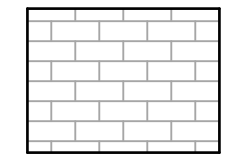
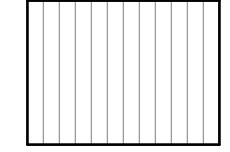

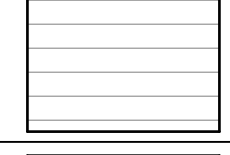
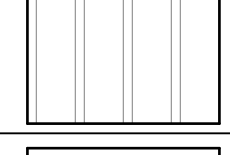

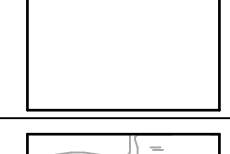

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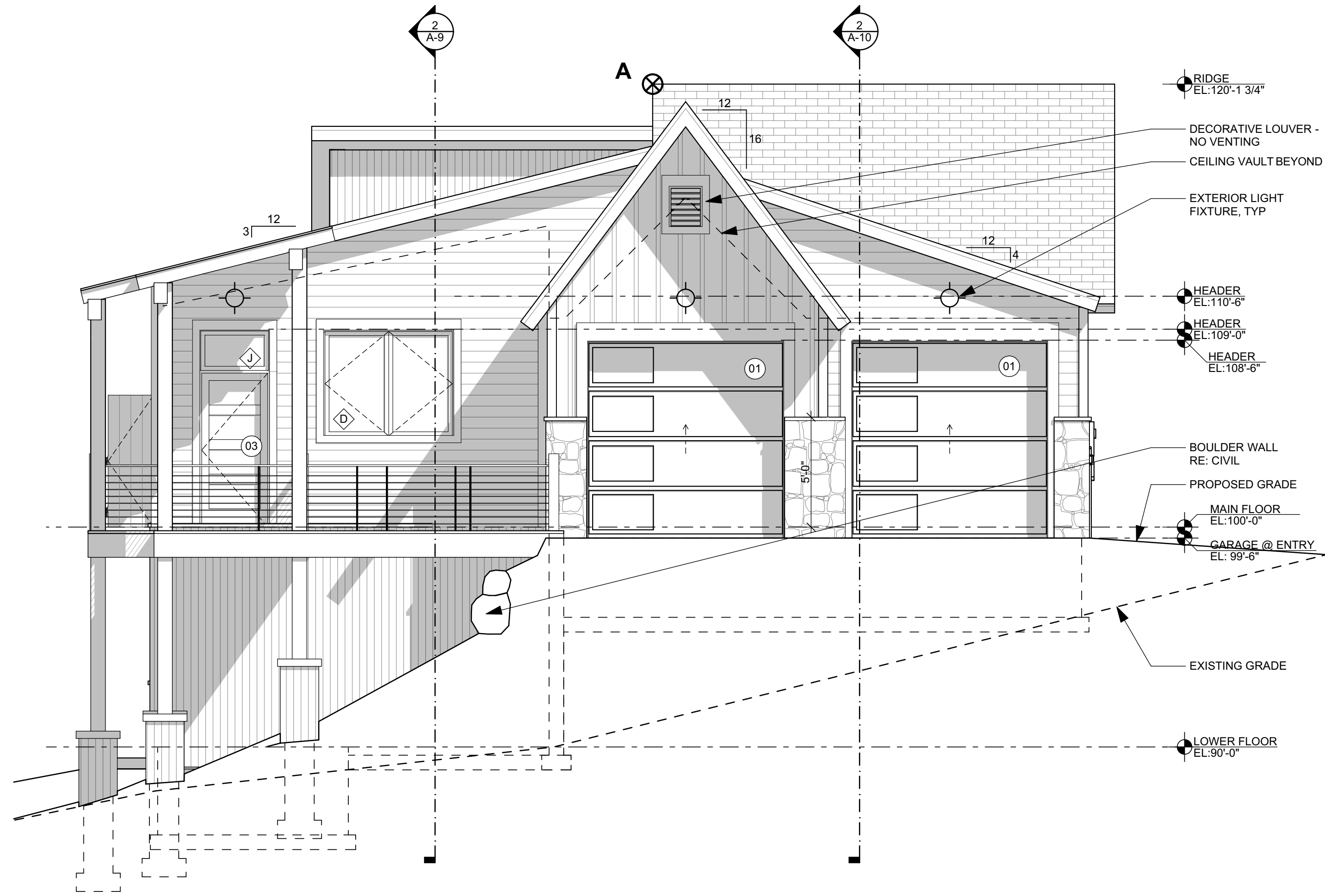
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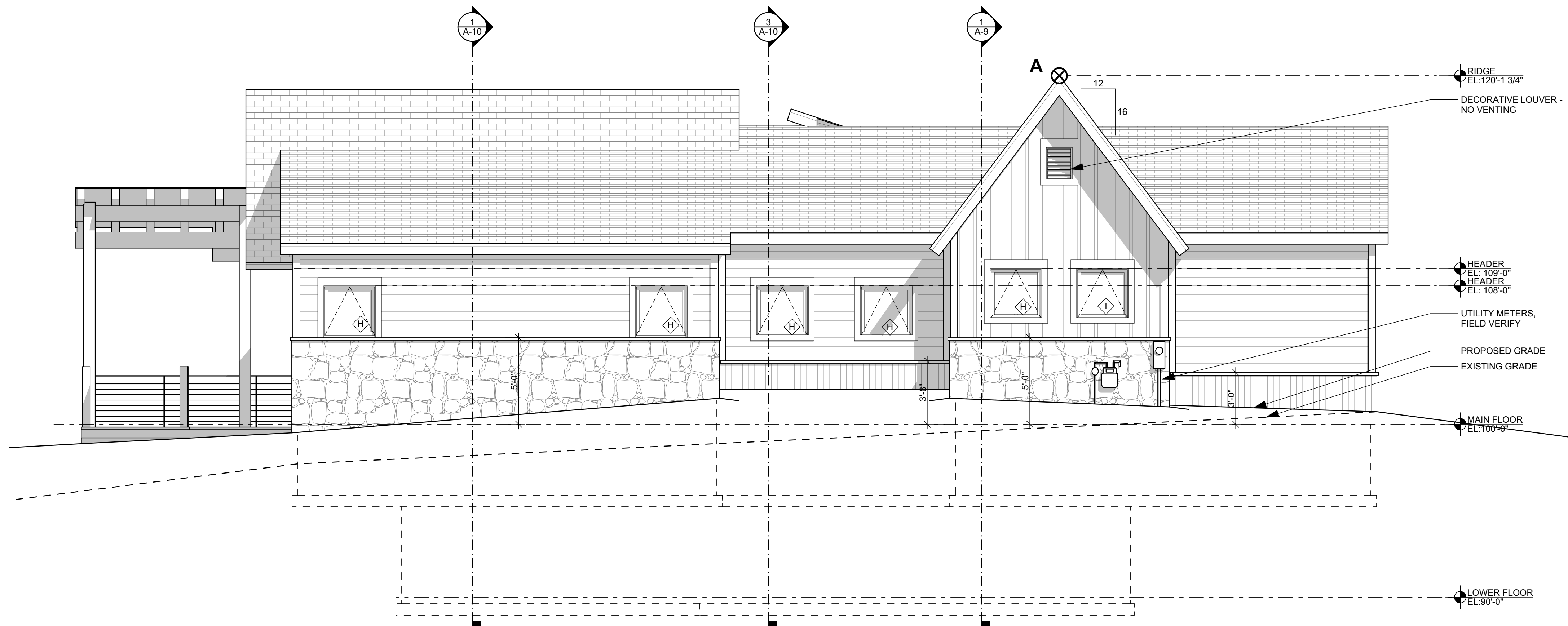
1 MAIN FLOOR
 A-5 SCALE: 1/4" = 1'-0"
 0 2' 4' 8'



EXTERIOR MATERIALS SCHEDULE			
SYMBOL	ITEM	MATERIAL	COLOR
	ROOF:	40 YR. COMP. SHINGLES	↑ PER COLOR BOARD ↓
	ACCENT BASE:	VERT. CORR. METAL	
	EAVE/RAKE: TRIM:	2X10, MTL/DRIP EDGE OUTSIDE CORNER 2X6 INSIDE CORNER 2X4 1X6 W/ 2X HOOD SILL	
	PRIMARY SIDING:	HORIZONTAL CEMENTITIOUS, 6" EXPOSURE	
	ACCENT SIDING 1:	VERTICAL BOARD & BATTEN CEMENTITIOUS 12" O.C.	
	DOORS/WINDOWS:	ALUM. CLAD WOOD, OR COMPOSITE	
	DECKS/RAILS: EXPOSED BEAMS/COL:	COMP. RAILS & NEWELS COMPOSITE DECKING TIMBER	
	ACCENT STONE:	NATURAL STONE; THIN VENEER	



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"
0 2' 4' 8'



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"
0 2' 4' 8'



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**BUILDING
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A-7



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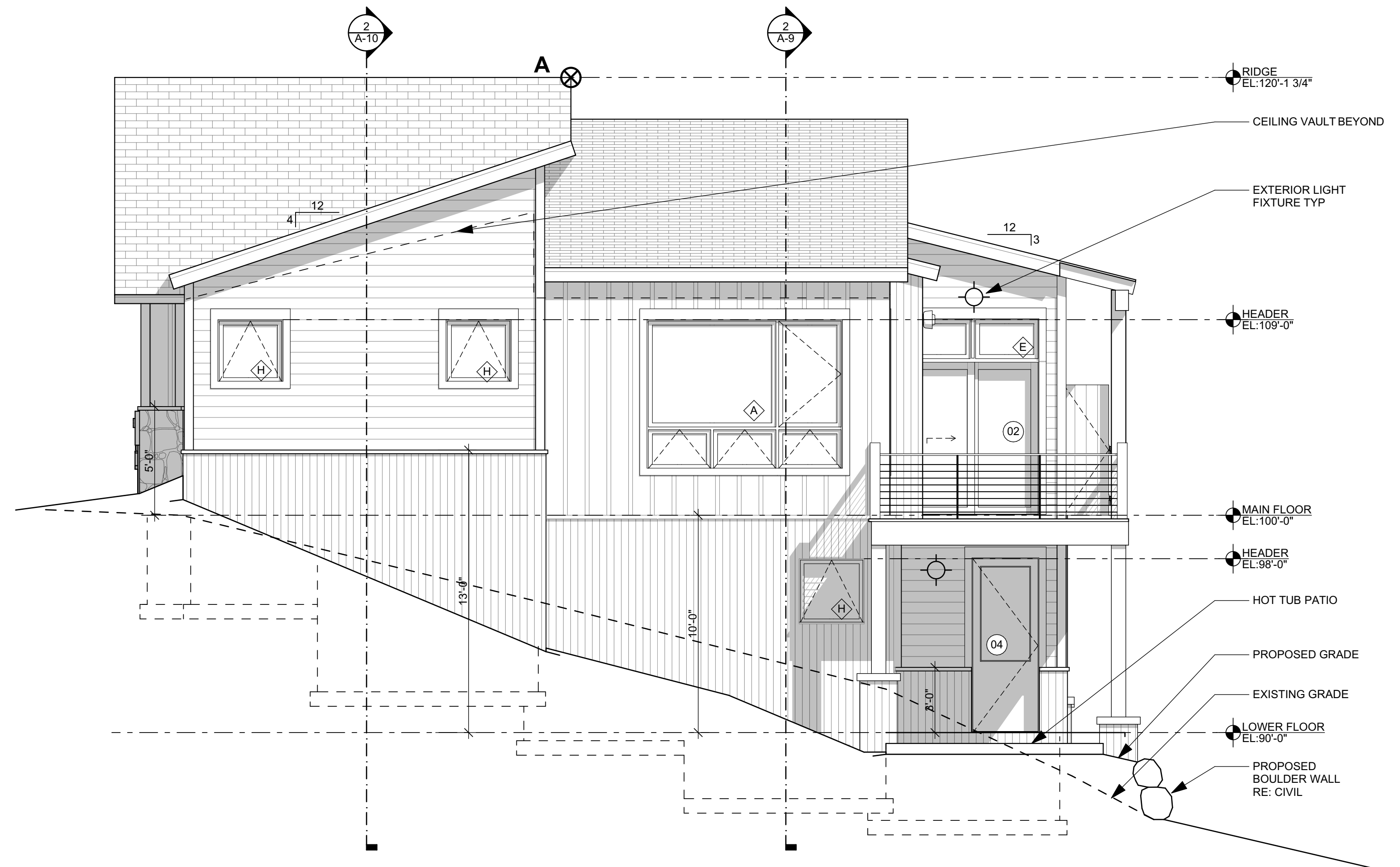
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BUILDING ELEVATIONS

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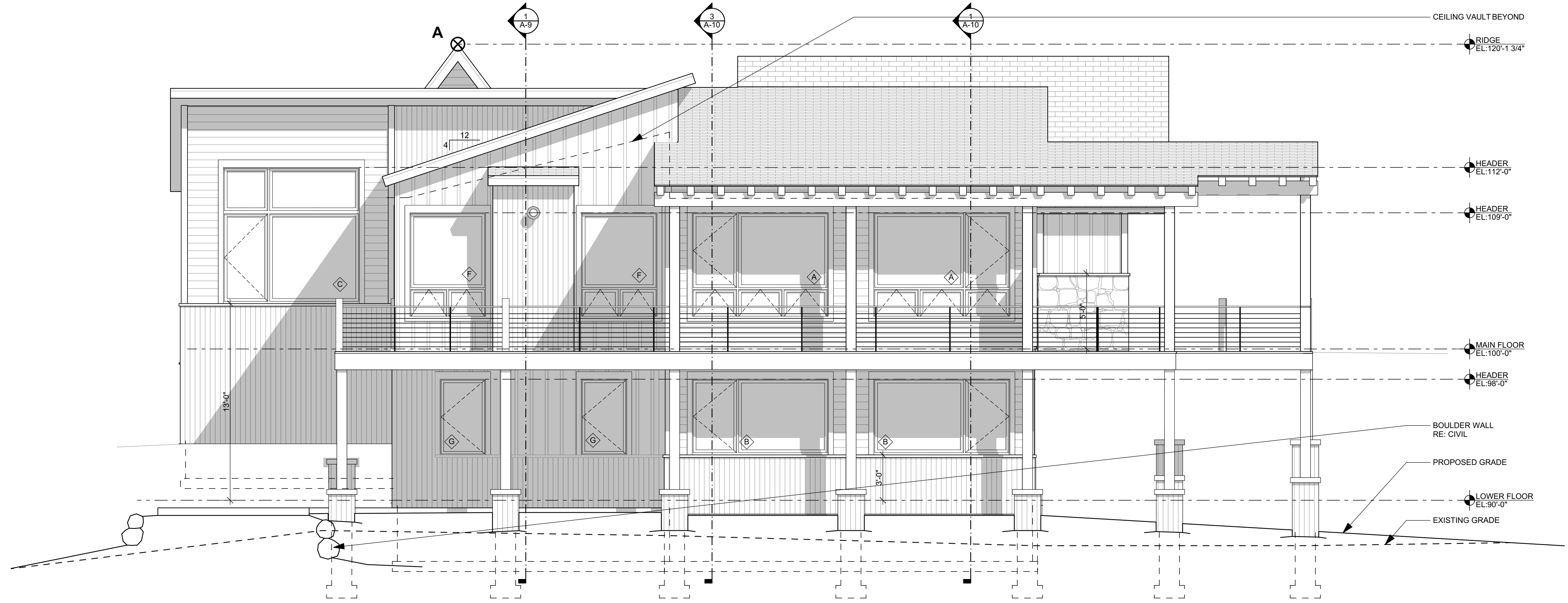
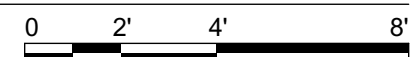
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A-8



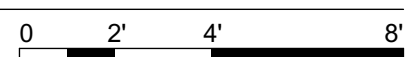
2 SOUTH ELEVATION

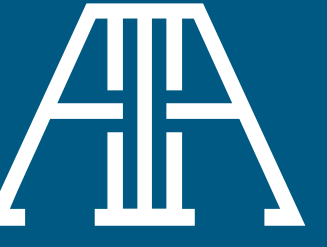
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION

SCALE: 1/4" = 1'-0"





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BUILDING SECTIONS & NOTES

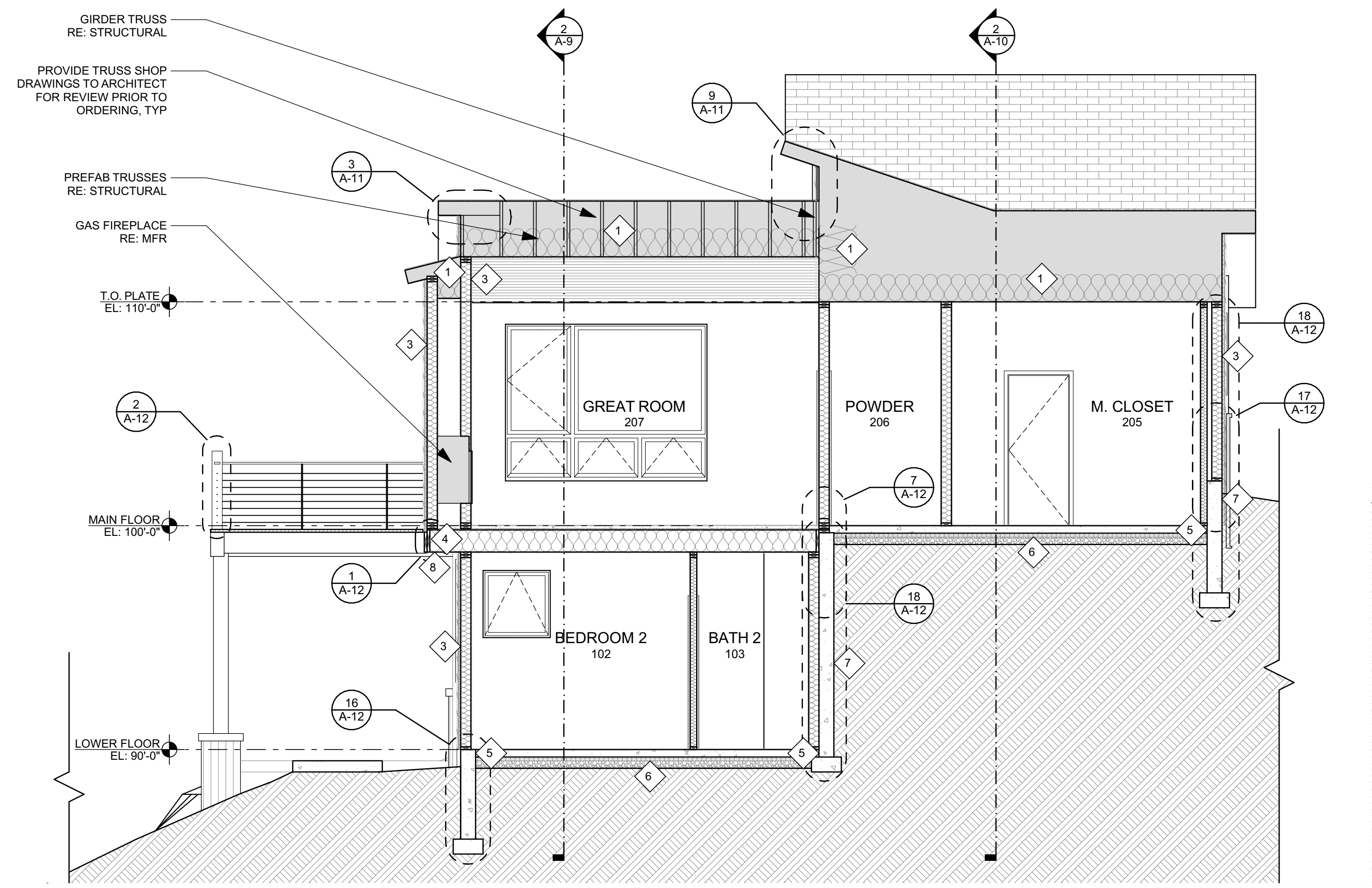
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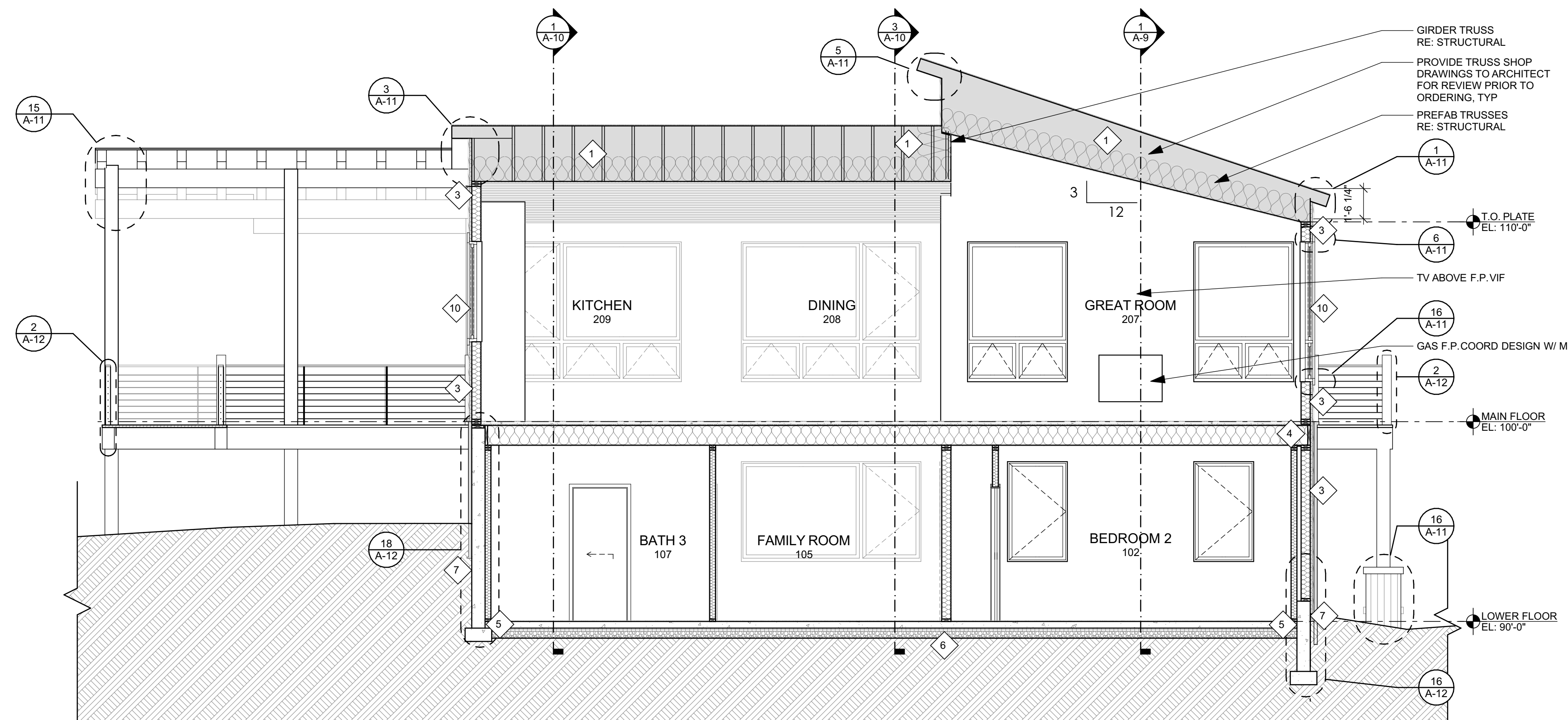
A-9

SECTION NOTES		
REFER TO BUILDING THERMAL LEGEND FOR INSULATION R-VALUES		
TYPICAL ROOF ASSEMBLY	TYPICAL EXTERIOR WALL	TYPICAL INTERIOR INSULATION
RIDGE VENT RE: ROOF PLAN	SIDING (RE: EXT. MTRL. SCHED.)	R-11 BATT SOUND INSULATION @ ALL INTERIOR WALLS, CEILINGS & FLOORS
COMP. SHINGLE - 325 LB. ROOF SQUARE	STRUCTURAL INSULATED PANEL (SIP) RE: THERMAL LEGEND	TYPICAL STAIR
PAINTED METAL FLASHING @ ALL VALLEYS, EDGES, ROOF & WALL CONNECTIONS	2X6 STUDS @ 16" O.C.	36" MIN. CLEAR WIDTH @ STAIR RUN & LANDING
CONTINUOUS BITUTHENE ICE & WATER SHIELD	BLOWN-IN INSULATION	7 3/4" MAX. RISE
5/8" CDS SHEATHING	6 MIL POLY VAPOR BARRIER	10" MIN. TREAD
RAFTERS/BEAMS PER STRUCT.	5/8" TYPE 'X' GYP BD	1 1/2" DIA. HANDRAIL @ 36" ABOVE NOSING
BATT INSULATION W/INSULATION BAFFLES FOR CONT. EAVE TO RIDGE AIR FLOW	INT. FINISH PER SCHEDULE	4" MAX. GAP @ GUARDRAIL
SPRAY FOAM INSULATION @ TRUSS HEELS W/ INSUFFICIENT DEPTH FOR BATT INSULATION	TYPICAL FLOOR /CLG. ASSEMBLY	TYP. GRG./LIVING SEPARATION
6 MIL POLY VAPOR BARRIER	INT. FINISH PER SCHEDULE	5/8" "X" GYP. BD. TO WRAP ALL STRUCT. MEMBERS
INT. FINISH PER SCHEDULE	1 1/2" GYPCRETE W/ HYDRONIC TUBING	5/8" "X" GYP. BD. CONT. BETWEEN GARAGE & LIVING SPACE
3/8" PLYWOOD SOFFIT W/ SOFFIT VENT RE: ROOF PLAN	3/4" T&G APA RATED SHING GLUE & NAIL EACH JOIST PER MFR	INSULATION RE: THERMAL LEGEND
TYPICAL FOUNDATION	JOISTS - RE: STRUCT.	20 MIN. FIRE RATED DOOR W/ WEATHER STRIPPING, THRESHOLD & AUTO CLOSER
CONC. WALL & FTG - RE: STRUCT.	EXT FLOOR RIM INSULATION RE: THERMAL LEGEND	TYPICAL MECH. SYSTEM
SLOPE FIN. GRADE AWAY FROM WALL	FLR & CLG FINISHES PER FINISH SCHEDULE	GAS - FIRED HIGH EFFICIENCY BOILER W/ RADIANT TUBING IN CONC. SLAB & GYPCRETE
INSUL. & WATERPROOFING ON WALL AT LIVING SPACE BELOW GRADE	TYPICAL CONCRETE SLAB	DOMESTIC HOT WATER EXCHANGER FROM BOILER SIZED FOR ANTICIPATED USE
4" PERF. PVC DRAIN SET IN 3/4" DIA. WASHED GRAVEL BED @ FOOTING - SLOPE TO DRYWELL OR DAYLIGHT	4" REINF. CONC. W/ PERPENDICULAR CONTROL JOINT ON 4" COMPACTED GRAVEL FILL W/ RADON MITIGATION VENT SYSTEM; RE: STRUCT.	
TYPICAL STONE BASE	TYPICAL VENT	
DRYSTACK MOSS ROCK ON BUILDING FELT W/ GALV. TIES	BATHROOM FANS, DRYER VENTS & KITCHEN HOODS TO VENT TO EXTERIOR	
SLOPED STONE CAP, 2:12 MIN.	CONT. VENT BEHIND REFRIGERATOR	
4" X 4" X 3/8" STL. ANGLE CONT. W/ 3/4" DIA. X 6" EXP. BOLTS @ 32" O.C.	1 CONT. VENT PER UNIT MUST EXCHANGE AIR AT 60CFM PER 2018 IRC TABLE M1505.4.3(1)	
TYPICAL VALLEY FLASHING	TYPICAL ROOF/WALL FLASHING	
(2) LAYERS ICE & WATER SHIELD 36" UP EACH SIDE OF VALLEY	EXTEND ICE & WATER SHIELD 2'-0" MIN. UP WALL	
8" X 8" MTL. FLASHING - OVERLAP W/ HOUSE WRAP	8" X 8" MTL. FLASHING - OVERLAP W/ HOUSE WRAP	

BUILDING THERMAL LEGEND		
KEYNOTE TAG	MIN R-VALUE	MATERIAL NOTES
1	R-60	BLOWN-IN INSUL. CONTINUOUS @ CEILING
2	R-49	SPRAY FOAM INSUL. @ SHALLOW TRUSS HEELS AS REQUIRED
3	R-20 +	BATT INSULATION @ CAVITY
4	R-5ci	CONTINUOUS RIGID INSULATION @ EXT. WALLS
5	R-20 +	BATT INSULATION @ RIM CAVITY
6	R-5ci	CONTINUOUS RIGID INSULATION @ EXTERIOR RIGID INSULATION @ SLAB EDGE, INSIDE FOUNDATION WALL, BEVELED PER ARCH DETAILS
7	R-5 +	RIGID INSULATION @ SLAB EDGE, OUTSIDE FOUNDATION WALL
8	R-5	RIGID INSULATION CONTINUOUS UNDER SLAB
9	R-13 +	CAVITY INSULATION @ FURR WALLS (INT)
10	R-5ci	RIGID INSUL. @ FOUNDATION WALLS (EXT)
11	R-38	BATT INSULATION @ CANTILEVER FLOOR
12	R-20 +	BATT INSULATION @ CAVITY
13	R-5ci	CONTINUOUS RIGID INSULATION @ WALLS BETWEEN GARAGE AND LIVING SPACE
14	NA	ALL WINDOWS TO HAVE U-VALUE OF 0.32 MAX



1 SECTION
SCALE: 1/4" = 1'-0"
0 2' 4' 8'



2 SECTION
SCALE: 1/4" = 1'-0"
0 2' 4' 8'



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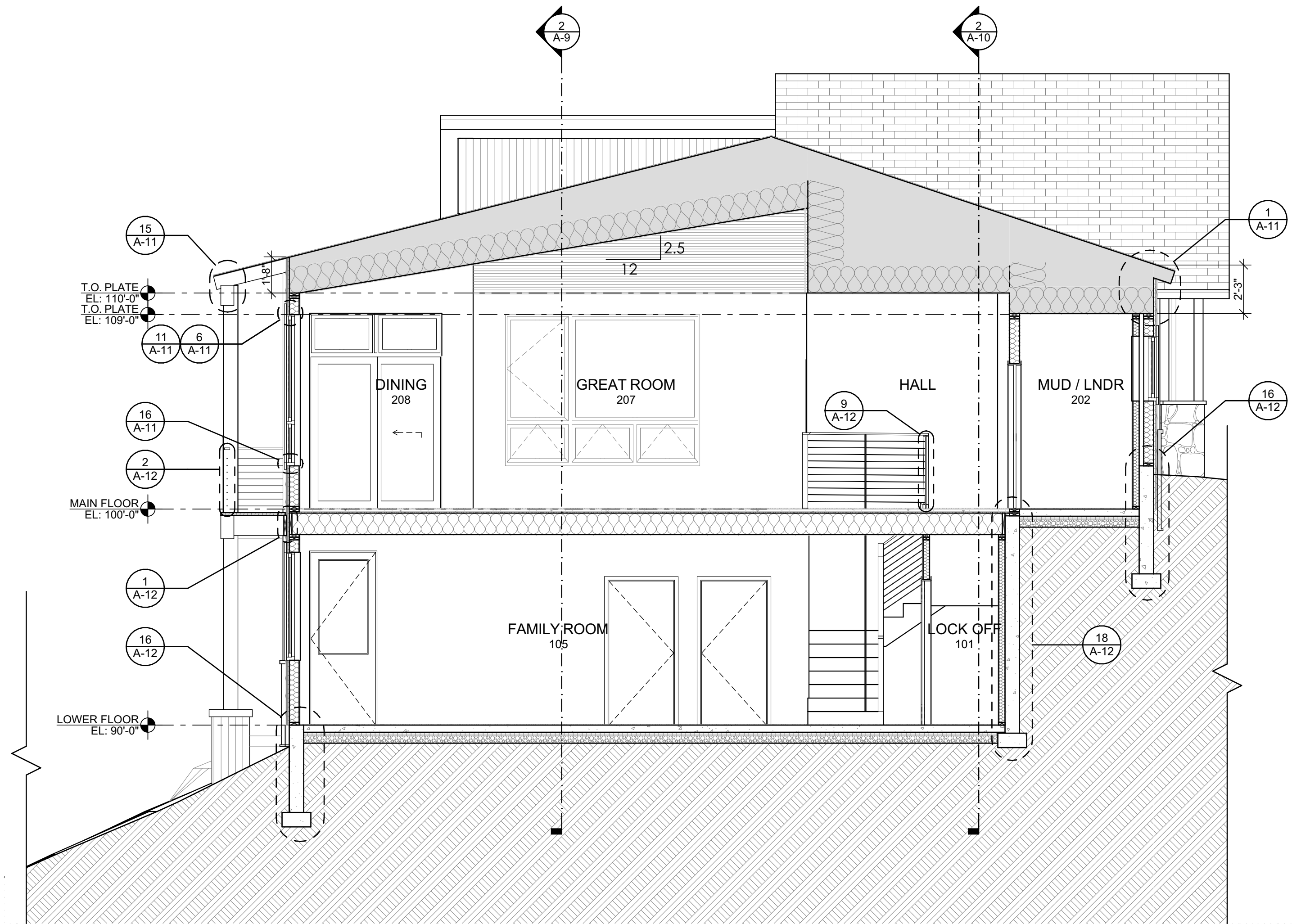
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BUILDING
SECTIONS

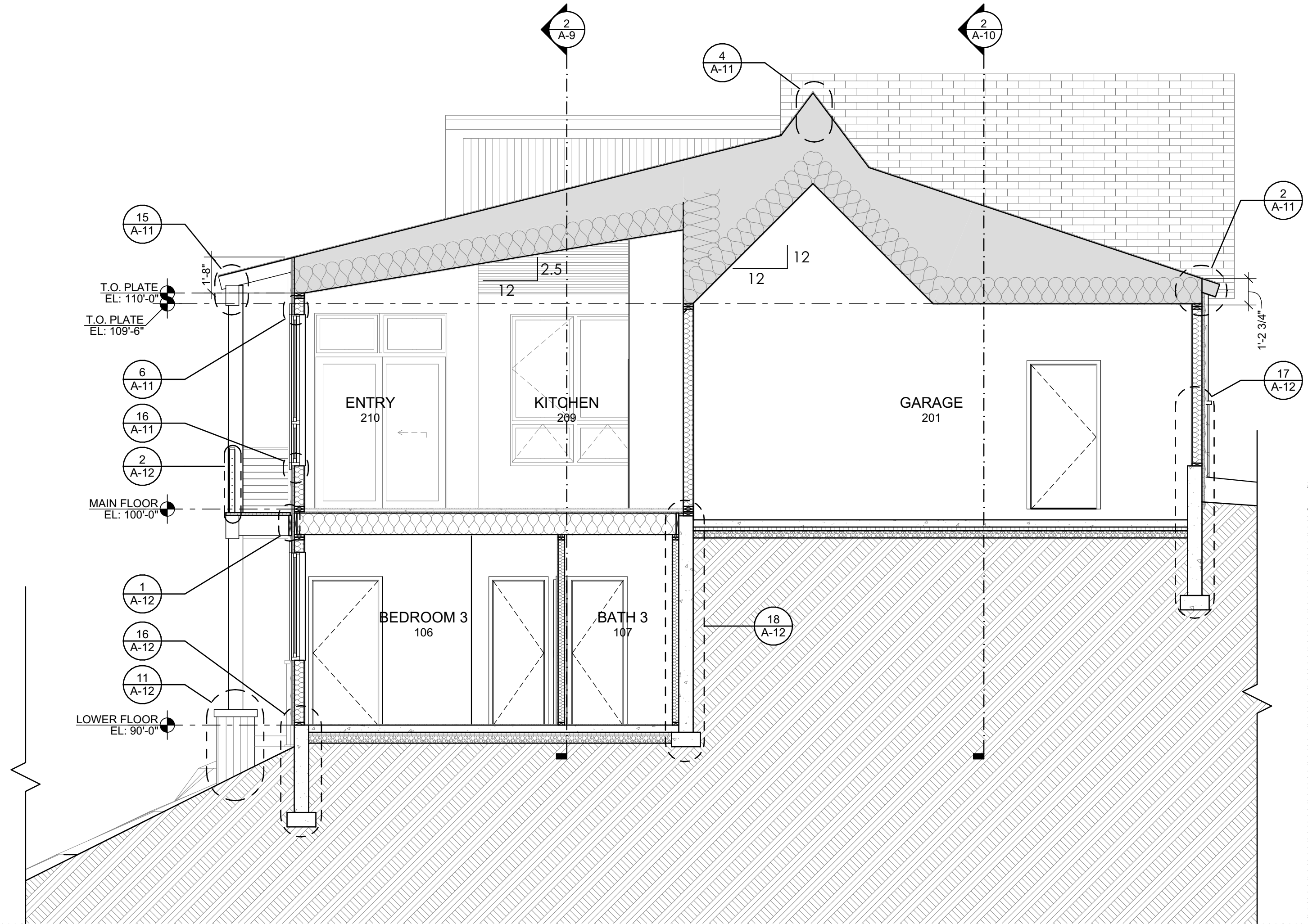
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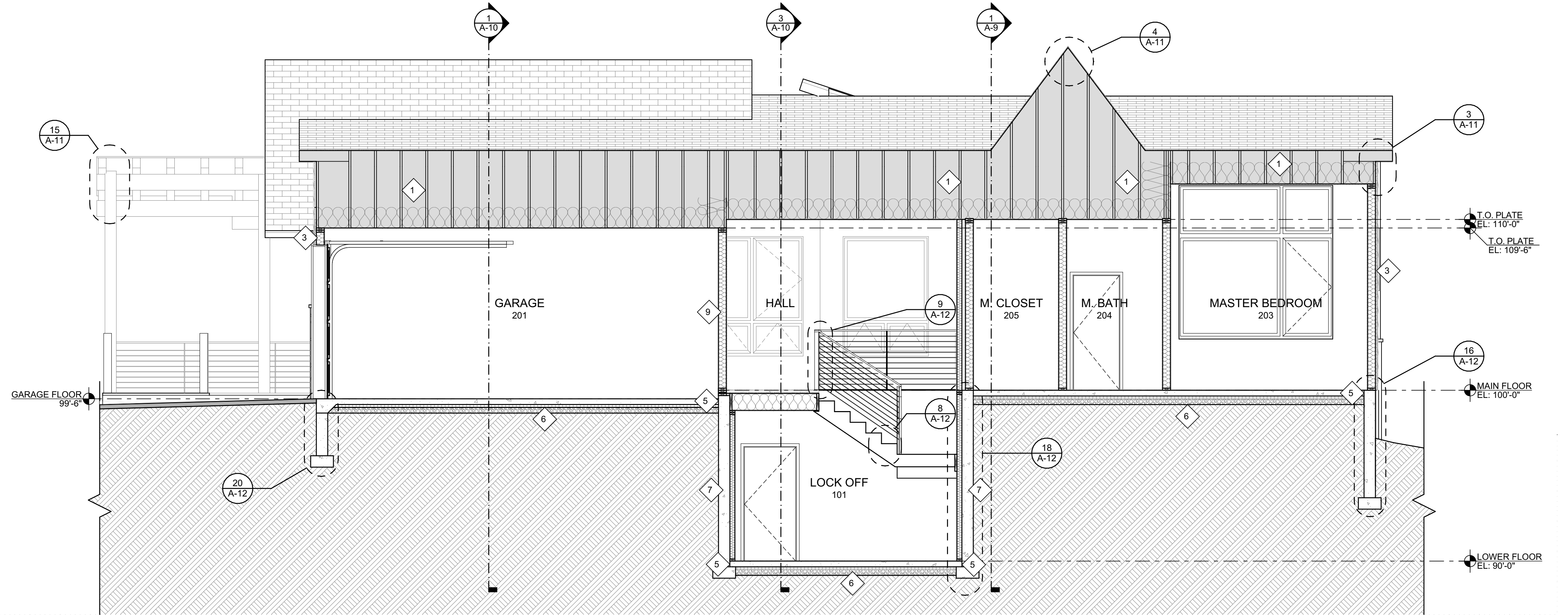
A-10



3 SECTION
A-10 SCALE: 1/4" = 1'-0" 0 2' 4' 8"

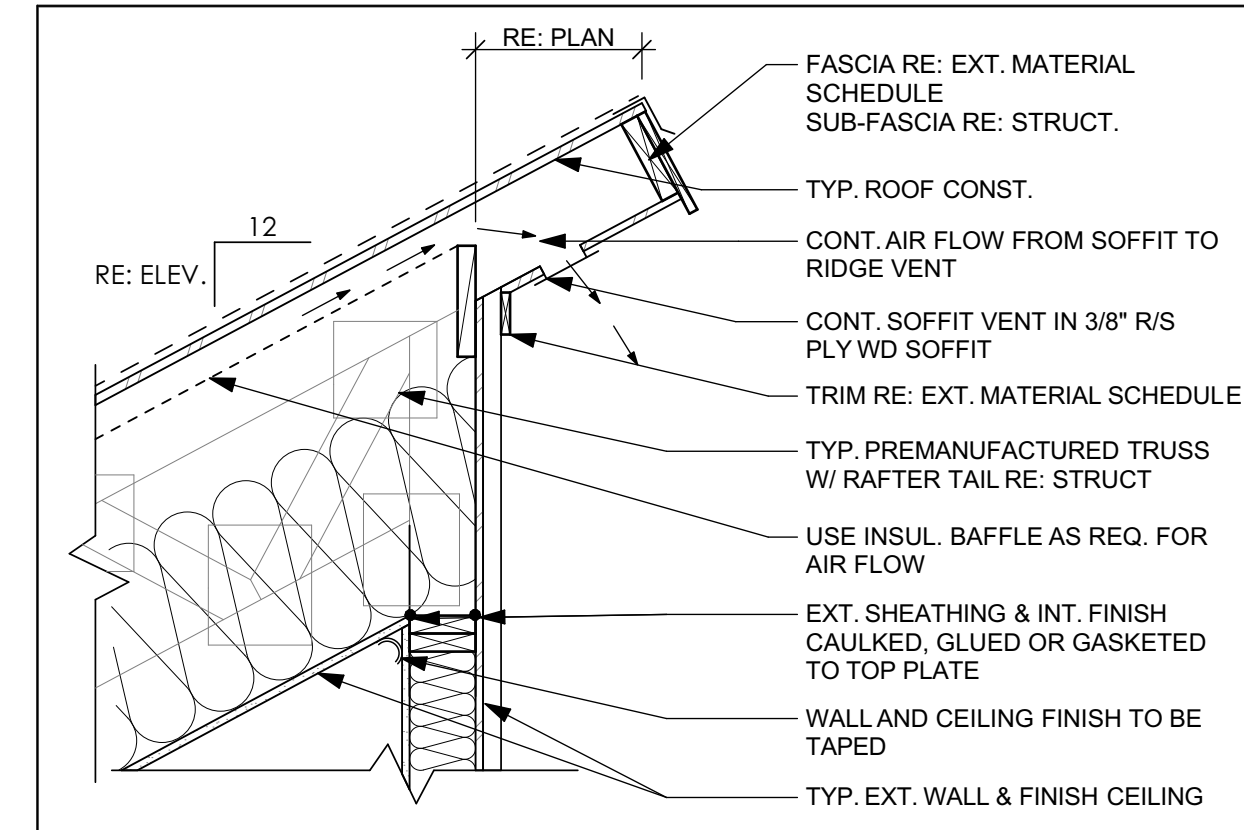


1 SECTION
A-10 SCALE: 1/4" = 1'-0" 0 2' 4' 8"

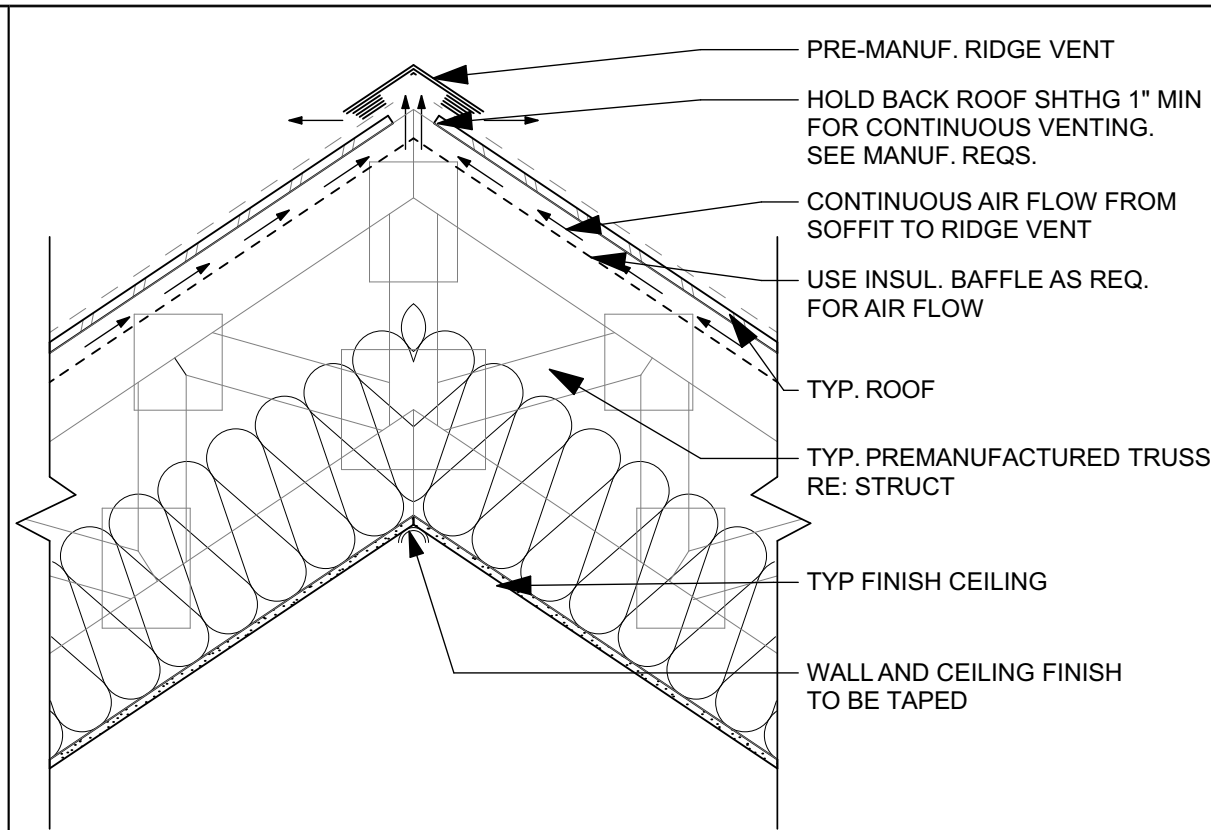


2 SECTION
A-10 SCALE: 1/4" = 1'-0" 0 2' 4' 8"

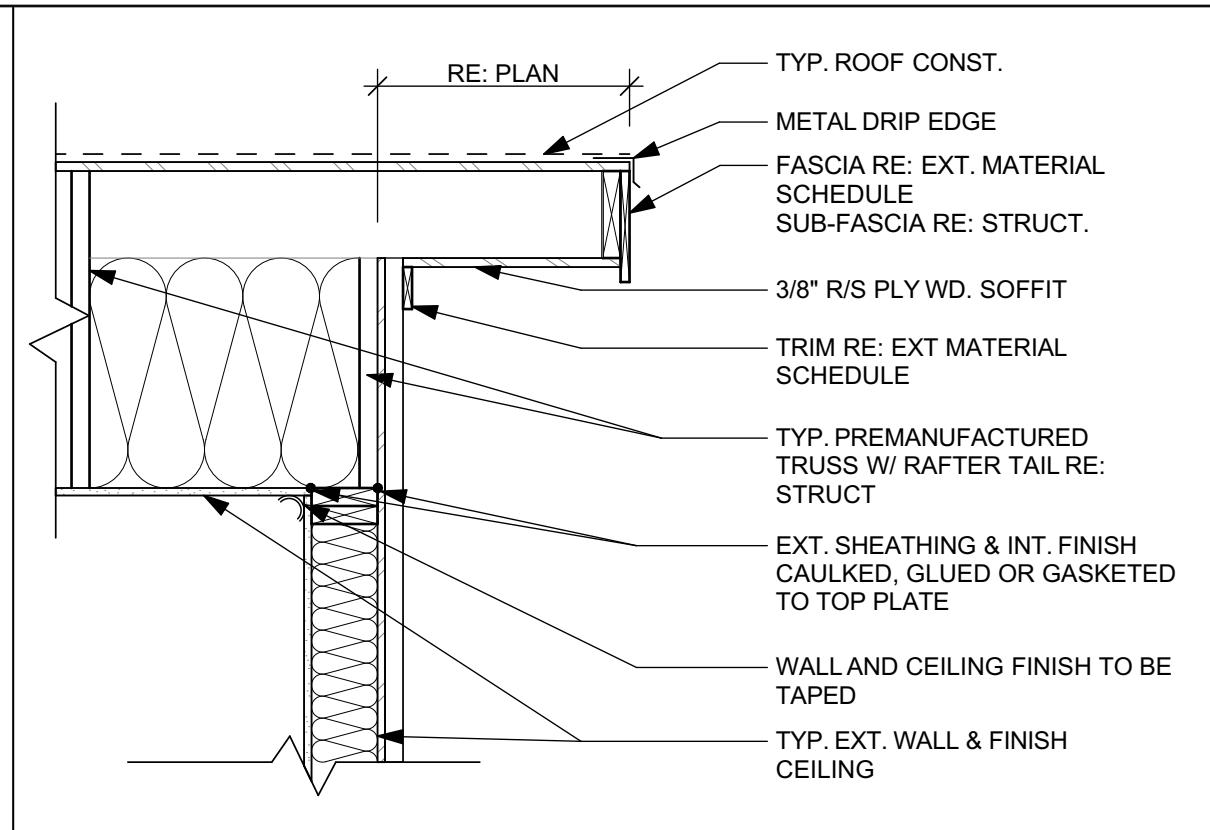
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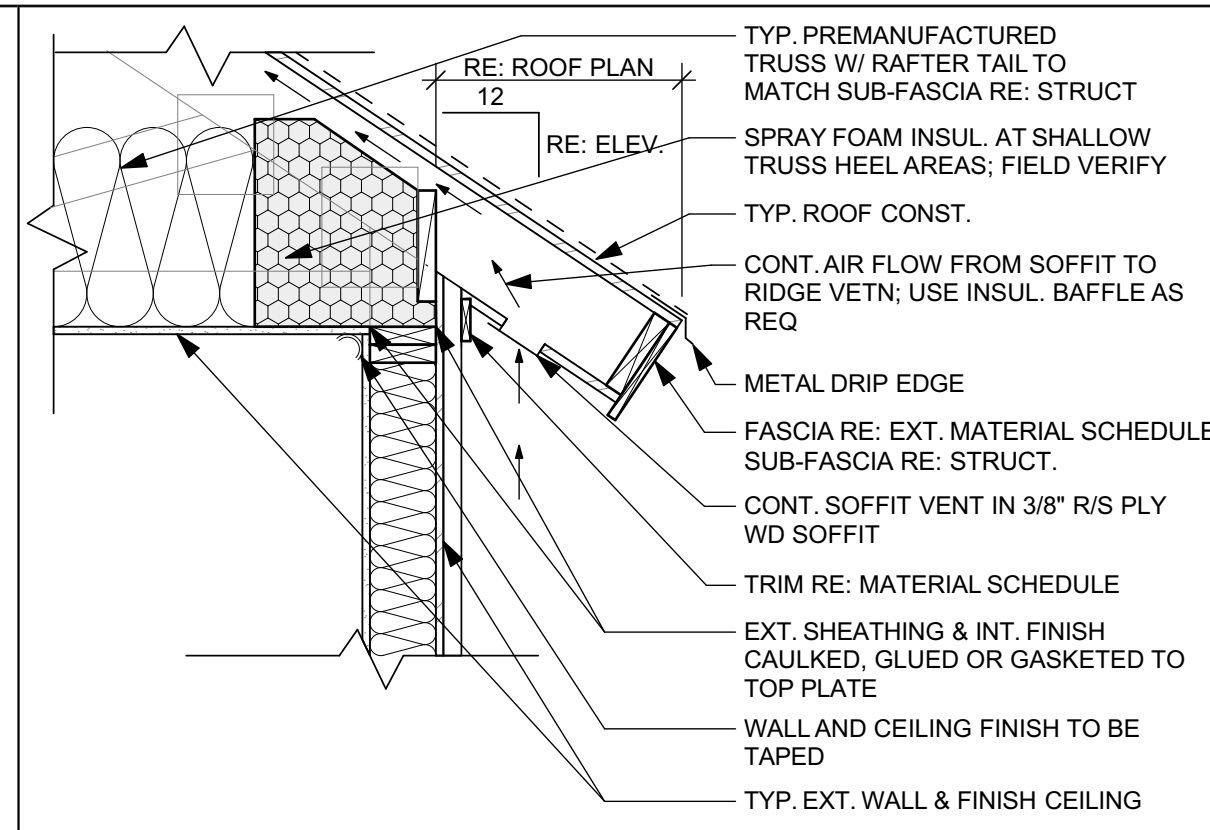
5 SHED ROOF VENT
SCALE: 3/4" = 1'-0"



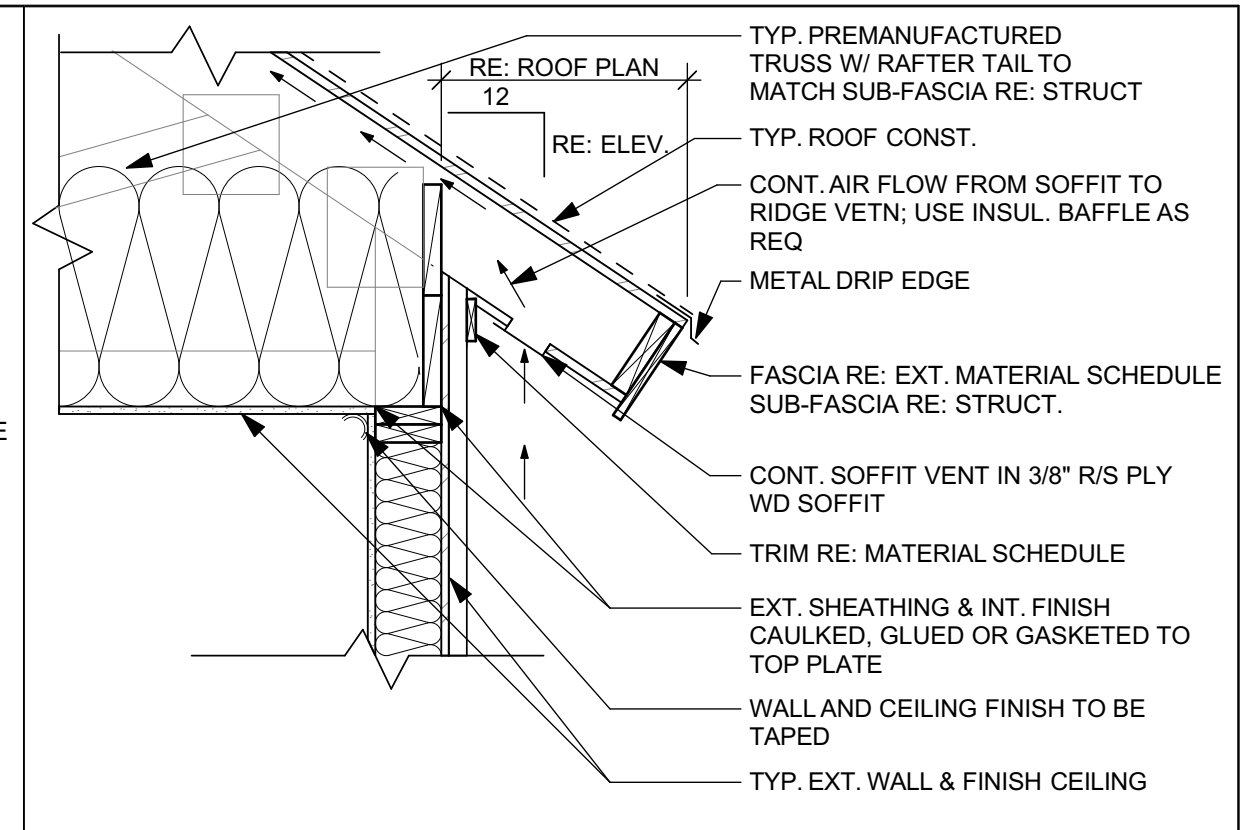
4 RIDGE TRUSS VENT
SCALE: 3/4" = 1'-0"



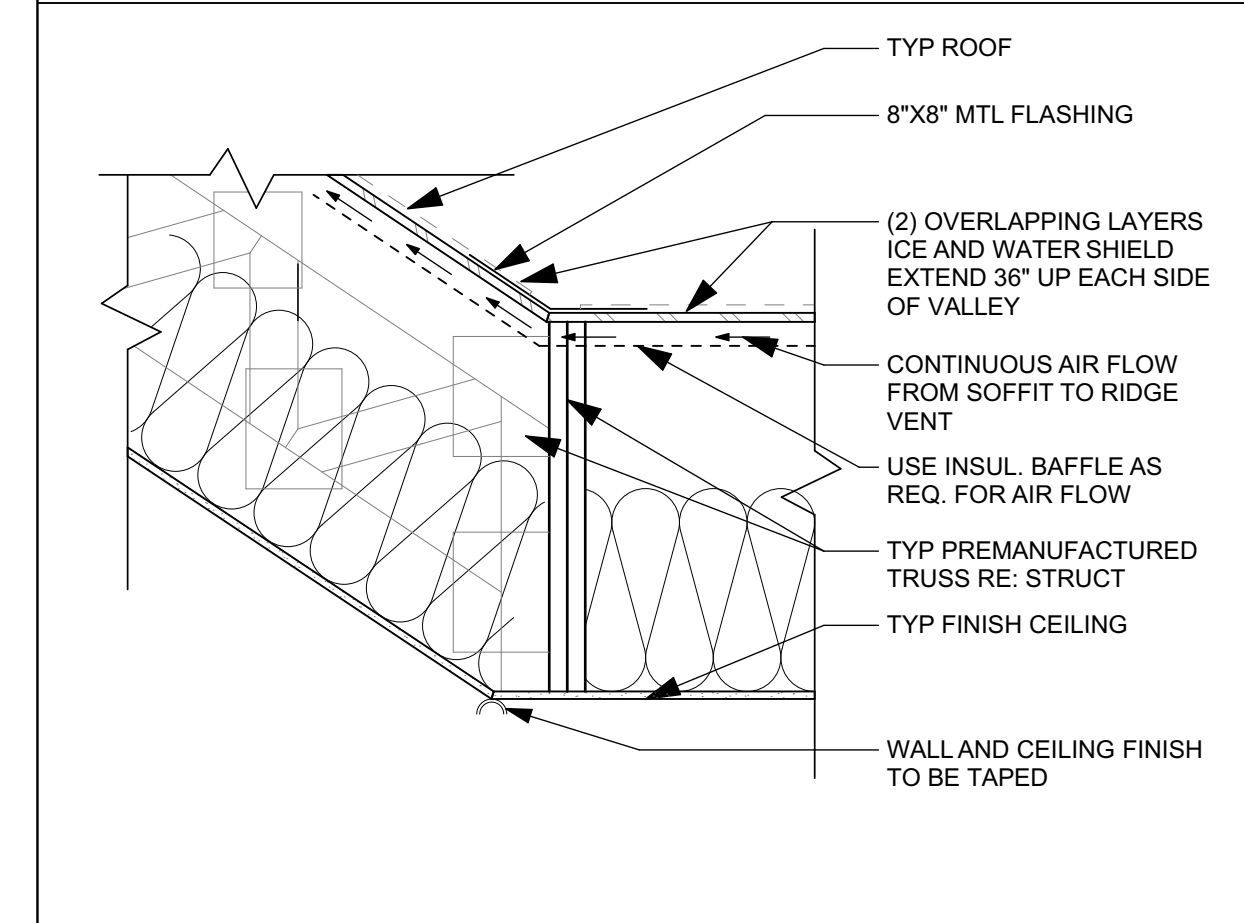
3 RAKE
SCALE: 3/4" = 1'-0"



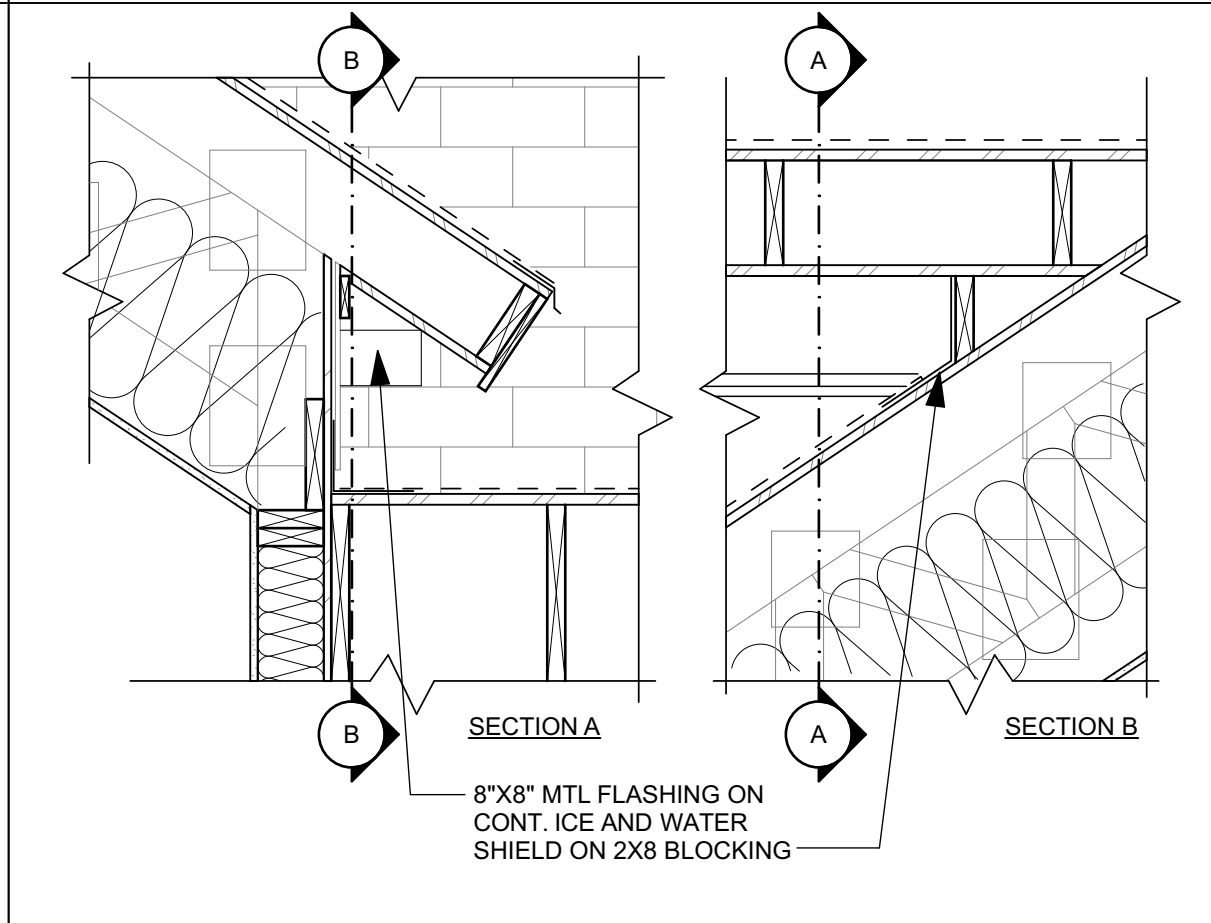
2 EAVE @ SHALLOW HEEL
SCALE: 3/4" = 1'-0"



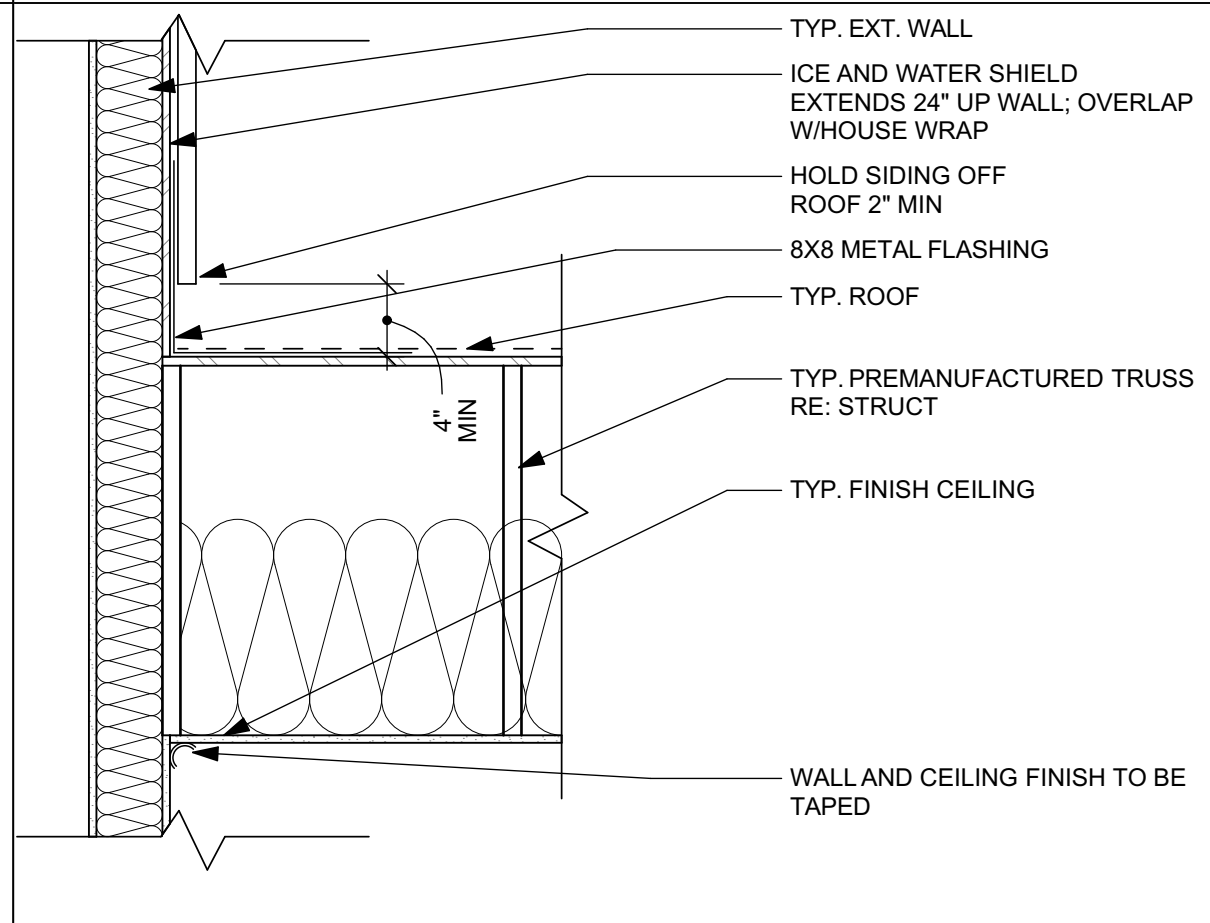
1 EAVE
SCALE: 3/4" = 1'-0"



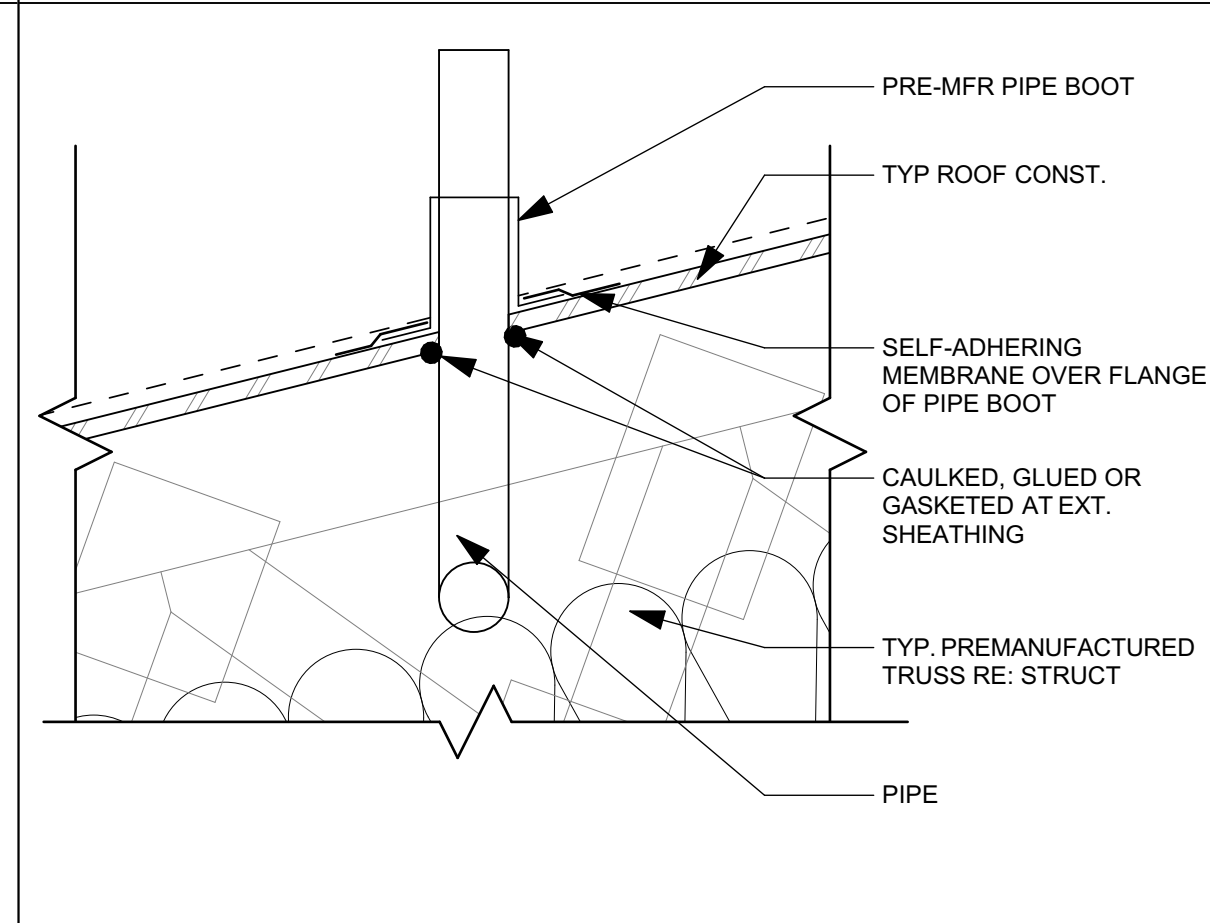
10 ROOF VALLEY
SCALE: 3/4" = 1'-0"



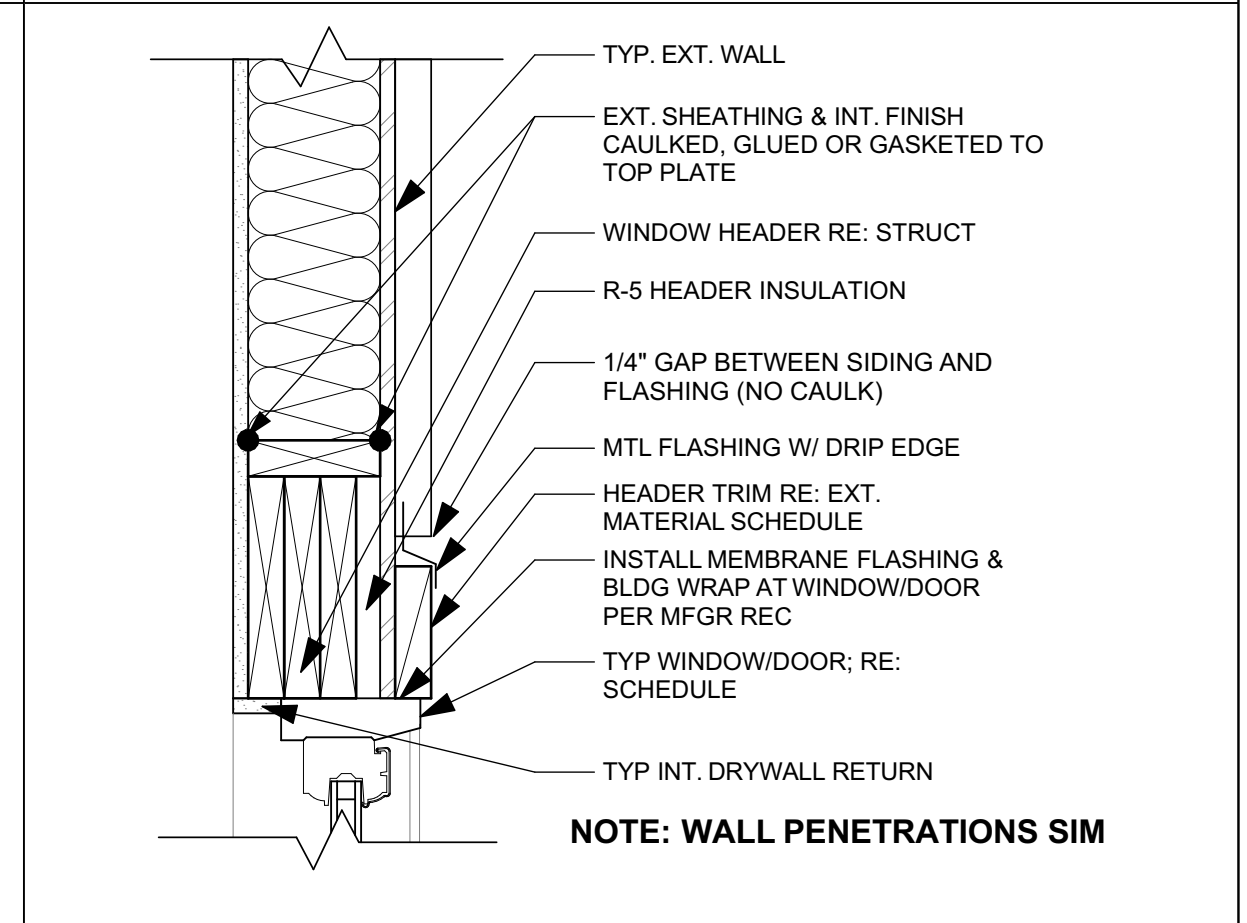
9 EAVE/ROOF INTERSECTION
SCALE: 3/4" = 1'-0"



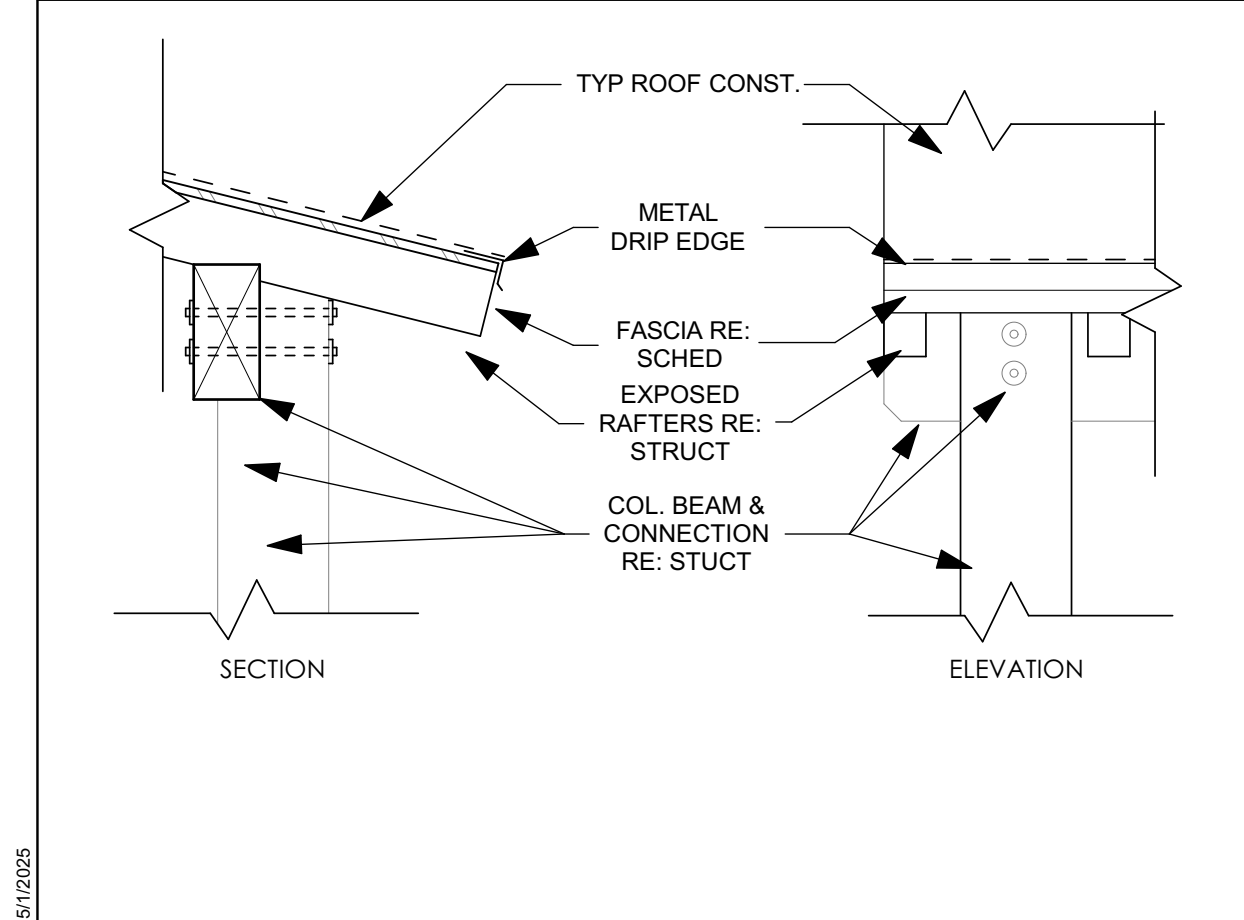
8 ROOF/WALL INTERSECTION
SCALE: 3/4" = 1'-0"



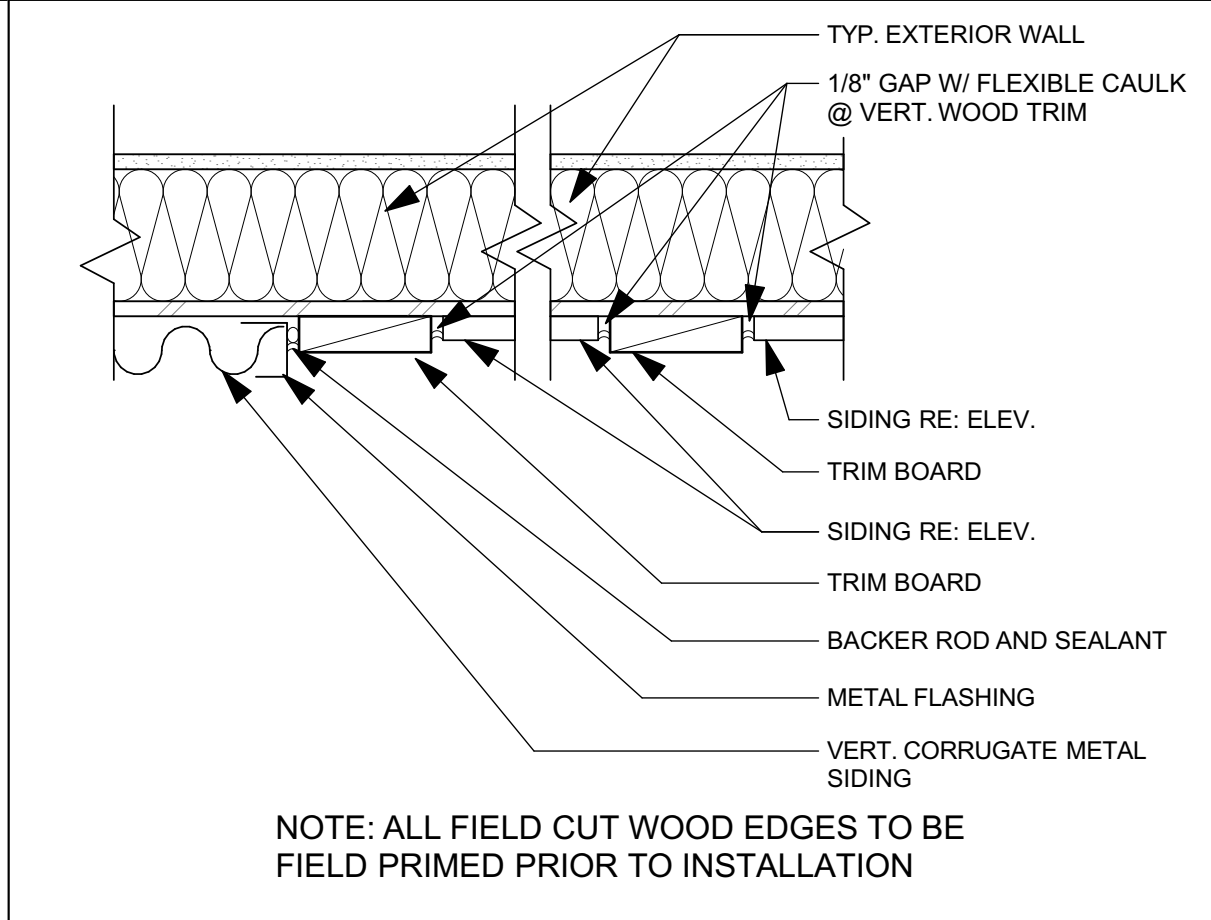
7 PIPE PENETRATION @ ROOF
SCALE: 1 1/2" = 1'-0"



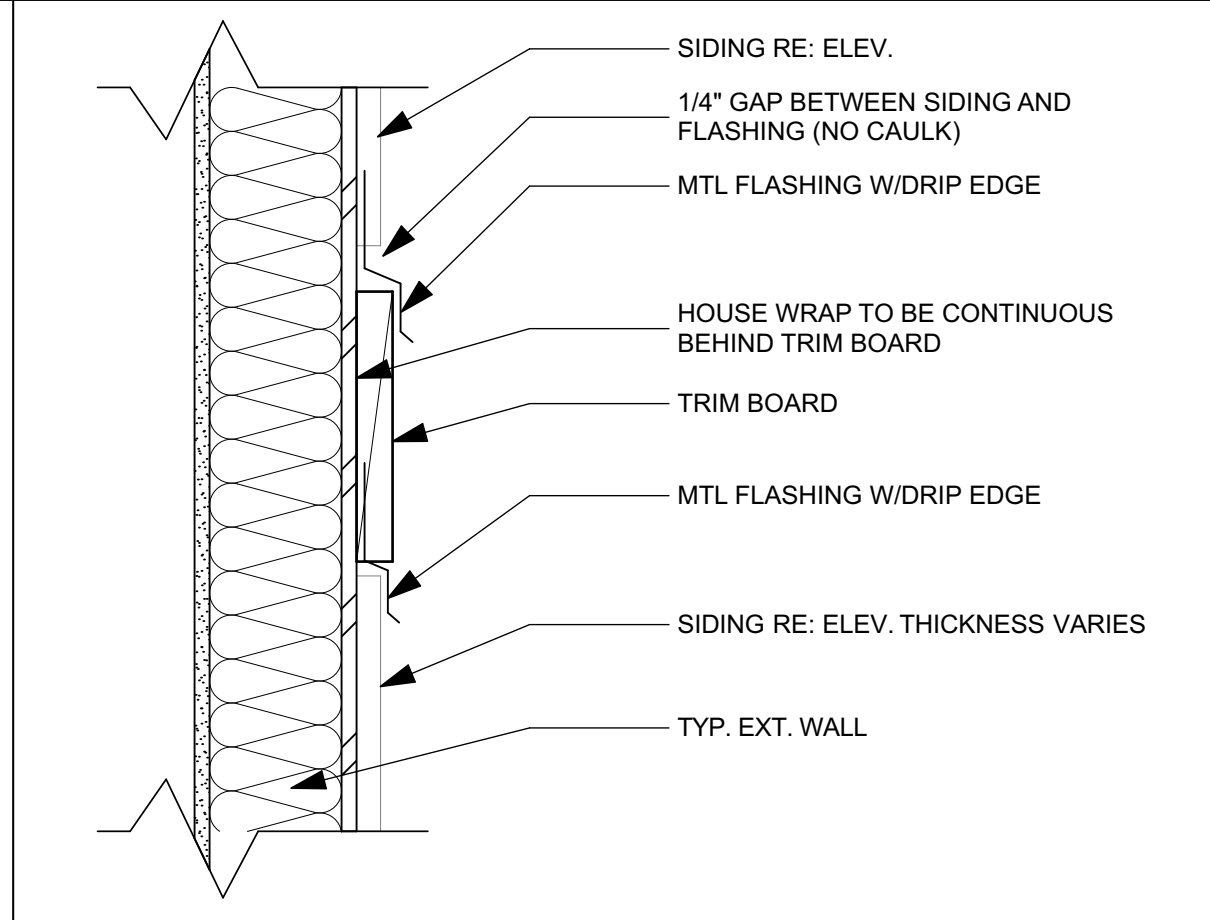
6 WINDOW/DOOR HEADER
SCALE: 1 1/2" = 1'-0"



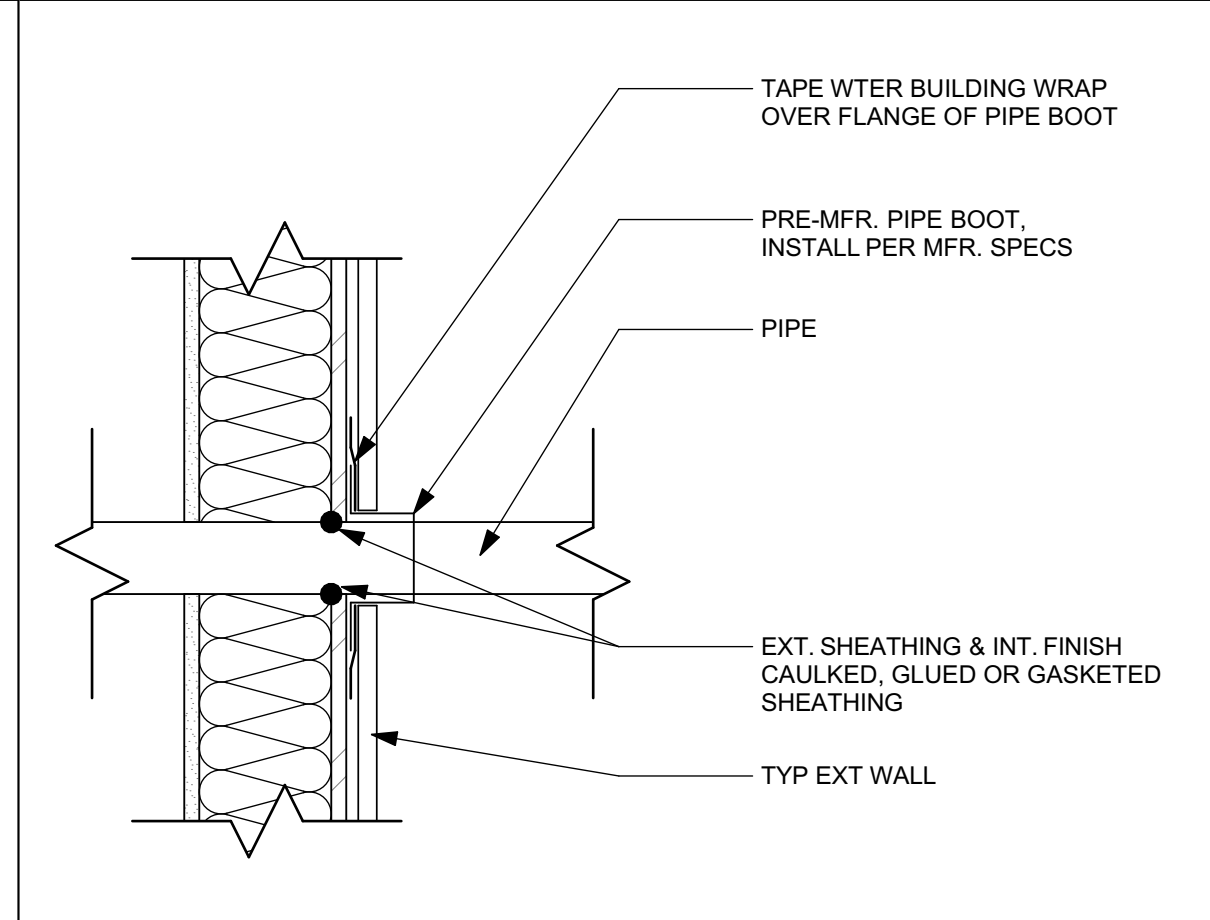
15 PORCH ROOF
SCALE: 3/4" = 1'-0"



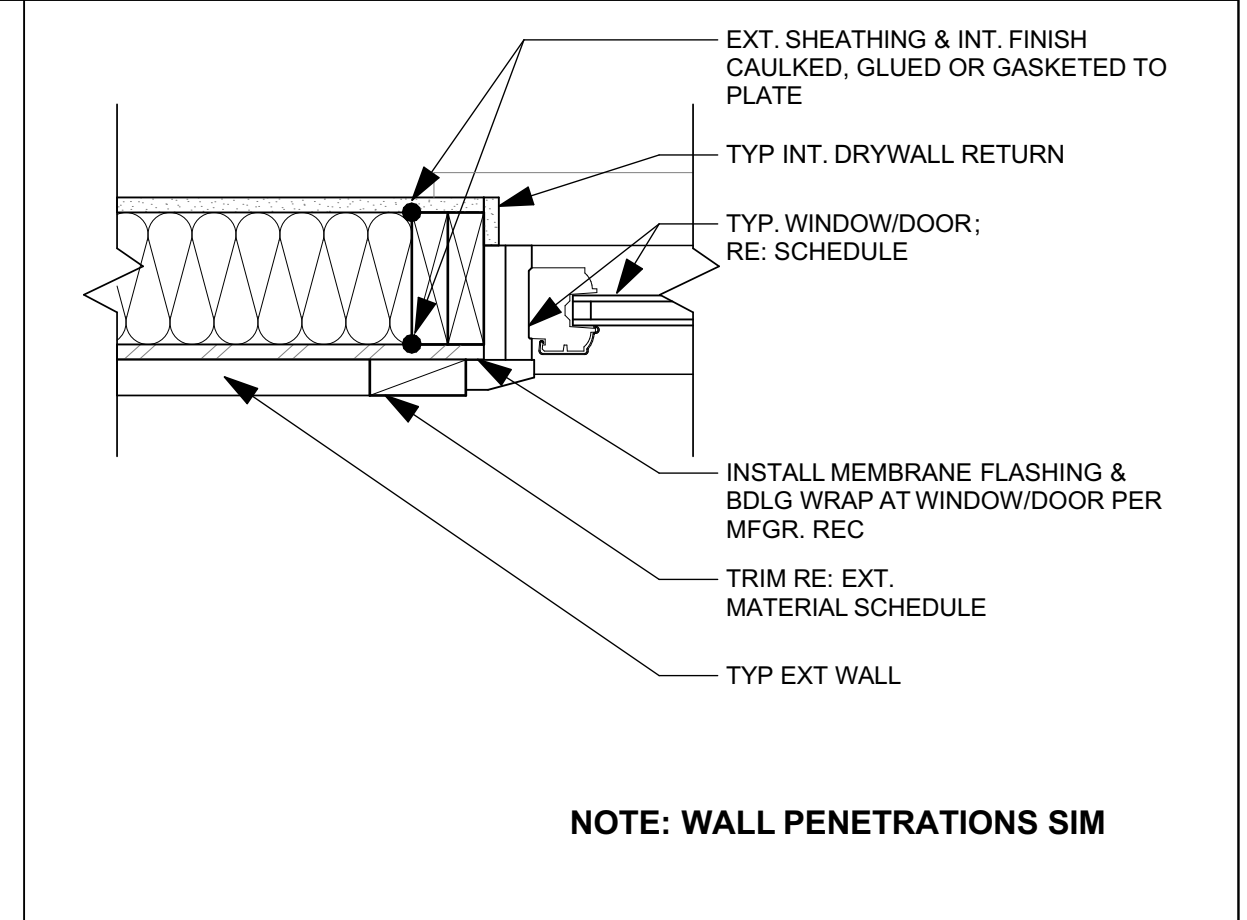
14 HORIZ MATERIAL TRANSITION
SCALE: 1 1/2" = 1'-0"



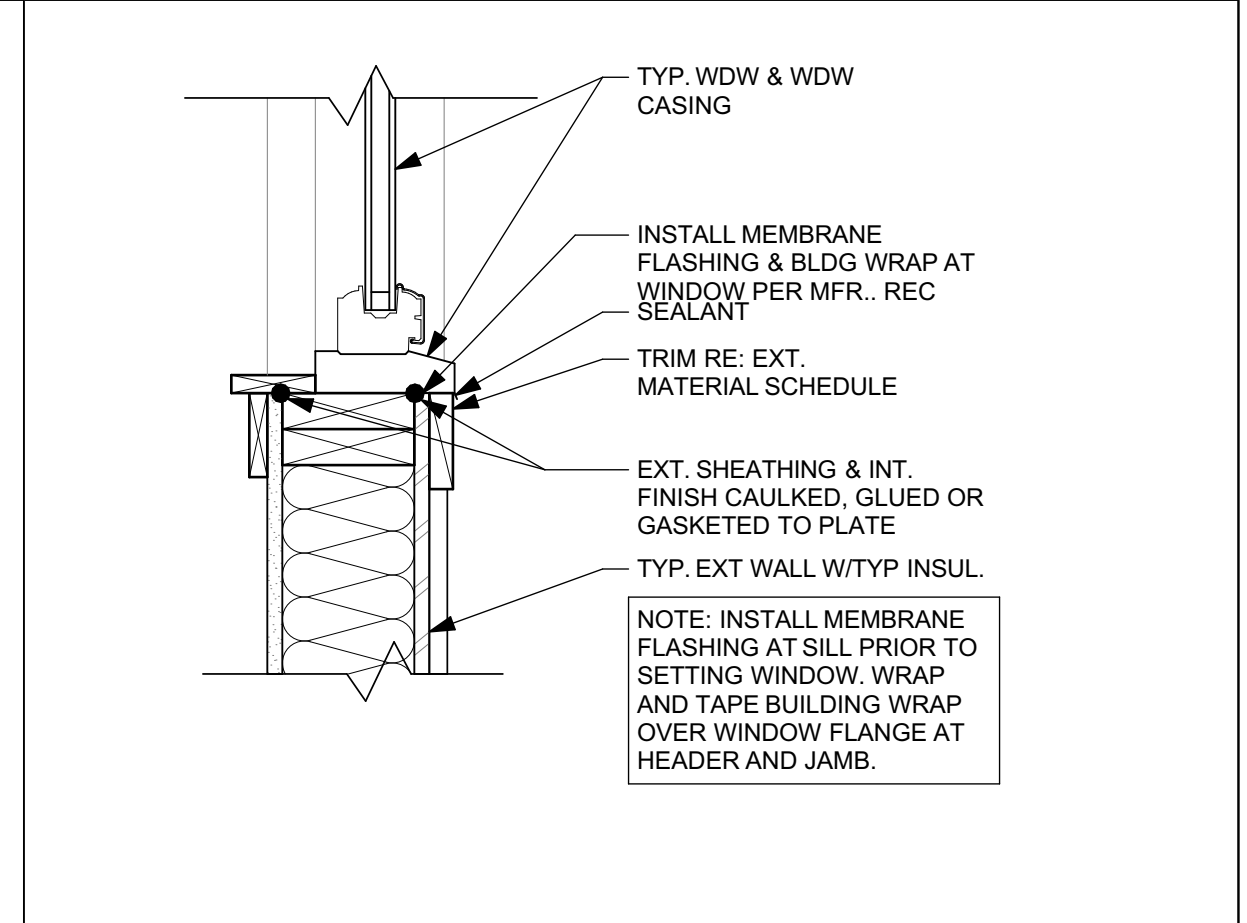
13 VERT. MATERIAL TRANSITION
SCALE: 1 1/2" = 1'-0"



11 PIPE PENETRATION @ WALL
SCALE: 1 1/2" = 1'-0"



11 WINDOW/DOOR JAMB
SCALE: 1 1/2" = 1'-0"



16 WINDOW SILL
SCALE: 1 1/2" = 1'-0"

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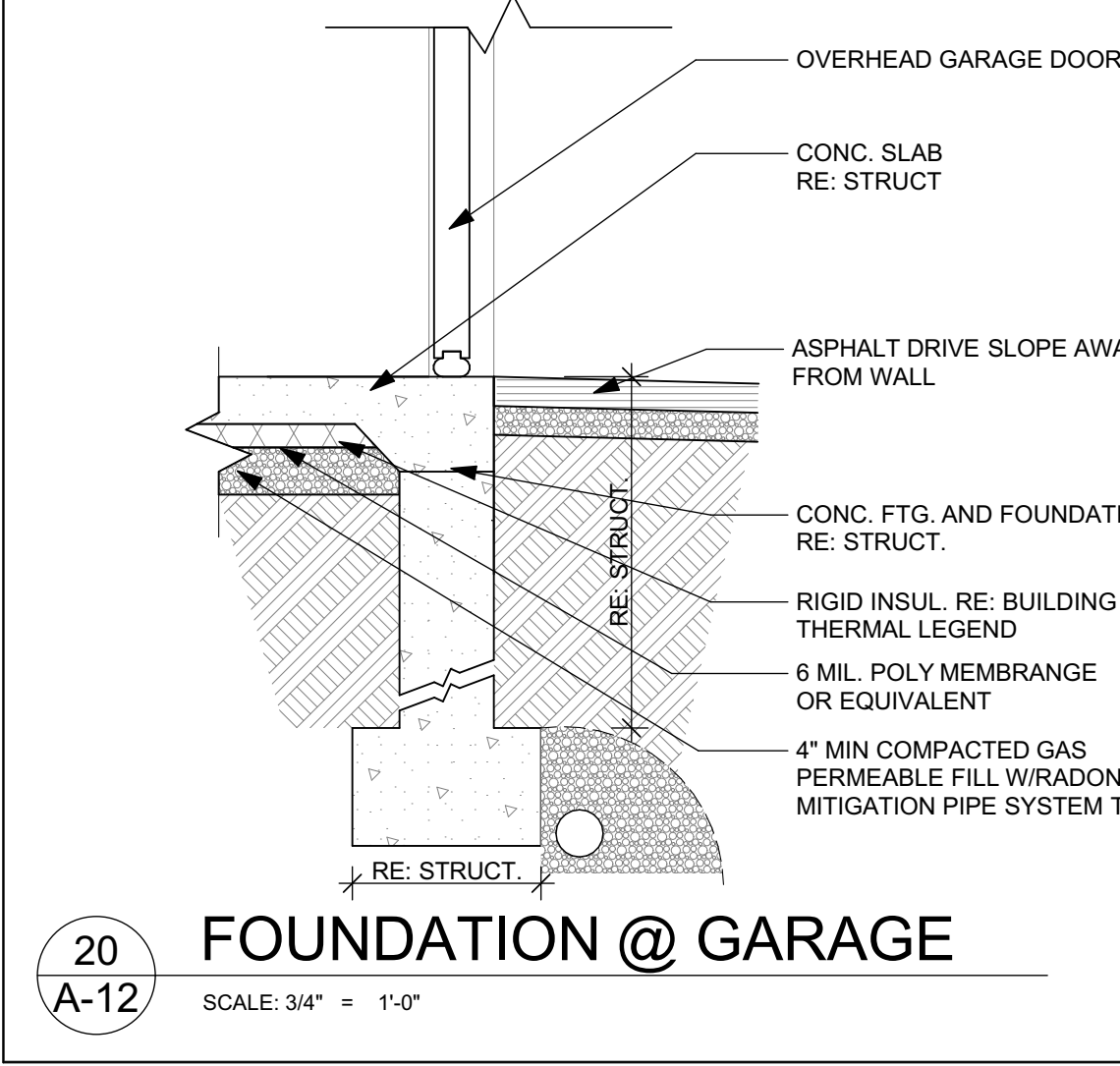
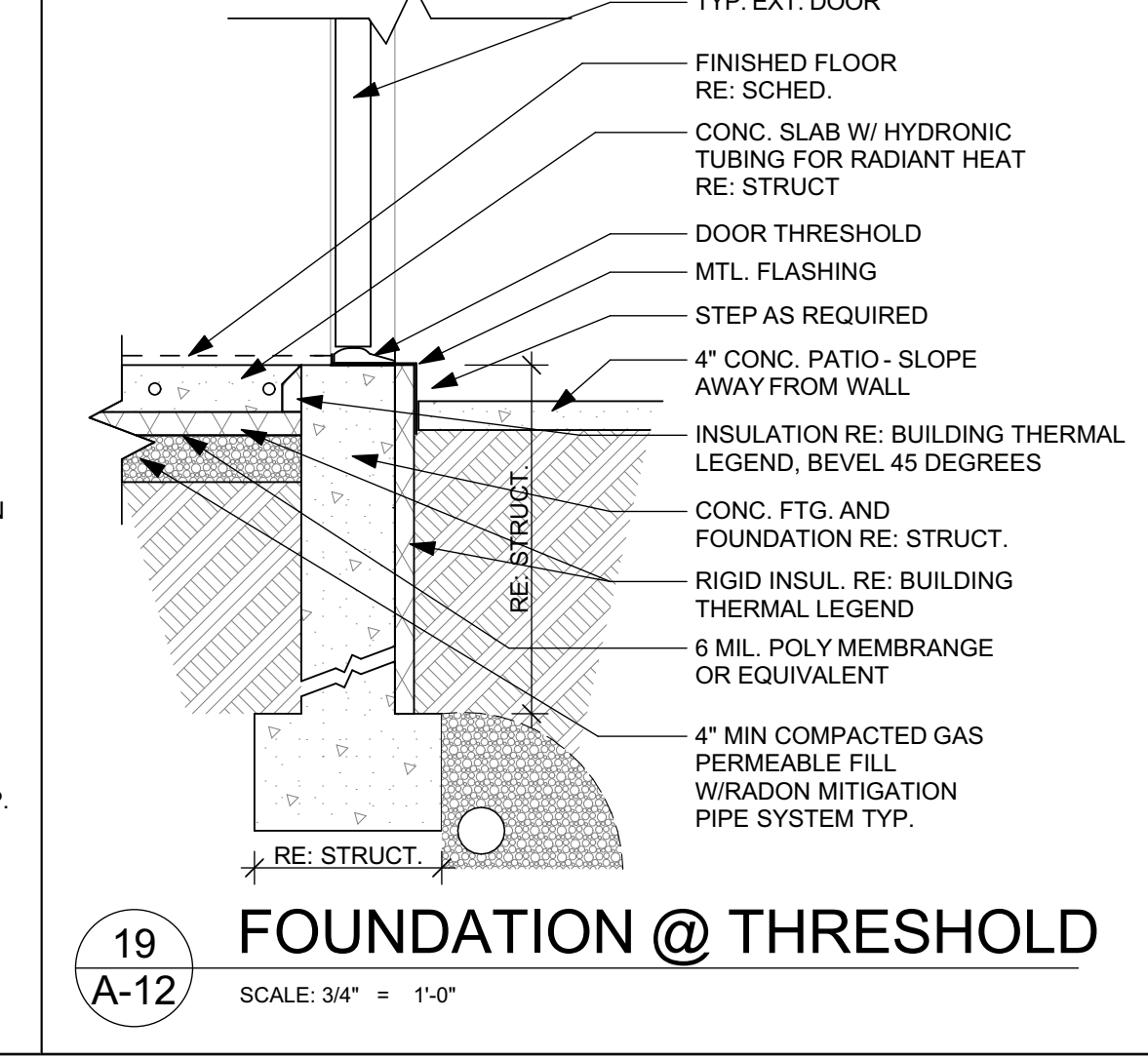
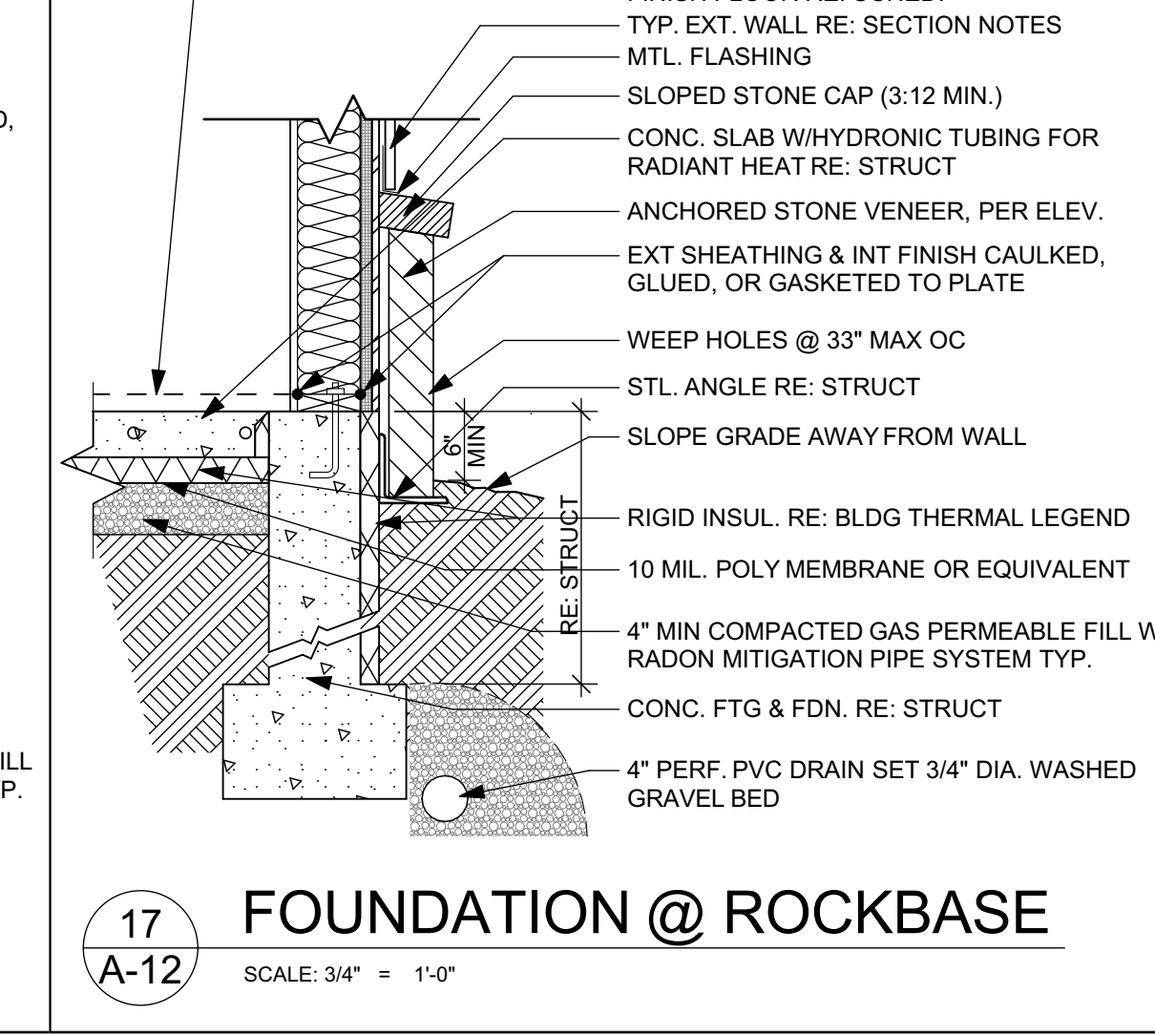
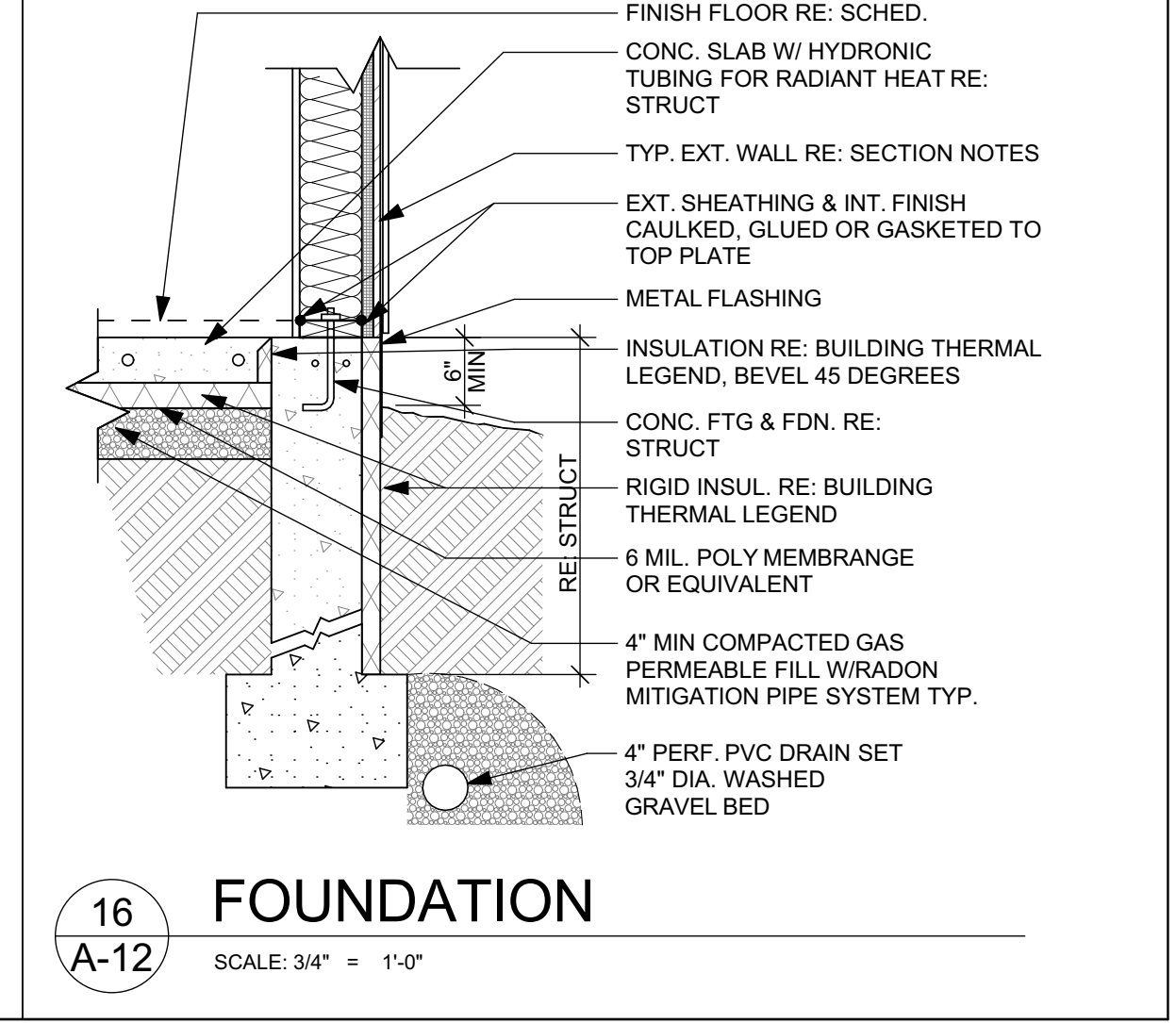
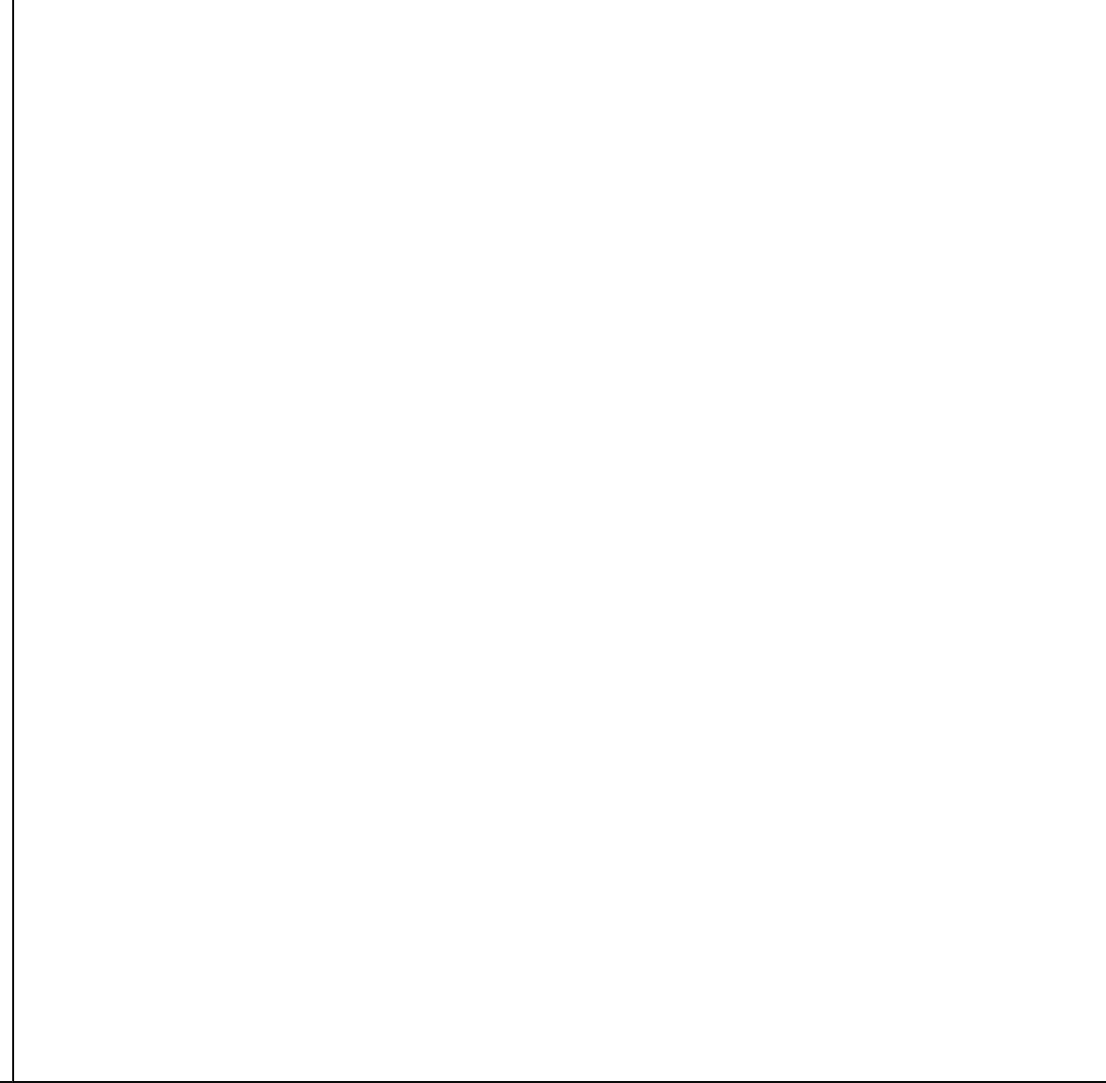
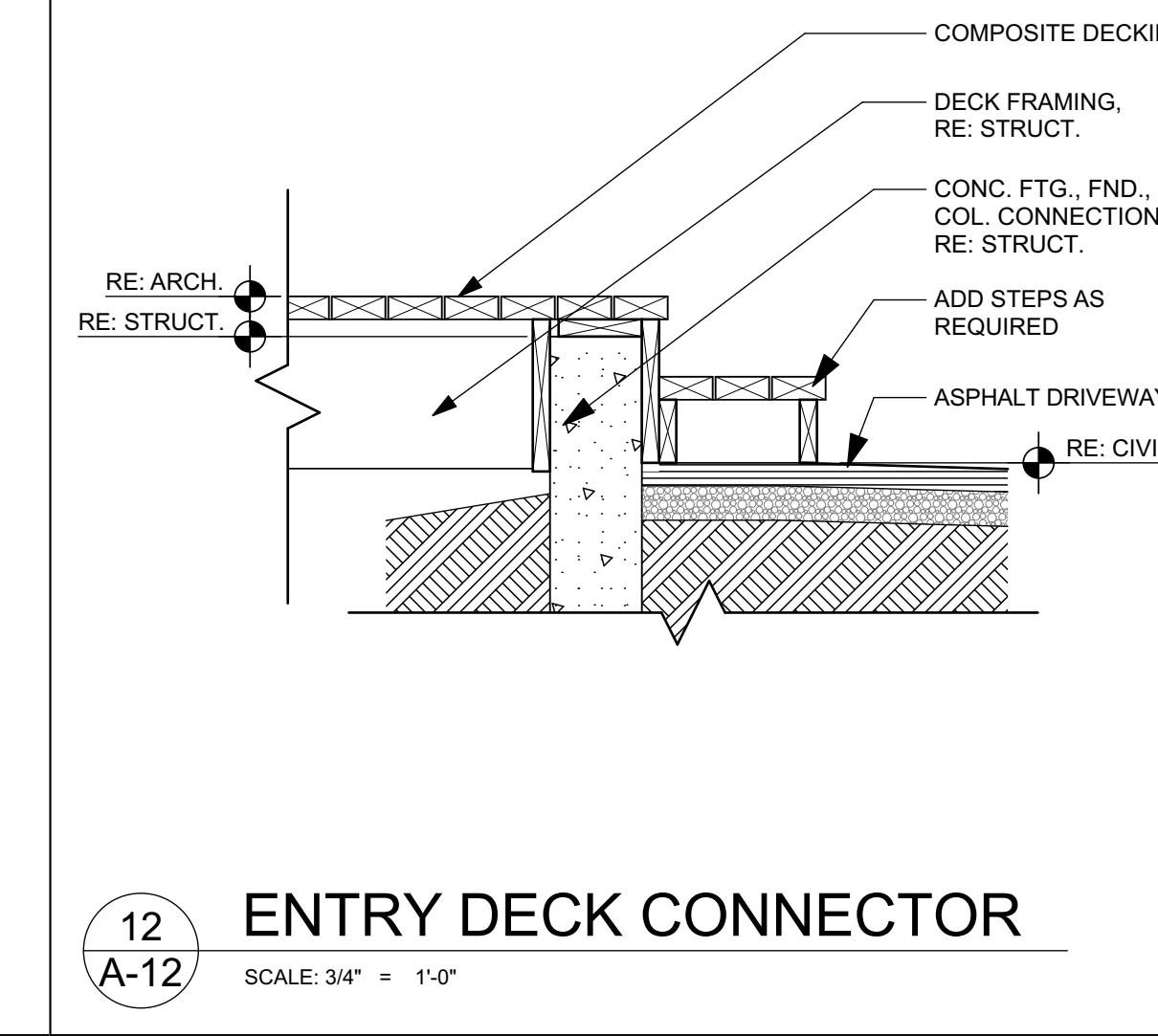
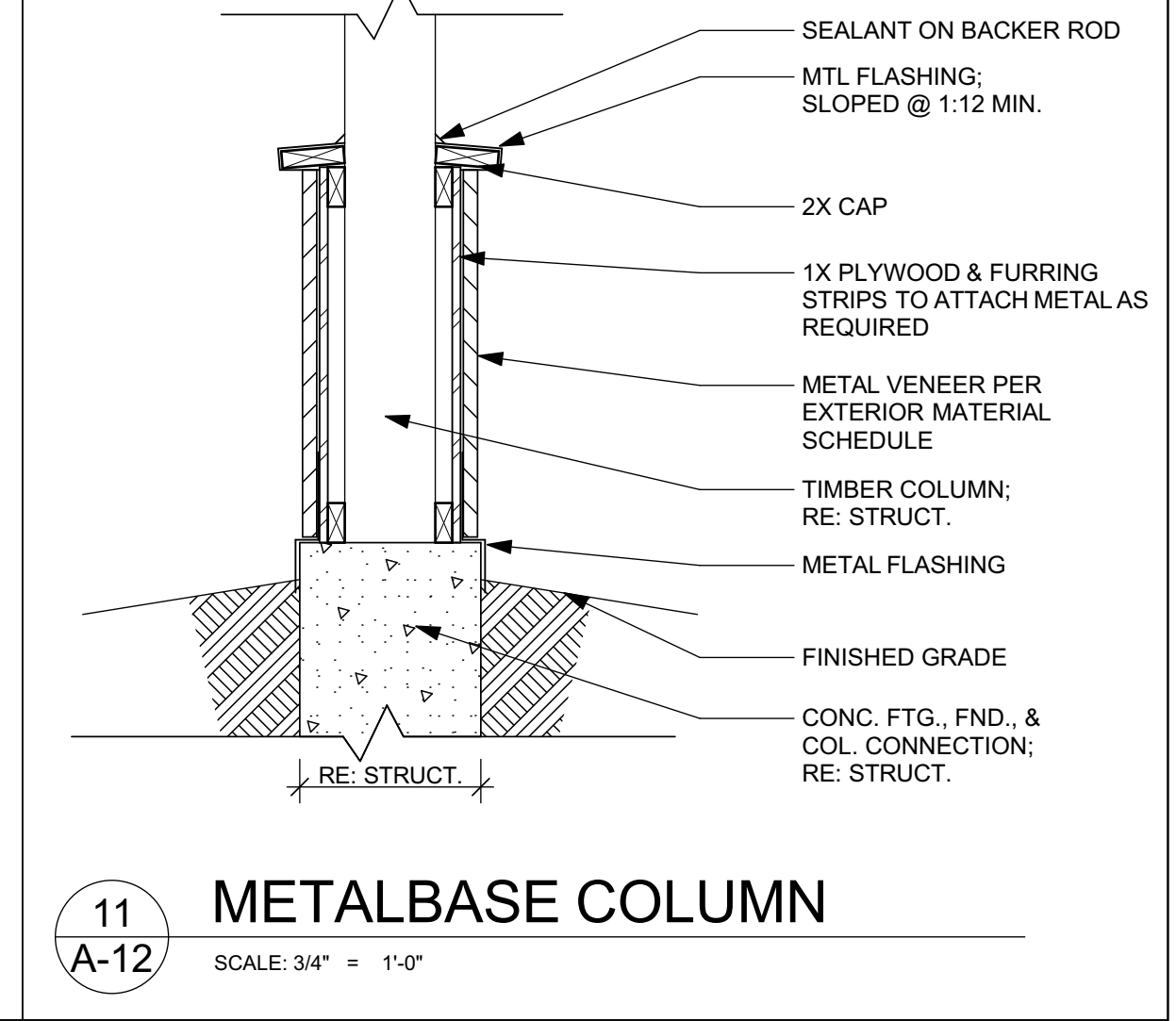
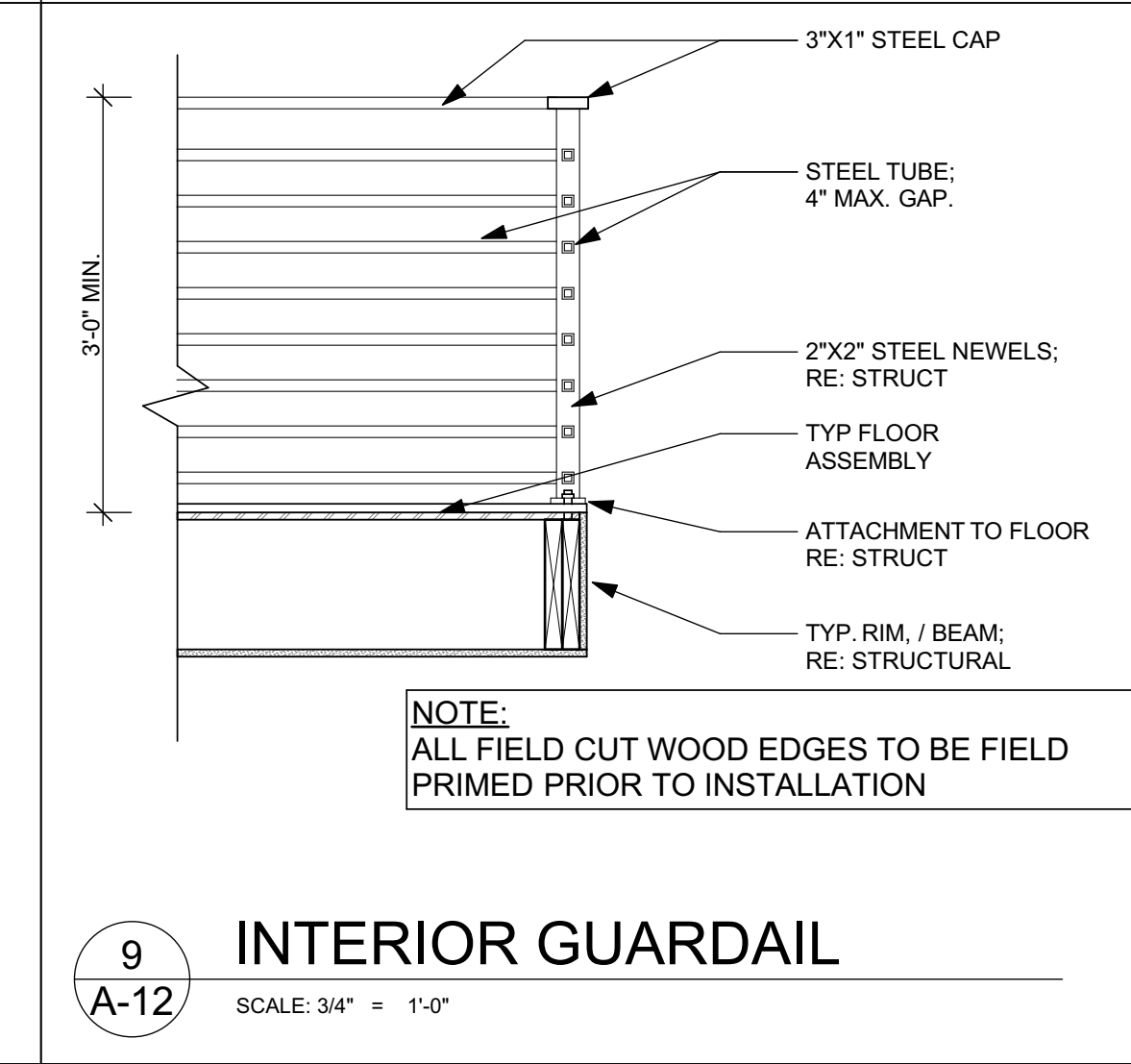
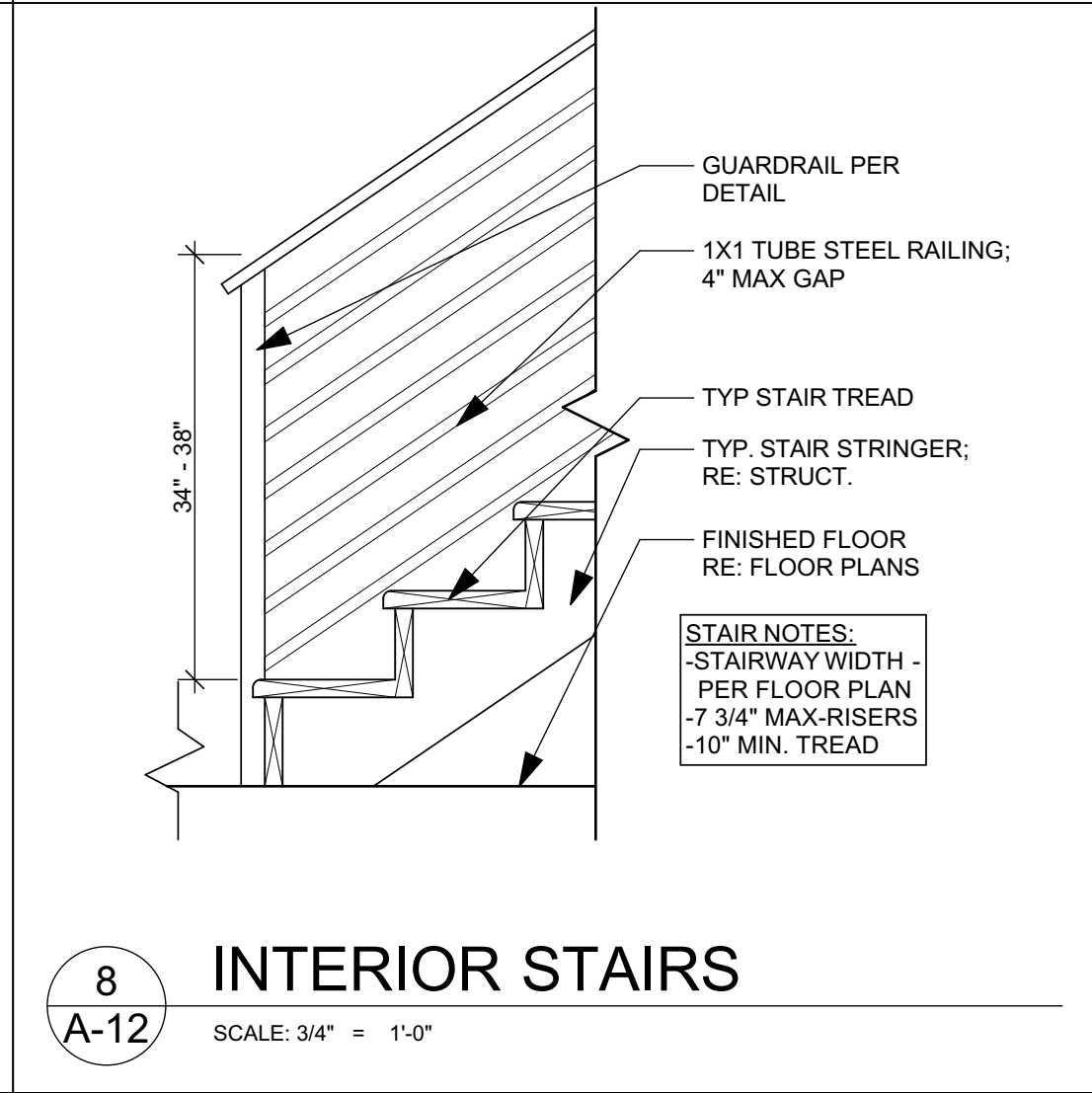
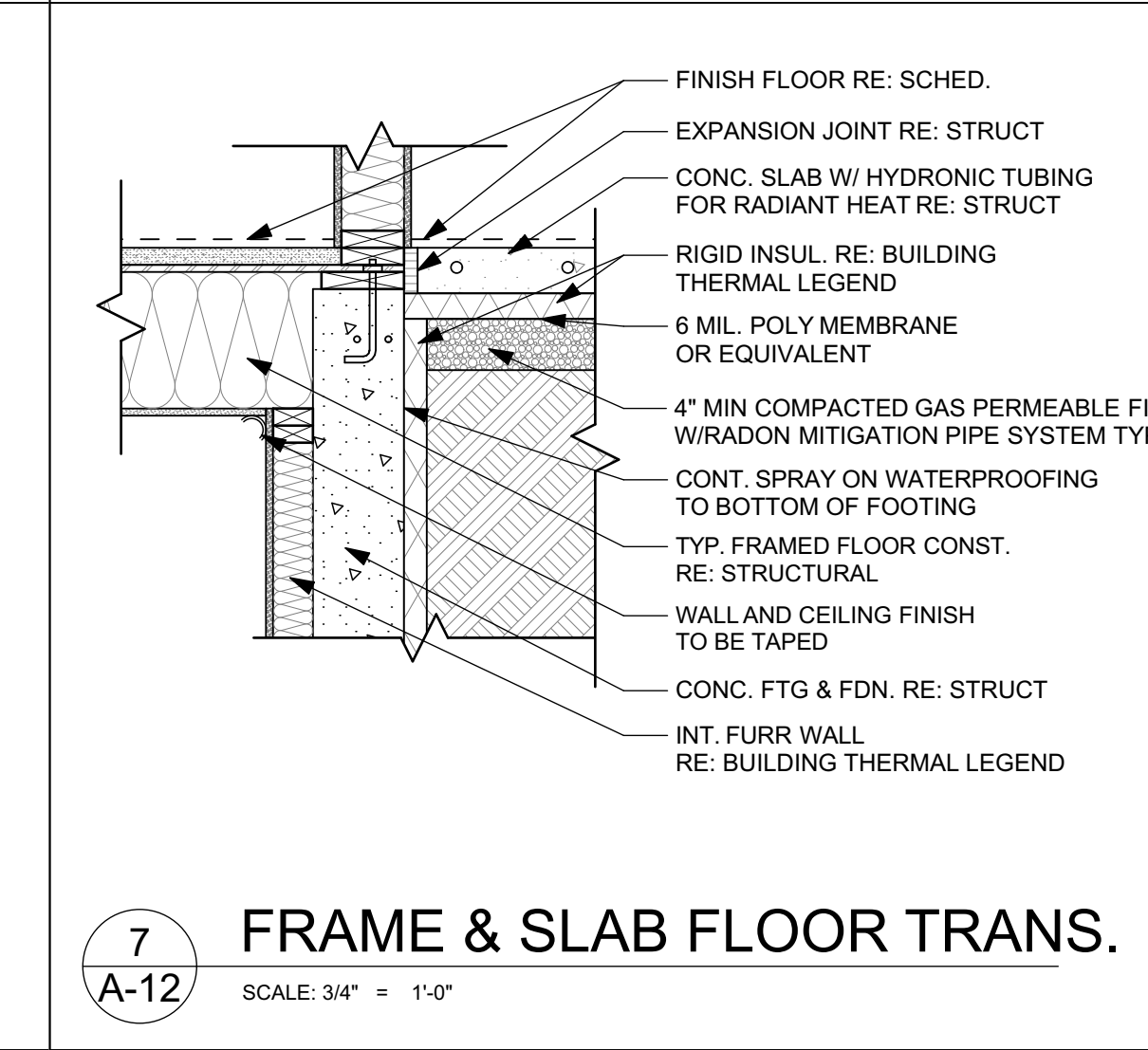
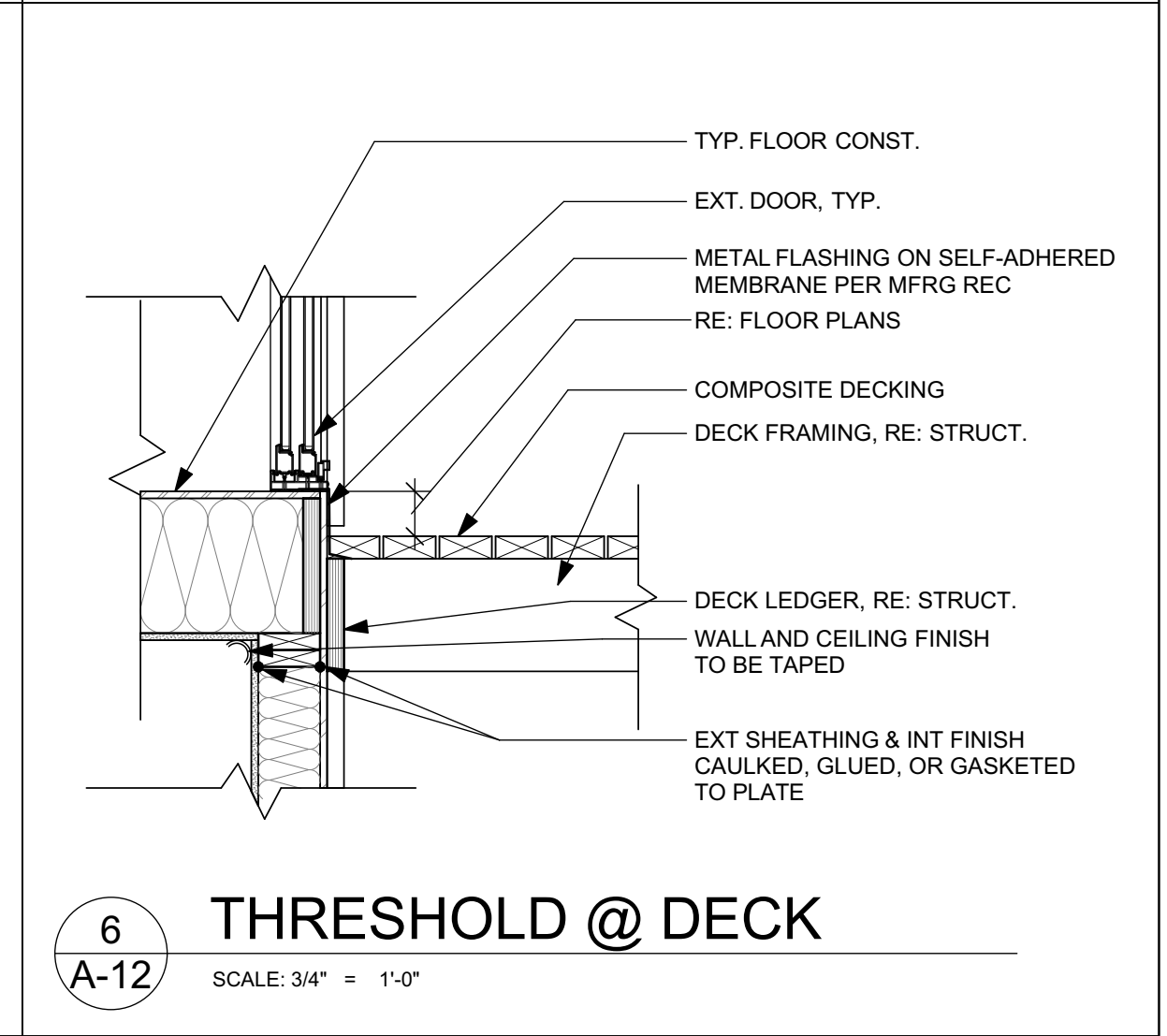
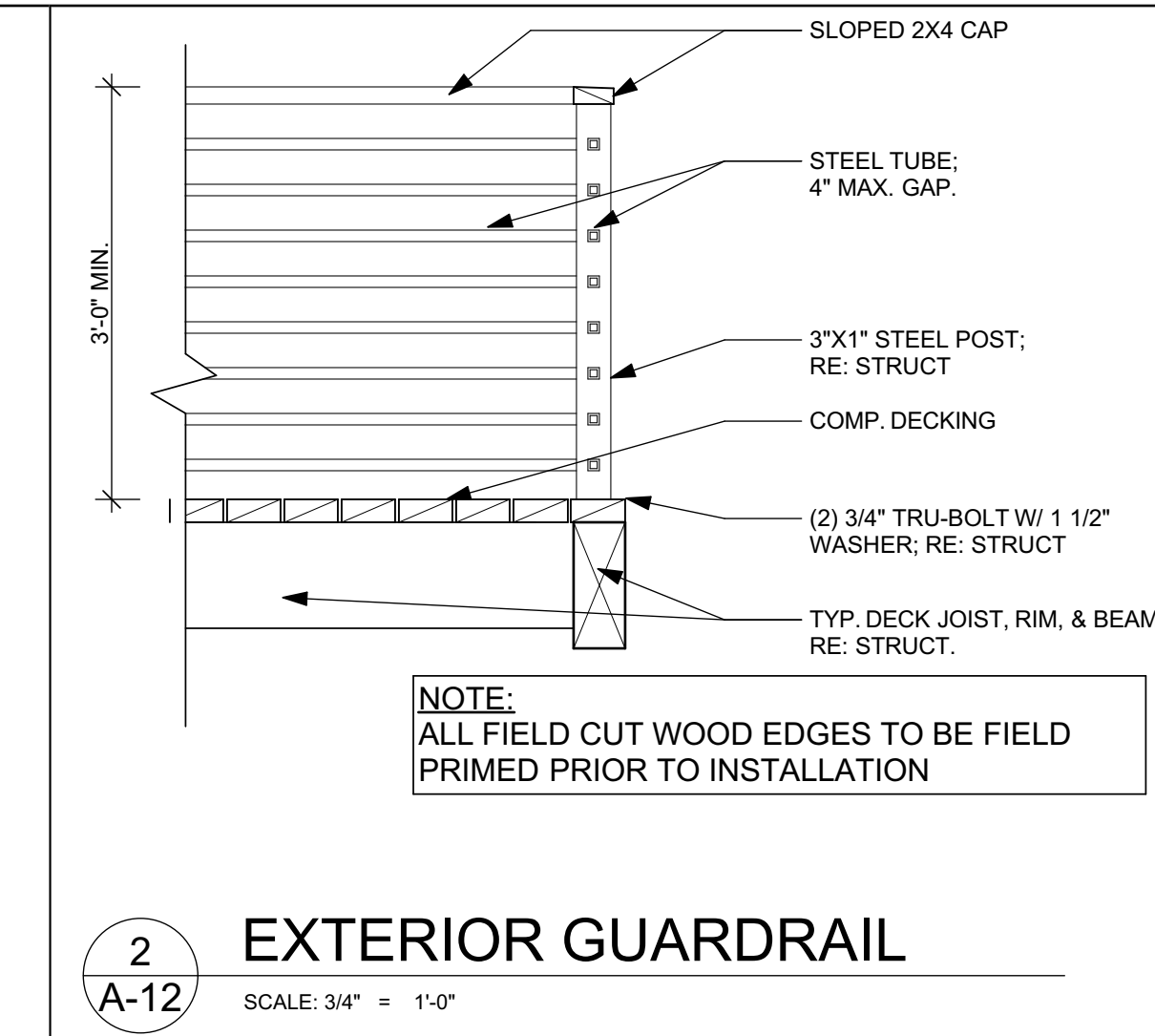
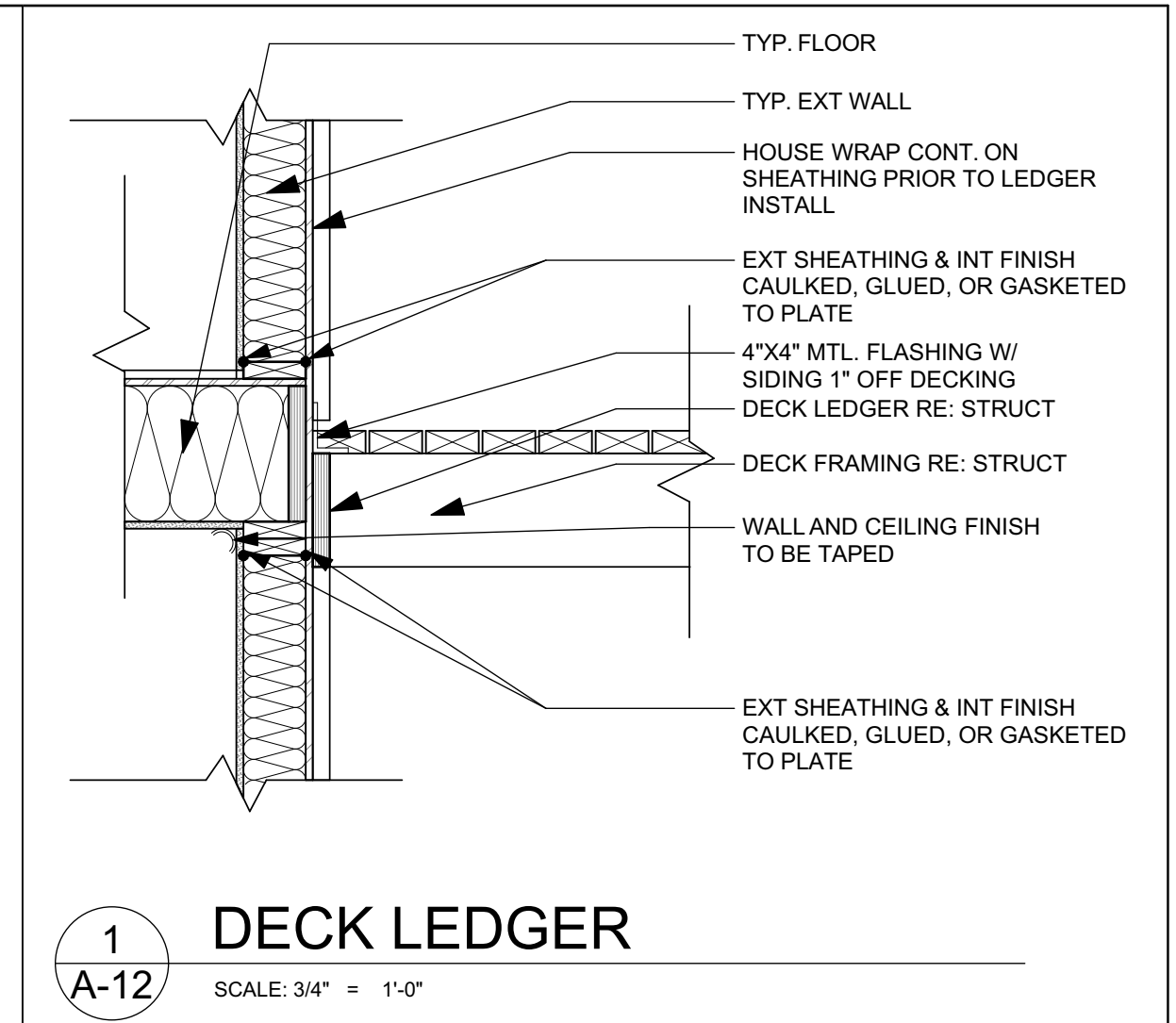
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General Notes:

1. Codes:
This plan was prepared based on the 2018 International Residential Code (IRC) with local amendments and portions of the most recent versions of ACI 318, ACI 332R, AISI Allowable Stress Design thirteenth edition, and the NDS for wood construction.

2. Loads:
This plan is based upon the following load parameters:
Roof: Snow Load = 100 psf
Floor: Live Load = 40 psf
Deck: Live Load = 125 psf
Wind: Speed = 115 mph (Ultimate, 3 second gust), Exposure C
Seismic: Category B
Soils report by: 285 Engineering, Inc. Project No. 2024695, dated December 18, 2024
Recommended footing design requirements:
Max. Bearing: 2500 psf
Min. Dead Load: None Specified

3. Materials:
This plan is based upon the following material properties:
Concrete: At a minimum, concrete shall meet ACI exposure class RS2, have a maximum water-cement ratio = 0.45, 6% w/w air entrainment, contain ASTM C150 Type V cement, or an ASTM C595 or C151 hydraulic cement meeting high sulfate-resistant hydraulic cement (HS) and a minimum 28 day compressive strength of 3000 psi for structural concrete, and 3500 psi for interior or exterior slabs on grade. See the geotechnical report for additional specifications.
Reinforcing: Reinforcing shall be deformed grade 60 steel unless noted otherwise (UNO) on the plan and shall conform to ASTM A615. Minimum concrete cover shall be 2" (in) UNO on the plan. Overlaps shall be 48 bar diameters but not less than 24" (in). Detail reinforcing bars in accordance to the ACI detailing manual and ACI code, latest edition. All foundation wall reinforcement should be wired in place. Slab and footing reinforcement shall utilize chairs or other acceptable methods to achieve the required cross section location.
Steel: Structural steel beams shall conform to ASTM A992 (fy = 50 ksi), 3" (in) adjustable steel columns shall be schedule 40 or better and rated for a safe allowable load of not less than 28 kips for columns up to 9'-0" in height, and 25 kips for columns up to 10'-0" in height. 3/4" (in) adjustable steel columns shall be schedule 40 or better and rated for a safe allowable load of not less than 36 kips for columns up to 9'-0" in height, and 34 kips for columns up to 10'-0" in height. All adjustable steel columns shall have 1" to 3" (in) of thread exposed.
Anchor Bolts: Foundation anchor bolts shall conform to ASTM F1554 Gr36 and be 1/2" (in) diameter by 12" (in) long (1" min. embedment) spaced at 4'-0" maximum (unless noted otherwise on plan) and 12" (in) from corners and splices. Anchor bolts shall be located within the middle third of the sill plate.
Wood: All dimensional lumber shall be Hem Fir #2 or better unless noted on the plan. All Laminated Veneer Lumber shall have an allowable flexural stress Fb = 2600 psi and Modulus of Elasticity of E = 2,000,000 psi or better. Glued Laminated Lumber shall have an allowable flexural stress Fb = 2400 psi and Modulus of Elasticity of E = 1,800,000 psi or better.
Fasteners and connectors: All fasteners and connectors in contact with pressure treated lumber shall be G185 hot-dip galvanized (HDG) type 304 stainless steel or type 316 stainless steel. Do not mix HDG and stainless hardware and fasteners. All expansion bolts and connectors shall be as manufactured by Simpson Strong Tie or equivalent.

4. Soils:
CTL I THOMPSON recommends an open-hole observation be performed by a qualified geotechnical engineer. Open-hole observations are to verify that the soil conditions are as described in the above referenced soils report. Soils conditions inconsistent with the soils report may require additional evaluation or a foundation redesign, and should be brought to the attention of CTL I THOMPSON. All footings, pads, or piers shall be a minimum of 40" (in) below grade, or per local code, and should bear upon undisturbed native soils or structural fill acceptable to the geotechnical engineer. All other recommendations contained in the soils report pertaining to backfill, drainage, etc. should be incorporated into the design of this project.

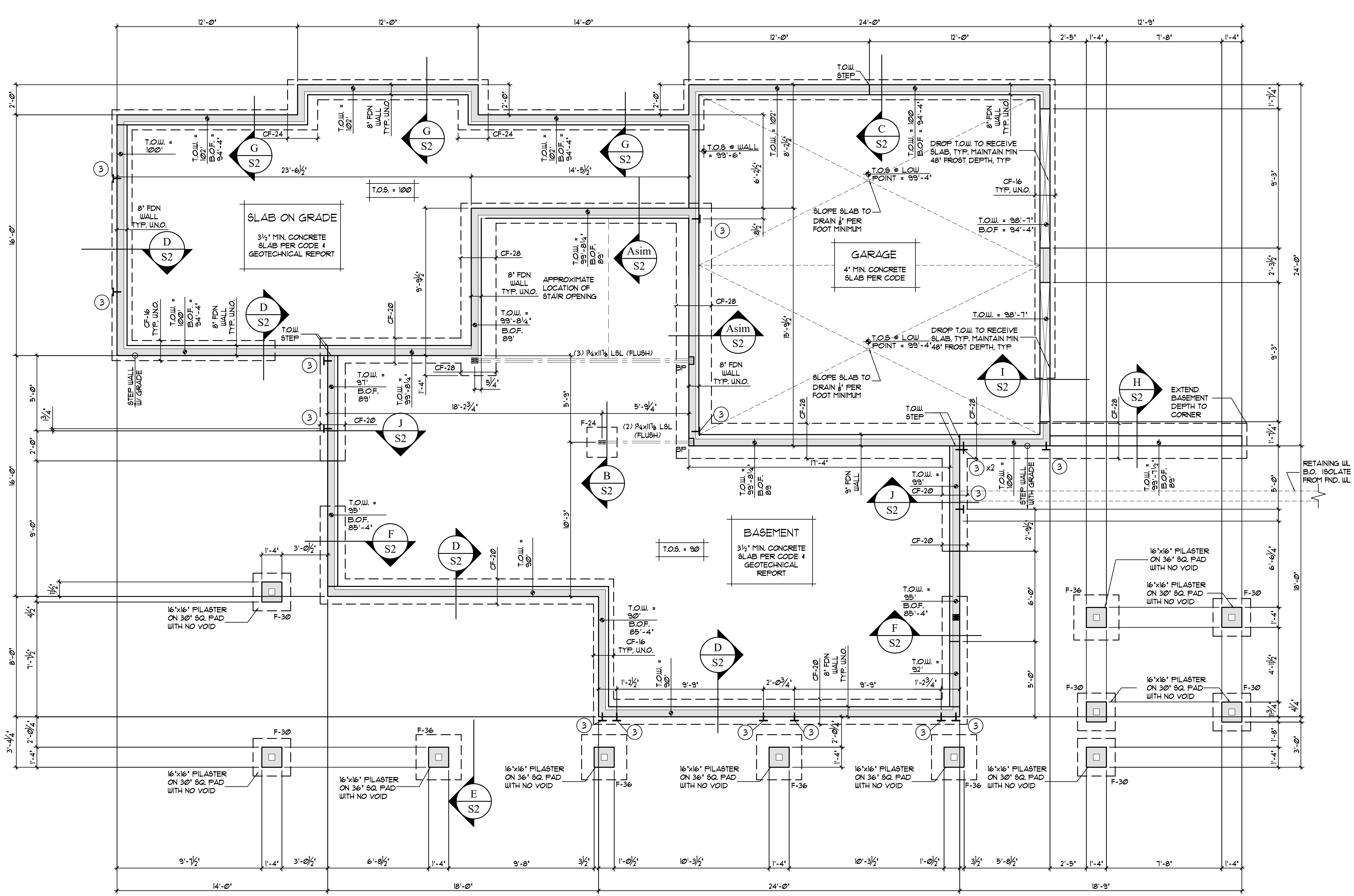
5. Slabs-on-grade:
The type of floor construction and potential risks should be discussed between the contractor/owner and the appropriate geotechnical engineer. See the geotechnical report for a discussion about slab performance risk evaluation, as well as slab installation and maintenance recommendations. Slabs-on-grade where utilized should be isolated from grade beams, columns, plumbing, or other support structures by use of 1/2" (in) minimum isolation joint material. Provide a void space (minimum height per the geotechnical report) between all interior partitions and floor slabs-on-grade. The partition void space should be monitored and maintained throughout the life of the structure. CTL I THOMPSON recommends slabs-on-grade be reinforced with 6x6 WLL44 welded wire fabric. Provide control joints at 10'-0" on center maximum. Exterior slabs such as patios, porches, driveways, etc. should not be coupled to the foundation unless noted otherwise.

6. Backfill:
CTL I THOMPSON recommends foundation walls not be backfilled for a minimum of eight days after placement of concrete. Prior to backfilling CTL I THOMPSON recommends damp-proofing for all below grade walls in contact with subsoils. All floor systems should be in place before backfilling against any foundation wall, or as an alternative adequately brace the foundation. CTL I THOMPSON recommends imported non-expansive structural fill be used for backfilling around all foundation walls and beneath all slab-on-grade areas for sites where expansive soils are prevalent. In lieu of imported fill, the native soils could be used for backfill if the material and compaction process is acceptable to the geotechnical engineer. Backfill should be adequately compacted and graded to provide adequate drainage away from the foundation. Backfill adjacent to the foundation may settle over time. The backfill must be dewatered and maintained to provide adequate drainage away from the foundation.

7. Framing:
See notes on framing sheets, S3 to S5

8. Drainage:
Adequate drainage shall be provided around the structure. This drainage should be monitored and maintained throughout the life of the structure. At a minimum CTL I THOMPSON recommends a minimum slope of 1" (in) in the first ten feet, and a minimum 2% slope from that point to the property line for landscaped areas. For all below grade habitable areas CTL I THOMPSON recommends a perimeter drain. The perimeter drain shall be installed per the geotechnical engineer's recommendations. At a minimum it should consist of drainage fabric over 12" (in) of clean gravel over a 4" (in) perforated pipe sloped at 1/8" (in) minimum to daylight well beyond the foundation system or to a sump pit with pump. Perforated rigid pipe is preferable where the drain pipe may be crushed or damaged such as around the exterior of the home in the backfill zone. For interior drains in basement areas, we recommend placing a 4" thick, 8' wide section of void form perpendicular to the footing about every 10' to 15 feet and at window wells, to allow water in wall backfill to pass beneath the footing into the interior drain. This can also be accomplished by "tunneling" under footings at the time of drain installation. Alternatively, an exterior foundation drain can be used.

9. Limitations:
It is the contractor/owner's responsibility to verify and coordinate all dimensions prior to construction. Brick ledges, foundation steps, insets, beam pockets, haunches, and basement windows, etc. may or may not be shown. All temporary bracing, if needed, is by others. This foundation plan is based on the contractor/owner furnished plans and the above referenced specifications. Any discrepancies or changes should be brought to the attention of CTL I THOMPSON. We recommend a copy of "A Guide to Sulfating Soils for Colorado Home Buyers and Home Owners, Colorado Geological Survey Special Publication #43 be provided to any new or future owners of this property.



HOLD-DOWN (HD) SCHEDULE		
HD #	MANUF. / MODEL	NOTES
1	SIMPSON SHD10	HD'S AS SHOWN ARE IN APPROXIMATE LOCATIONS. FIELD LOCATE HD'S AT CORNERS, EDGE OF OPENINGS ABOVE, OR ENDS OF REQUIRED SHEAR WALLS (SEE ARCH PLANS FOR DIMENSIONS)
2	SIMPSON SHD10RJ	LOCATE HD'S SHOWN AT CORNERS OR T.O.W. STEPS IN FOUNDATION 1/2" (IN) FROM CORNERS OR TOP OF WALL STEPS
3	SIMPSON SHD14RJ	LOCATE HD'S SHOWN AT CORNERS OR T.O.W. STEPS IN FOUNDATION 1/2" (IN) FROM CORNERS OR TOP OF WALL STEPS
4	(2) SIMPSON CS16	INSTALL ALL HOLD-DOWNS PER MANUF. SPECS.
5	(3) SIMPSON CS16	CS16'S TO HAVE MIN. END LENGTH OF 12" AND (22) 10d NAILS TOTAL (24" MIN TOTAL LENGTH, 11 NAILS MIN EACH CONNECTED MEMBER)
6		SOME STRAPS SHOWN ON THIS SCHEDULE MAY NOT BE USED IN THE DESIGN.
7		
8		
9		

CONTINUOUS FOOTING SCHEDULE			
FTG.	SIZE (in x in)	REBAR	NOTES
CF-16	16"W x 8"D	PROVIDE 1" DOUELS TO MATCH WALL REINFORCEMENT ABOVE	ALL FTGS/PADS TO BEAR UPON UNDISTURBED NATIVE SOIL OR STRUCTURAL FILL APPROVED BY THE GEOTECHNICAL ENGINEER.
CF-20	20"W x 8"D		
CF-24	24"W x 8"D		
CF-28	28"W x 8"D	4 # 12" o/c EW	

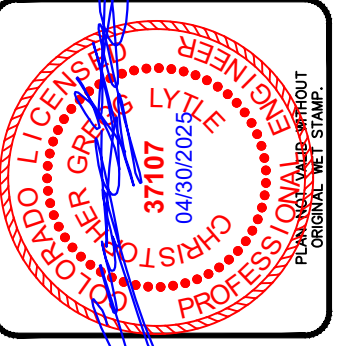
BEAM SIZE SCHEDULE			
BEAM SIZE	APPROX. DEPTH, D	APPROX. WIDTH, W	NOTES
(2) 2x11 1/2 LBL	11.875"	3.5"	
(3) 2x11 1/2 LBL	11.875"	5.25"	

CONCRETE PAD FOOTING SCHEDULE			
FTG.	SIZE	REBAR	NOTES
F-24	24"SQx12"D	4 # 12" o/c EW	TOP OF PAD EQUALS BOTTOM OF SLAB
F-30	30"SQx8"D	4 # 12" o/c EW	
F-36	36"SQx8"D	4 # 12" o/c EW	

NOTE:
T.O.W. = TOP OF WALL
B.O.F. = BOTTOM OF FOOTING
T.O.S. = TOP OF SLAB

FOUNDATION PLAN

CTL I THOMPSON
Founded in 1971
CTL I THOMPSON, INC. P. 970-453-2047
500 Brian Avenue, Unit A
Silverthorne, Co 80498
www.ctlitthompson.com



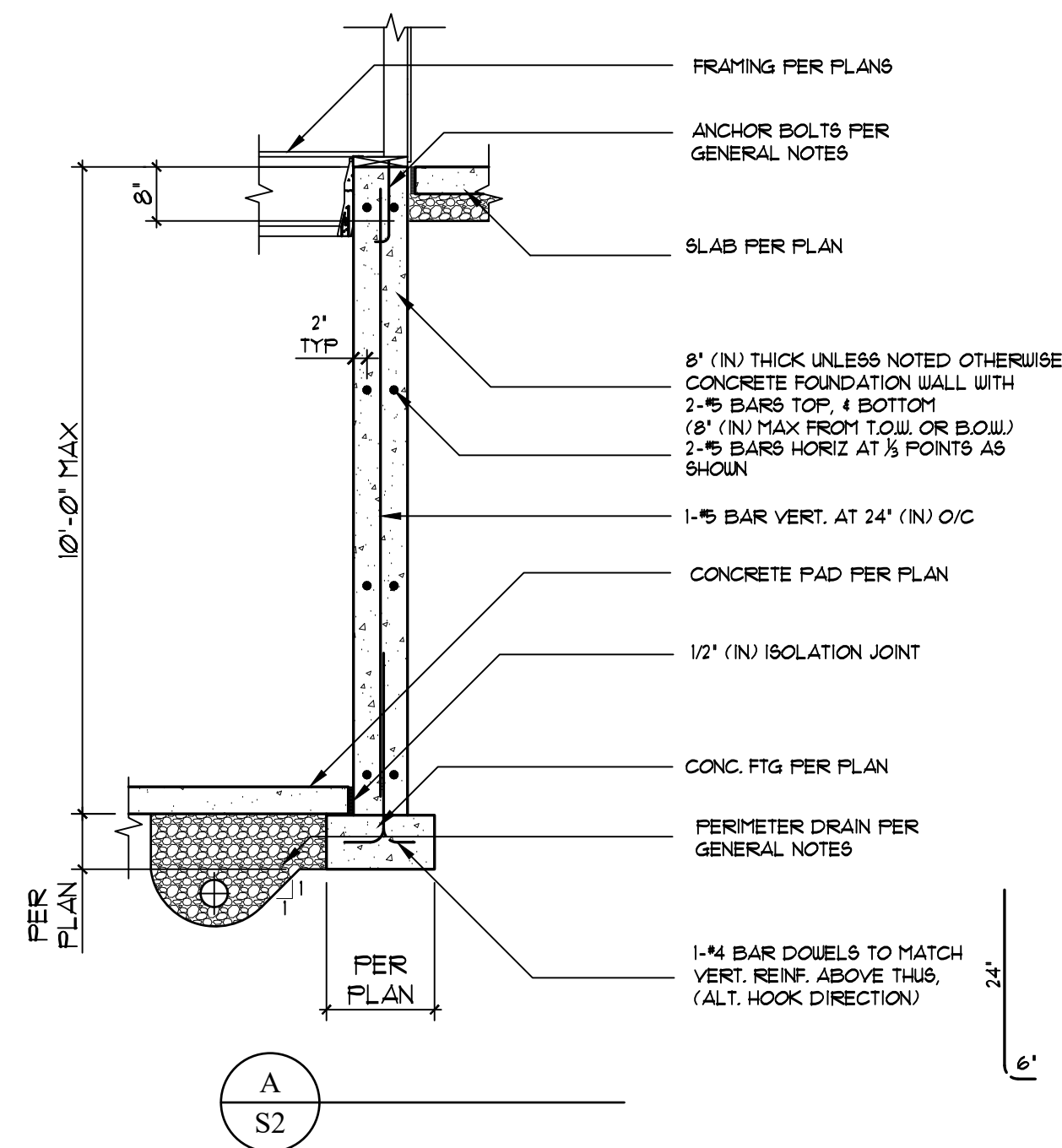
REVISIONS:
NO. DATE REVISION/ISSUE
1 04-28-2025 REVISE FOUNDATION WALL ELEVATIONS FROM DECIMAL FEET TO FEET+INCHES

PROJECT LOCATION:
Powers Betz Residence
Lot 538, Golden Crown Subdivision
194 Golden Crown Lane
Blue River, Colorado

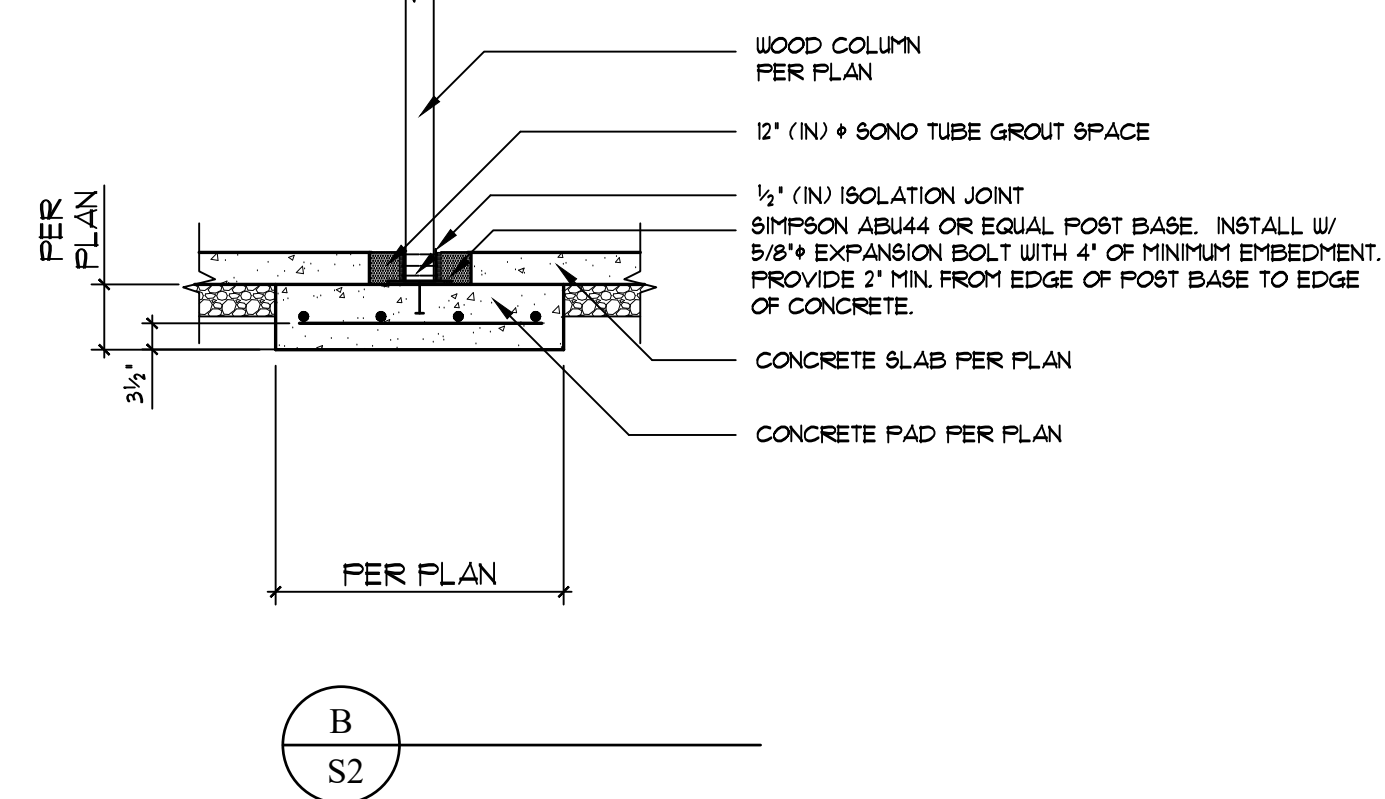
FOUNDATION PLAN
DATE: 04-28-2025
REVISION/ISSUE: REVISE FOUNDATION WALL ELEVATIONS FROM DECIMAL FEET TO FEET+INCHES

CLIENT:
Carolyn Powers & Morgan Betz
400 North Park Avenue, Unit 12B
Breckenridge, Co 80424
Contact: Bobby Craig, P.E.
Arapahoe Architects, P.C.
970-453-8474

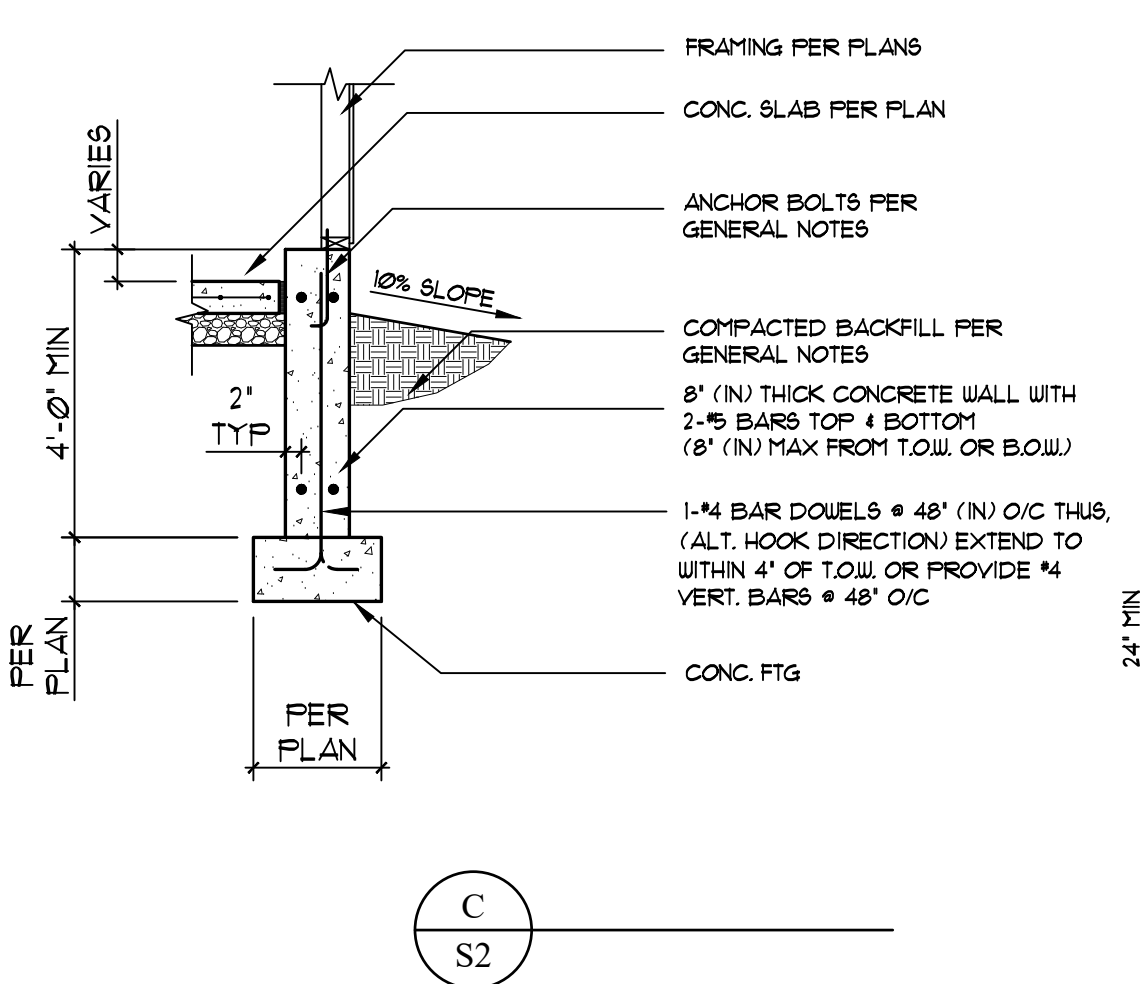
DATE: 04-28-2025
SHEET: S1
SU02639.000
1/4"=1'-0"



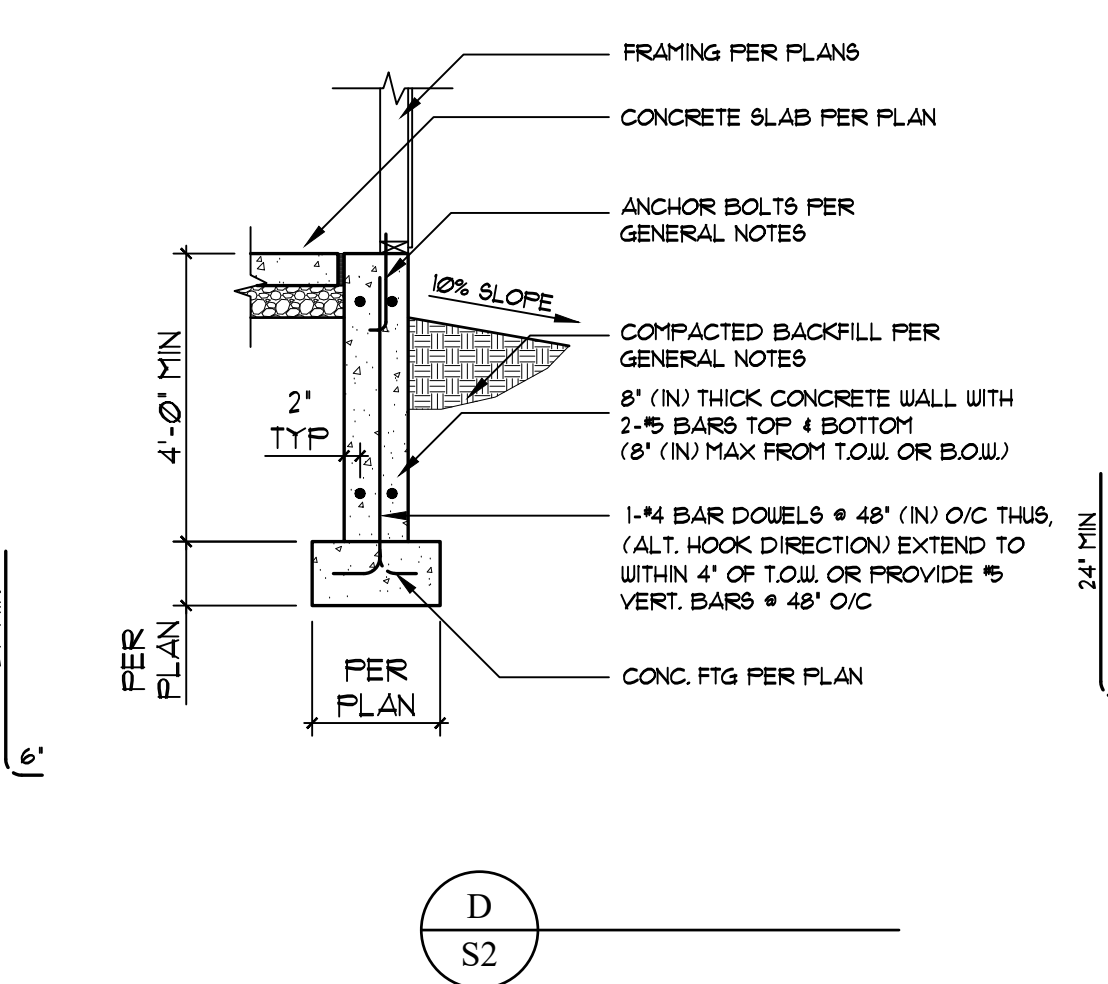
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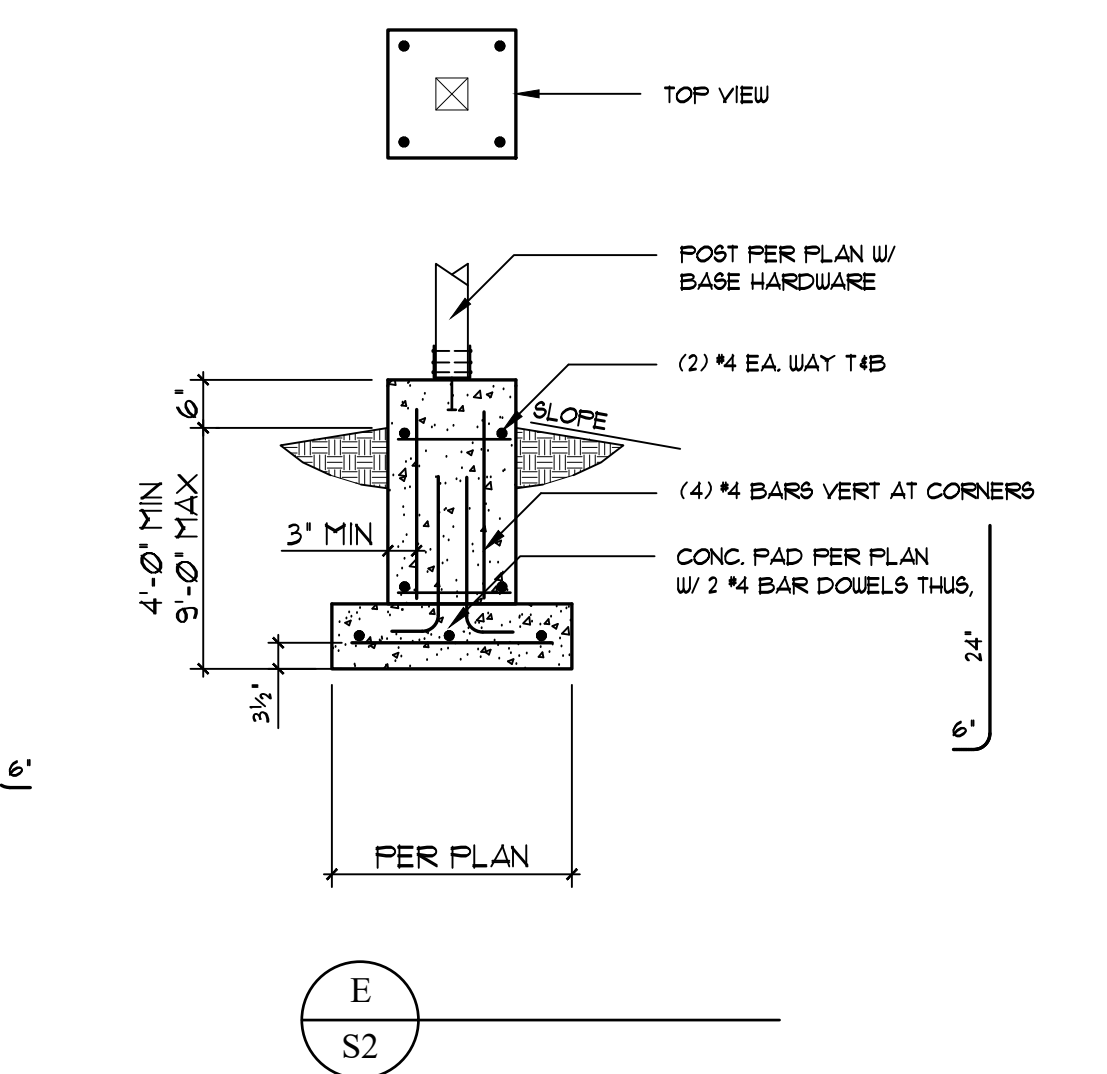
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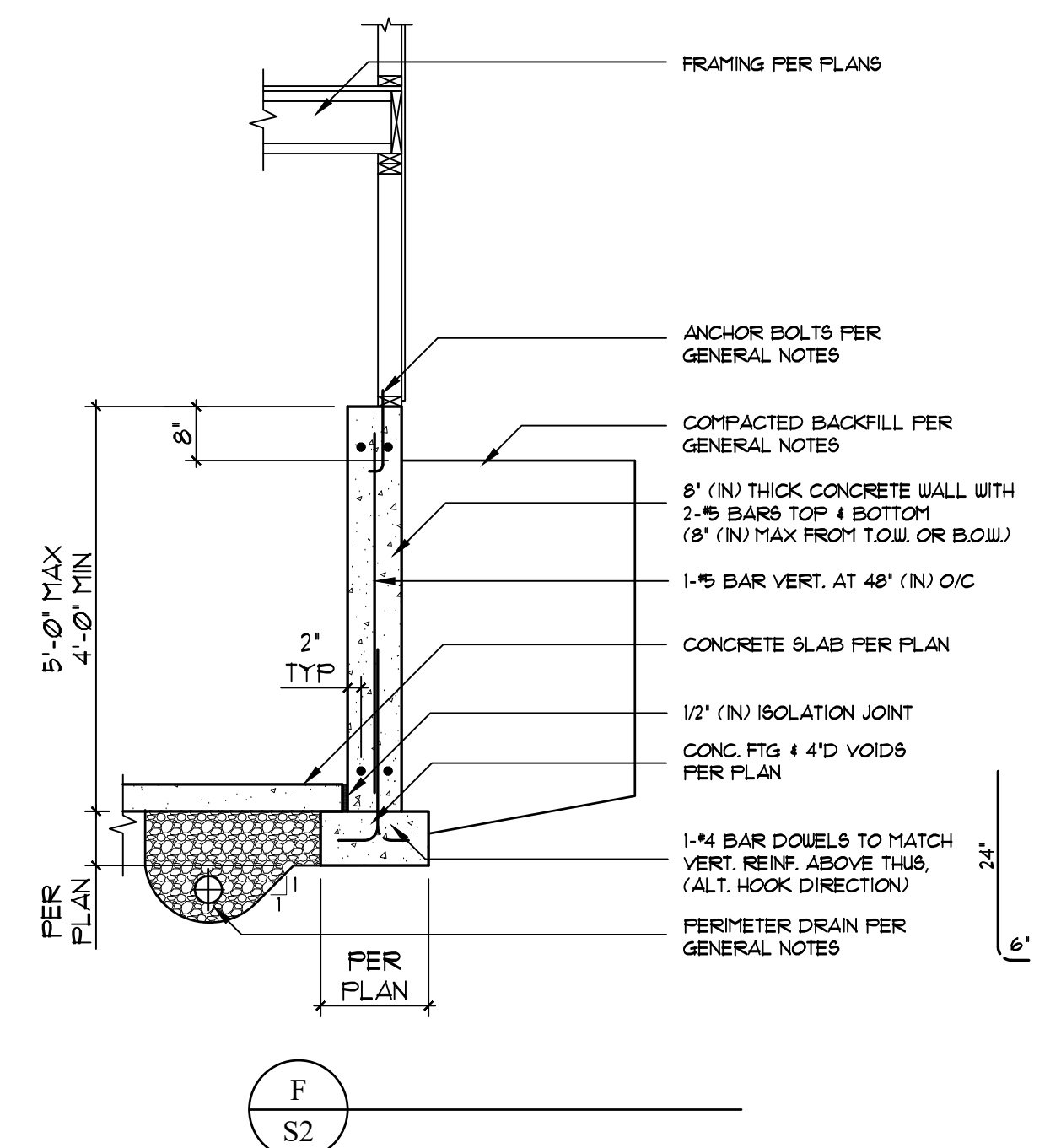
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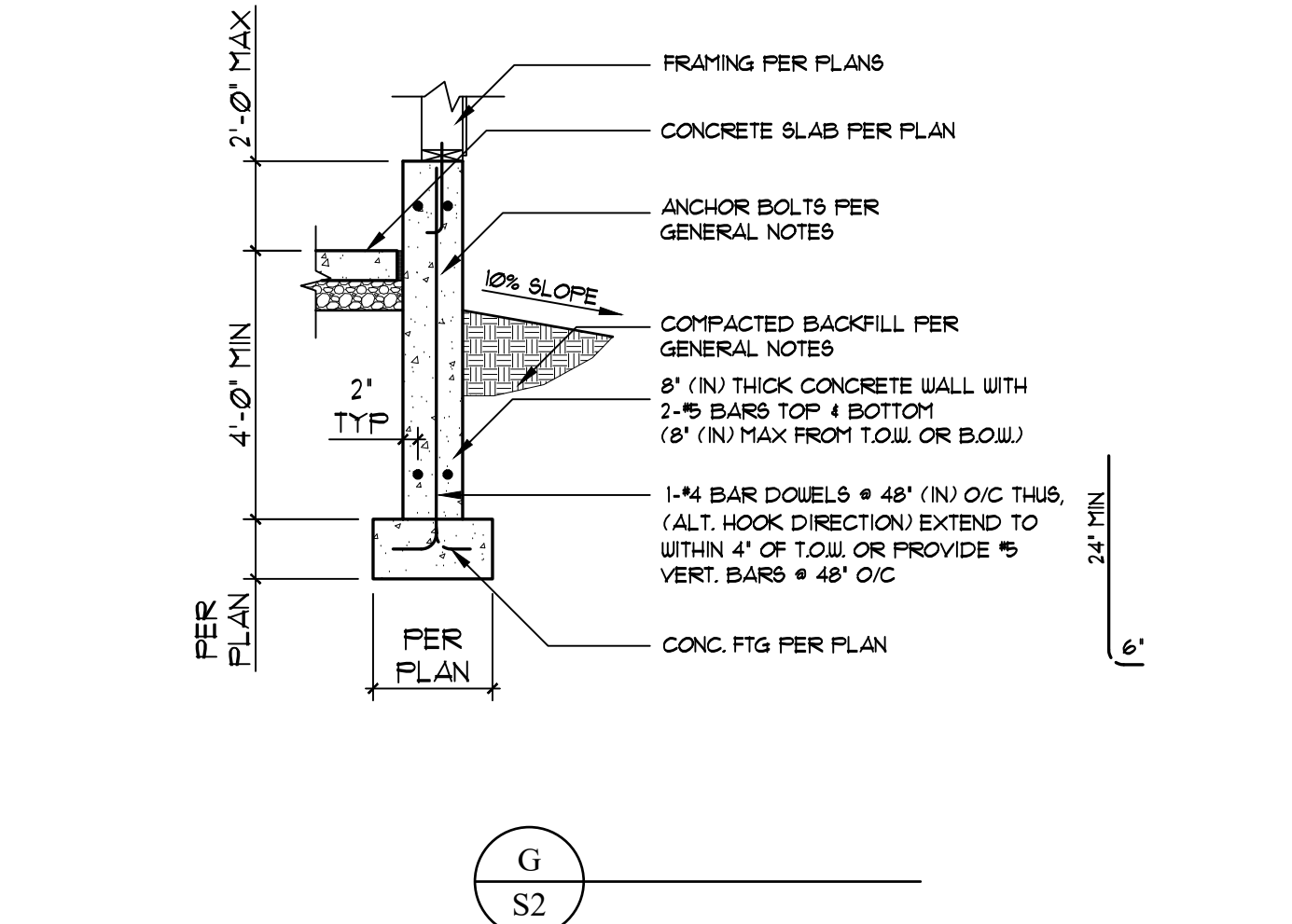
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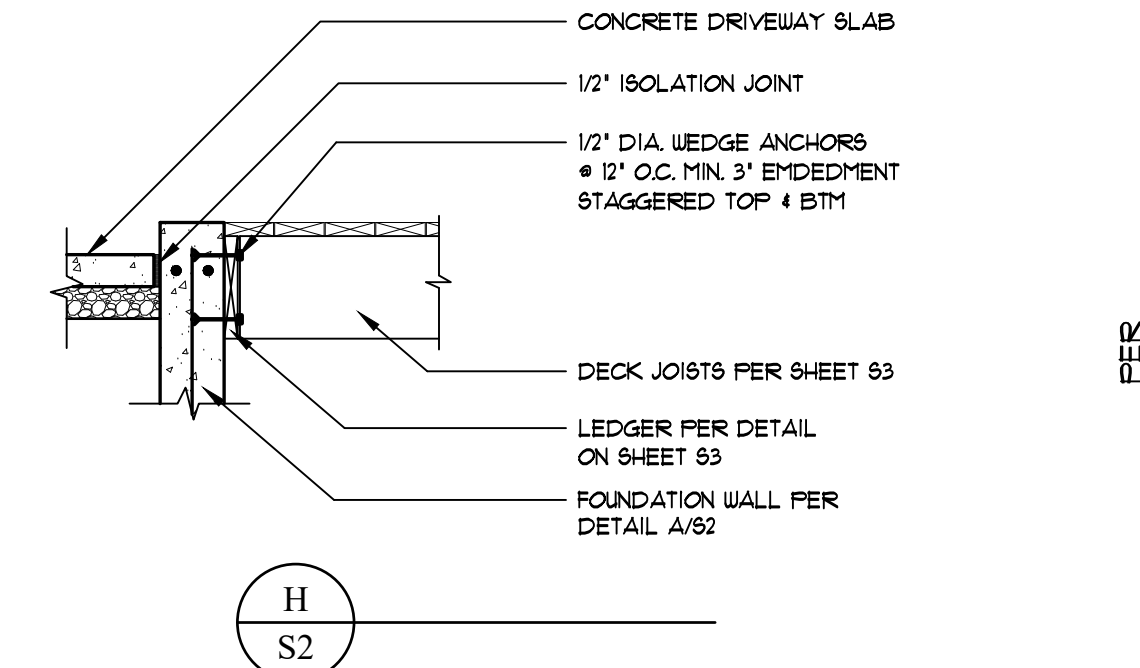
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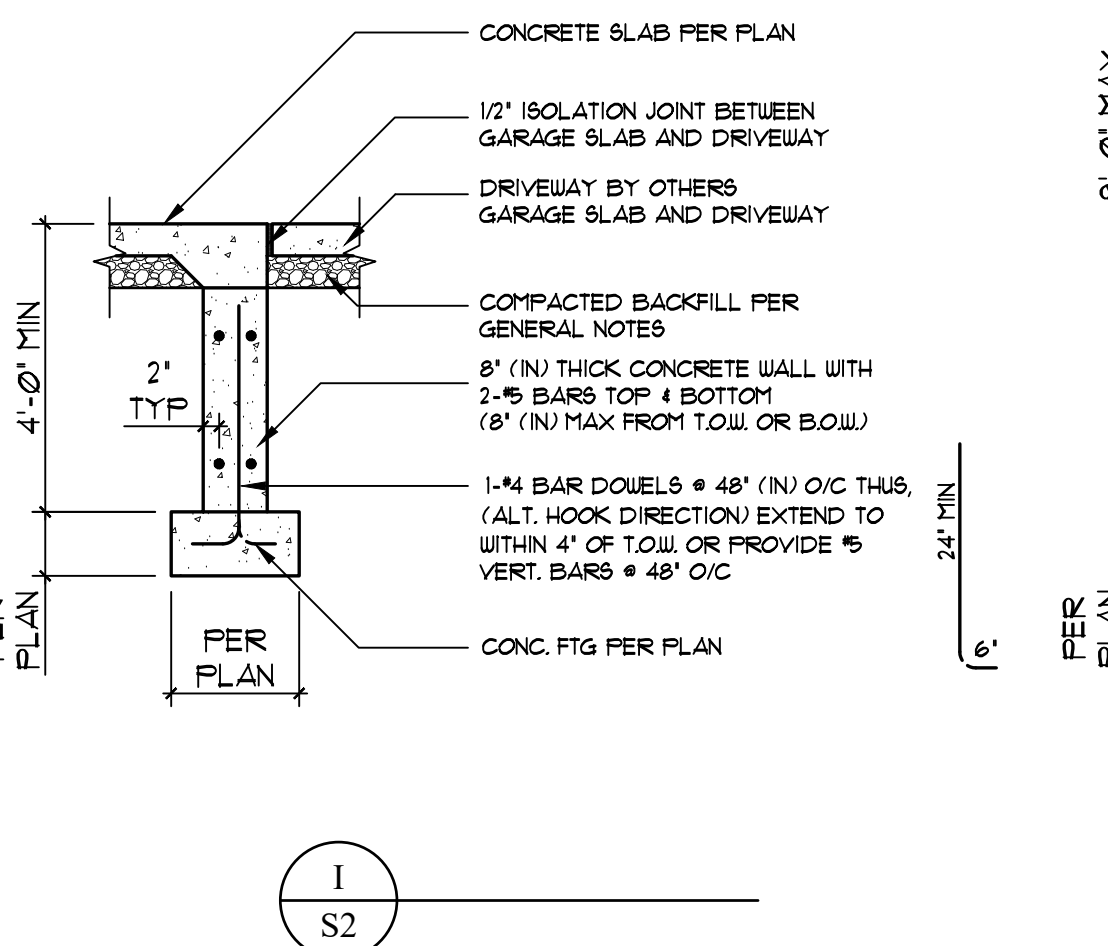
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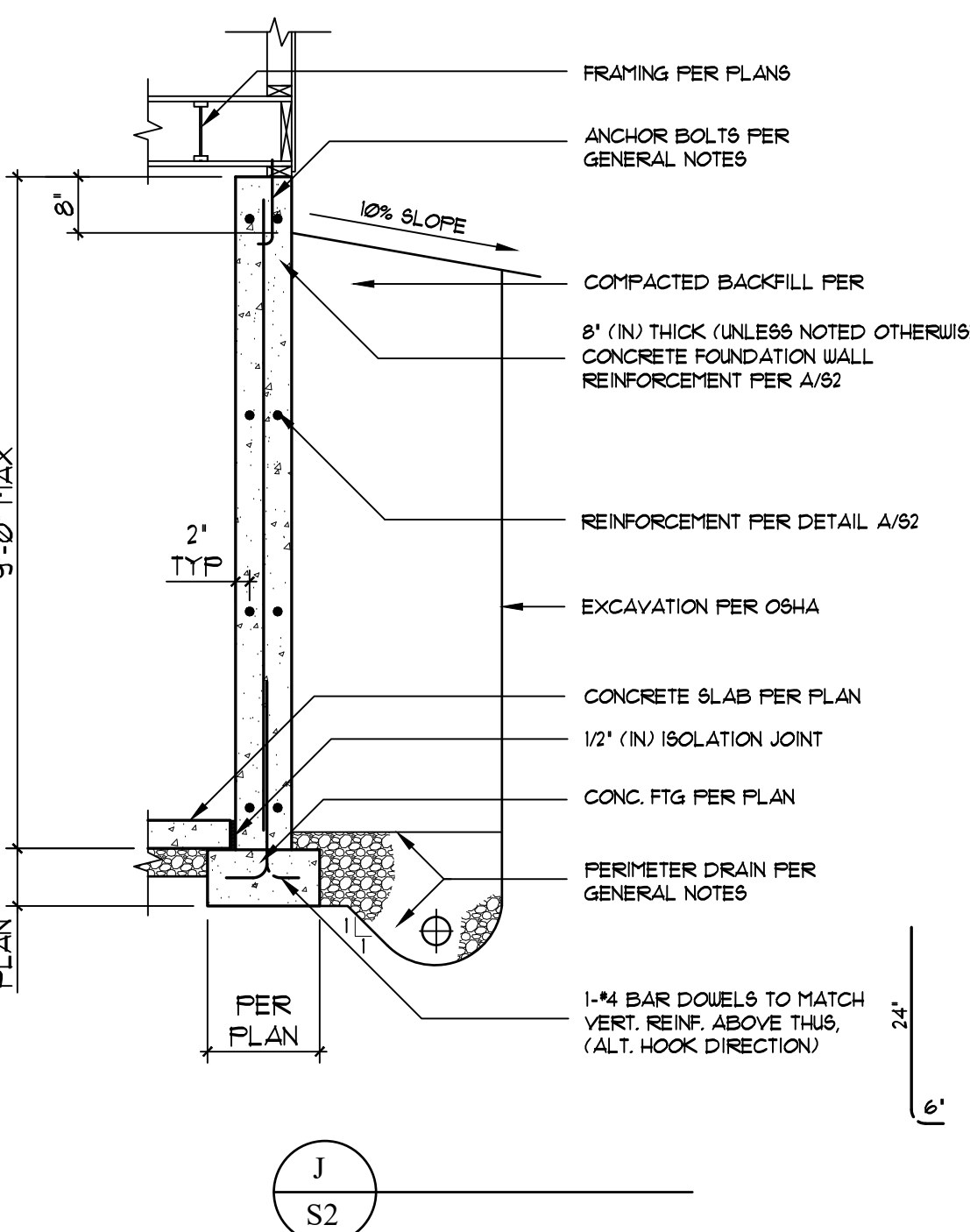
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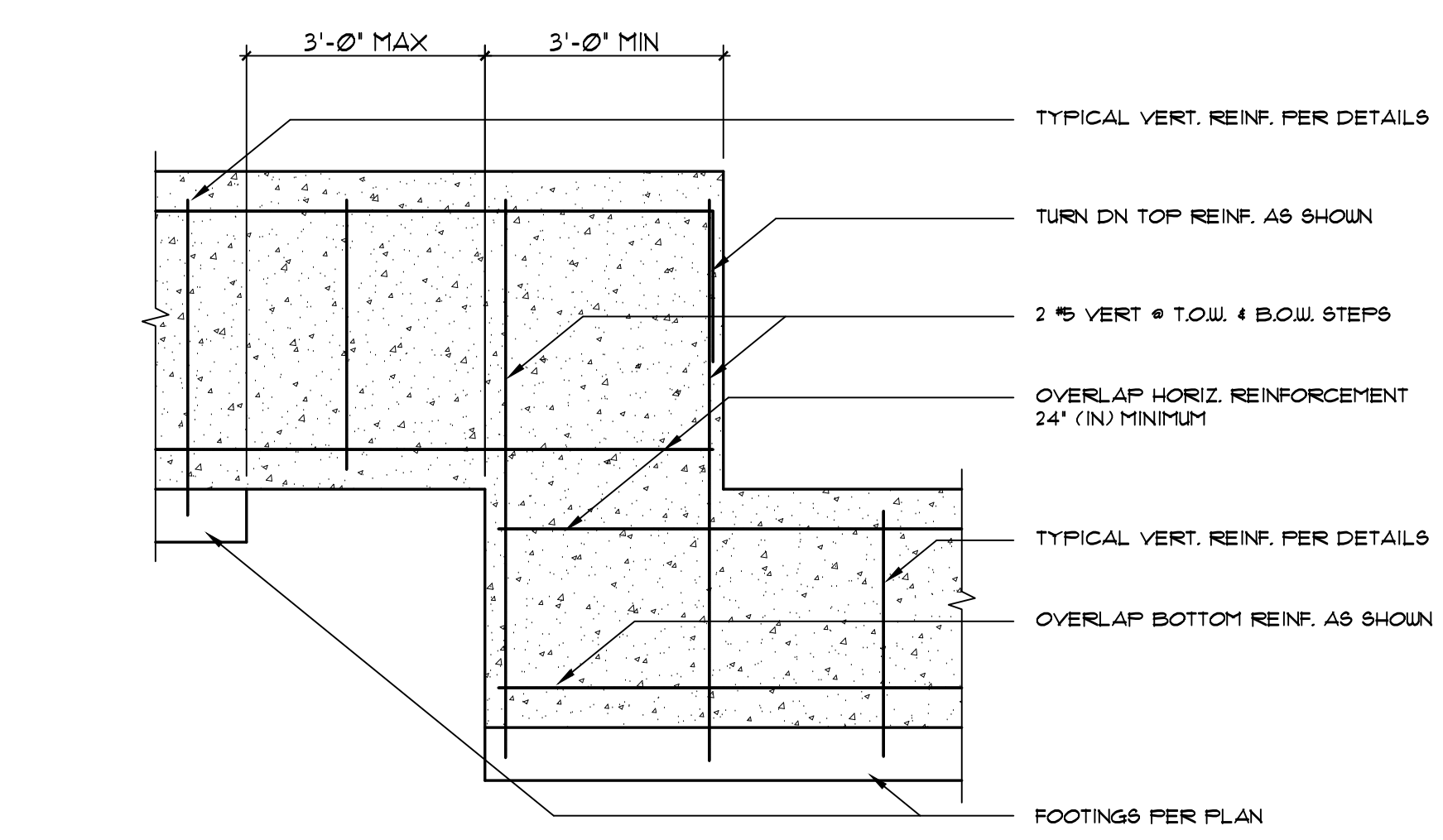
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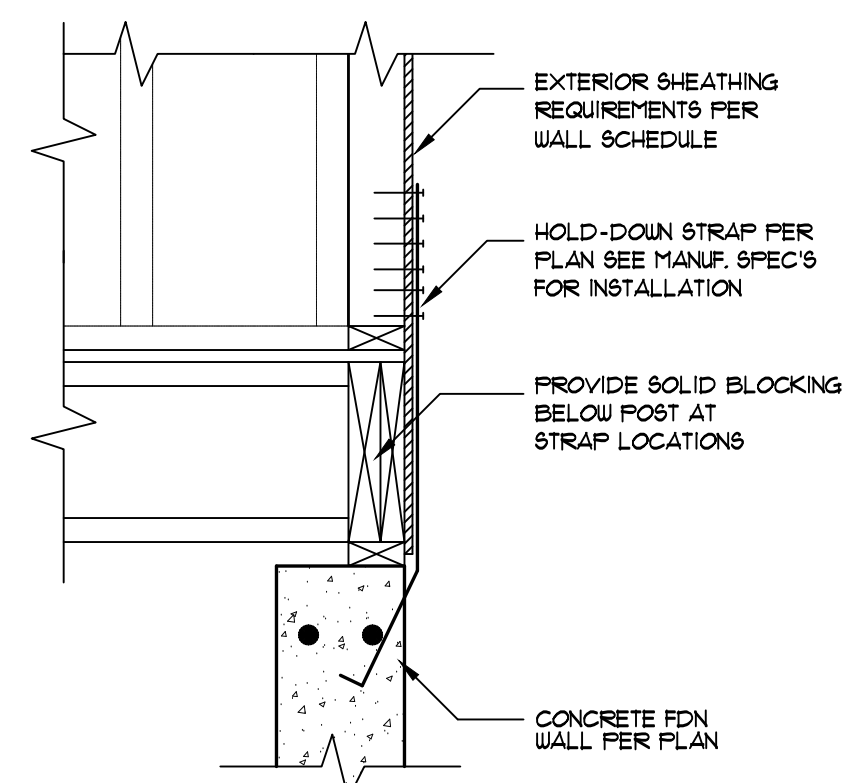
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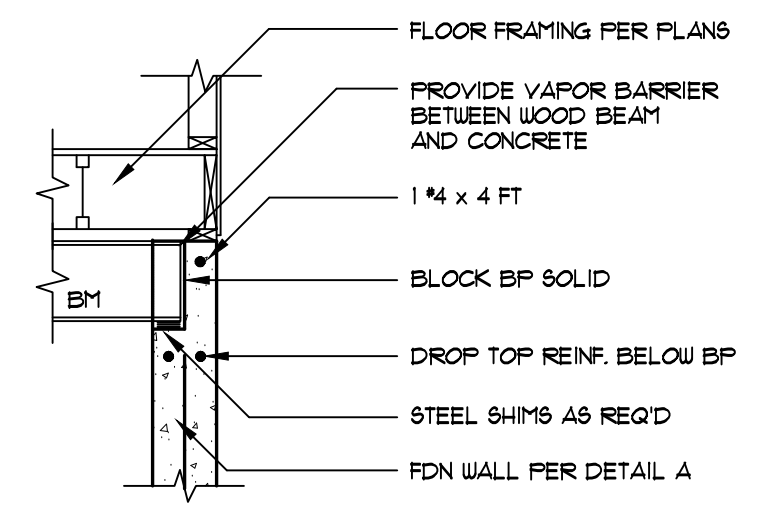
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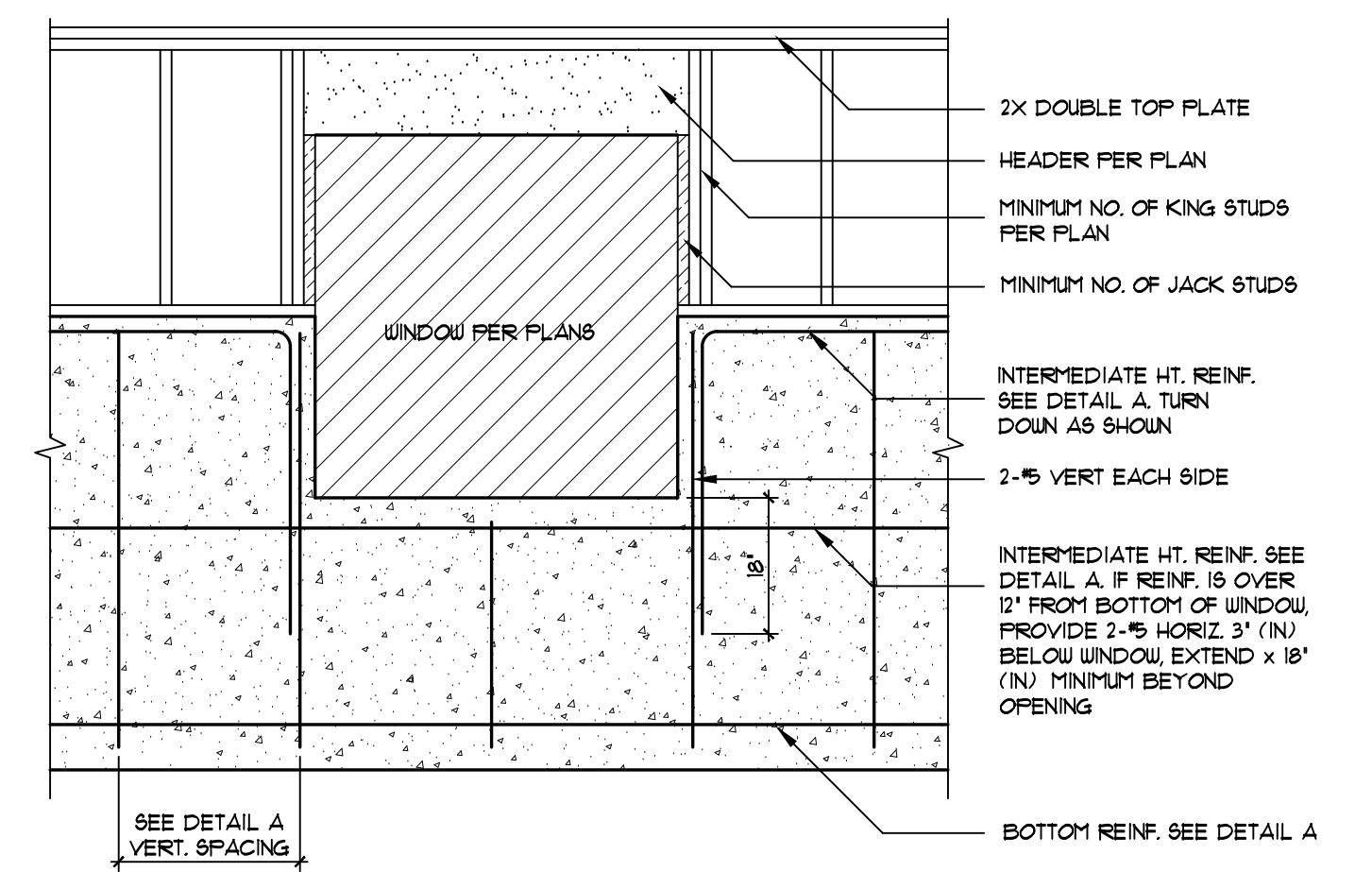
TYPICAL STEP DOWN REINFORCEMENT DETAIL



TYPICAL HOLD-DOWN STRAP DETAIL



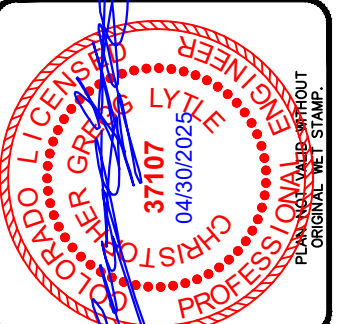
BEAM POCKET DETAIL



TYPICAL REINFORCING AT GARDEN LEVEL WINDOW OPENINGS

FOUNDATION DETAILS

CTL | THOMPSON
 Founded in 1971
 CTL | THOMPSON, INC. P. 970-453-2047
 500 Brian Avenue, Unit A
 Silverthorne, Co 80498
 www.ctlthompson.com



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PROJECT LOCATION:
 Powers, Betz Residence
 Lot 538, Golden Crown Subdivision
 194 Golden Crown Lane
 Blue River, Colorado

NO.	DATE	REVISION/ISSUE
1	04-28-2025	REVISE FOUNDATION WALL ELEVATIONS FROM DECIMAL FEET TO FEET-INCHES

CLIENT:
 Carolyn Powers & Morgan Betz
 400 North Park Avenue, Unit 12B
 Breckenridge, Co 80424
 Contact: Bobby Craig, AIA
 Arapahoe Architects, P.C.
 970-453-8474

ALP/CGL	ALP	S2
SU02639.000	04-28-2025	S5.2
N.T.S.		

1. Framing:

All framing shall be in accordance with the provisions of the 2018 International Residential Code, and the most recent versions of AISC Allowable Stress Design thirteenth edition and the NDS for wood construction. All connections or members not shown are per code or the general contractor/owner. All manufactured wood products shall be installed per the manufacturer's specifications. Framing schematic shown do not constitute complete gravity or lateral force resisting systems. Refer to the code for additional requirements. The floor joist locations shown are for demonstration purposes. The actual joist locations may vary due to the location of utilities, block-outs, and other issues in the field. The contractor and/or sub-contractor are responsible for any framing members damaged by the installation of electrical lines, HVAC, plumbing lines, or any other items.

Loads: Roof: Snow Load = 120 psf
Floor: Live Load = 40 psf
Seismic: Category B
Deck: Live Load = 125 psf
Wind: Speed = 115 mph (Ultimate, 3 second gust), Exposure C

Materials: Wood - All dimensional lumber shall be Doug. Fir #2 or better unless noted on the plans. All dimensional redwood shall be Redwood #2 or better unless noted on the plans. All Laminated Strand Lumber (LSL) shall have an allowable flexural stress $F_b = 2325$ psi and Modulus of Elasticity of $E = 1.95 \times 10^6$ or better. All Laminated Veneer Lumber (LVL) shall have an allowable flexural stress $F_b = 2600$ psi and Modulus of Elasticity of $E = 2.0 \times 10^6$ or better. Alaskan Yellow Cedar Lumber shall have an allowable flexural stress $F_b = 2000$ psi and Modulus of Elasticity of $E = 1.5 \times 10^6$ or better. All laminated Parallel PSL shall have an allowable flexural stress $F_b = 1871$ psi and Modulus of Elasticity of $E = 1.46 \times 10^6$ or better.

Steel - Structural steel beams shall conform to ASTM A992 ($F_y = 50$ ksi). 3" (in) adjustable steel columns shall be schedule 40 or better and rated for a safe allowable load of not less than 28 kips for columns up to 9'-0" in height, and 25 kips for columns up to 10'-0" in height. 3 1/2" (in) adjustable steel columns shall be schedule 40 or better and rated for a safe allowable load of not less than 36 kips for columns up to 9'-0" in height and 34 kips for columns up to 10'-0" in height. All adjustable steel columns shall have 1" to 3" (in) of threads exposed.

Floors: Floor sheathing shall consist of 23/32" T & G glued and nailed w/ 8d nails @ 6" on-center edges, 12" on-center intermediate supports. Provide blocking at supports to transmit loads as necessary.

The floor joists shall be installed per the manufacturer specifications. Provide blocking at bearing locations per the manufacturer specifications.

Unless noted otherwise on the plan, hangers shall be the following or equivalent:
Single 1 1/8" TJ-210 Joist - Simpson IUS206/1188 (Top Flange), Simpson IUS206/1188 (Face Mount)
Double 1 1/8" TJ-210 Joist - Simpson IUS206/1188 (Top Flange), Simpson IUS206/1188 (Face Mount)
Single 1 1/8" LVL - Simpson HUS510/10 (Face Mount)
Double 1 1/8" LVL - Simpson HUS510/10 (Face Mount)
Triple 1 1/8" LVL - Simpson HUS510/10 (Face Mount)

Roof: Roof shall be 1932' OSB with 8d @ 6" on-center edges, 12" on-center field, over engineered trusses by others. For truss attachment, connections, and bracing refer to the truss manufacturer's recommendations. At a minimum, attach trusses to wall below with SIMPSON H25T clips at each truss (2) SIMPSON H25T clips at girder trusses. Solid block between rafters at bearing walls. Unless noted otherwise on plan, attach rafters to wall below with SIMPSON H25T clips or equal.

Walls: At a minimum, all exterior bearing and shear walls shall be constructed with 2x6 hem-fir studs spaced at 16" (in) on center unless noted otherwise on the plans. All interior bearing and shear walls shall be constructed with 2x4 hem-fir studs spaced at 16" (in) on center unless noted otherwise on the plans.

All columns specified on the plan are the minimum number of trimmer studs required for the header or beam unless noted otherwise on the plan. Provide minimum of one (1) king stud on each side of header or beam perpendicular to walls to create beam pocket. See typical wall opening detail for other king stud requirements.

Built up columns are 3-2xwall thickness HP#2 or better unless noted otherwise on the plans.

Misc: All wood in contact with concrete shall be pressure treated or redwood.

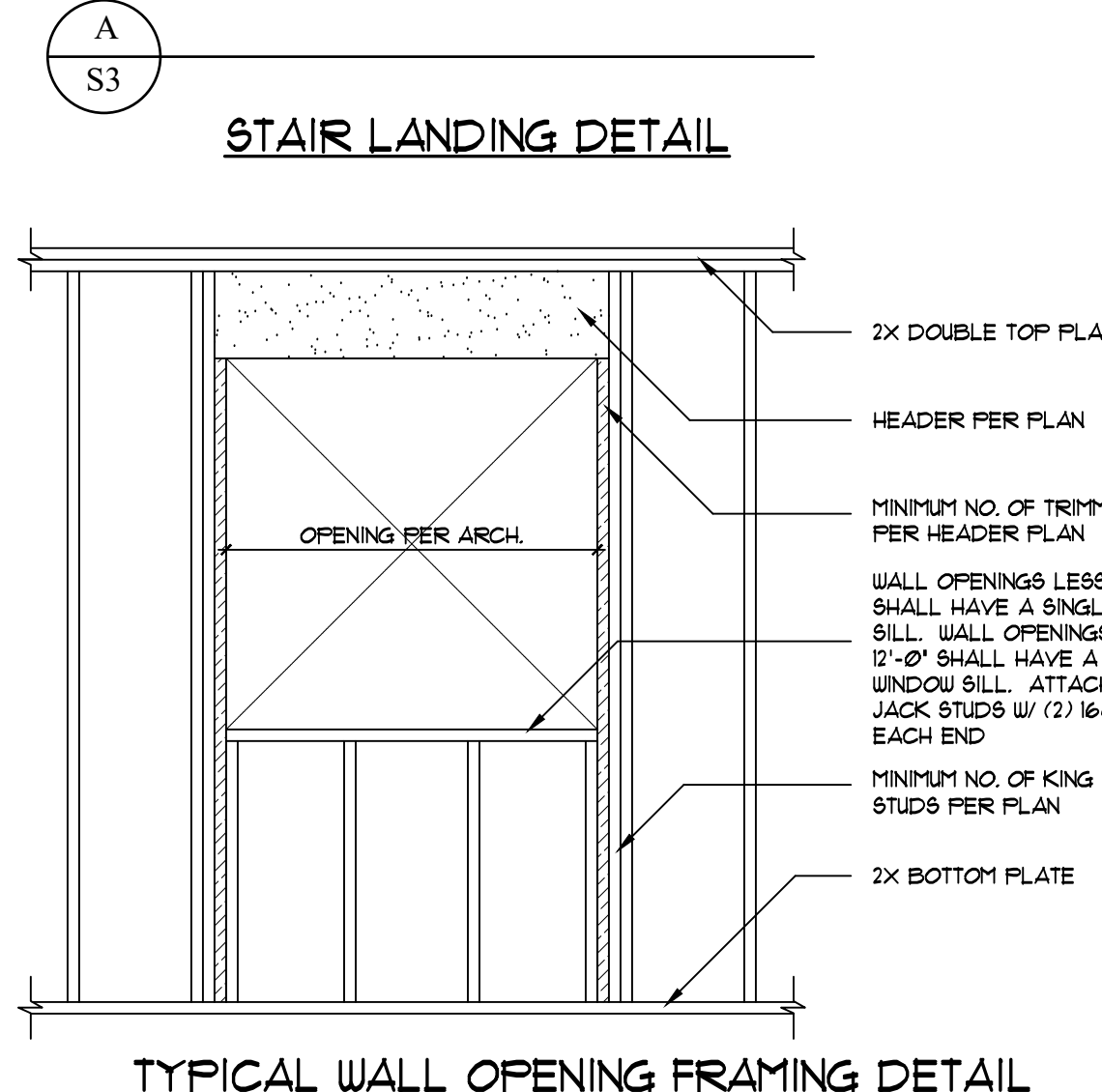
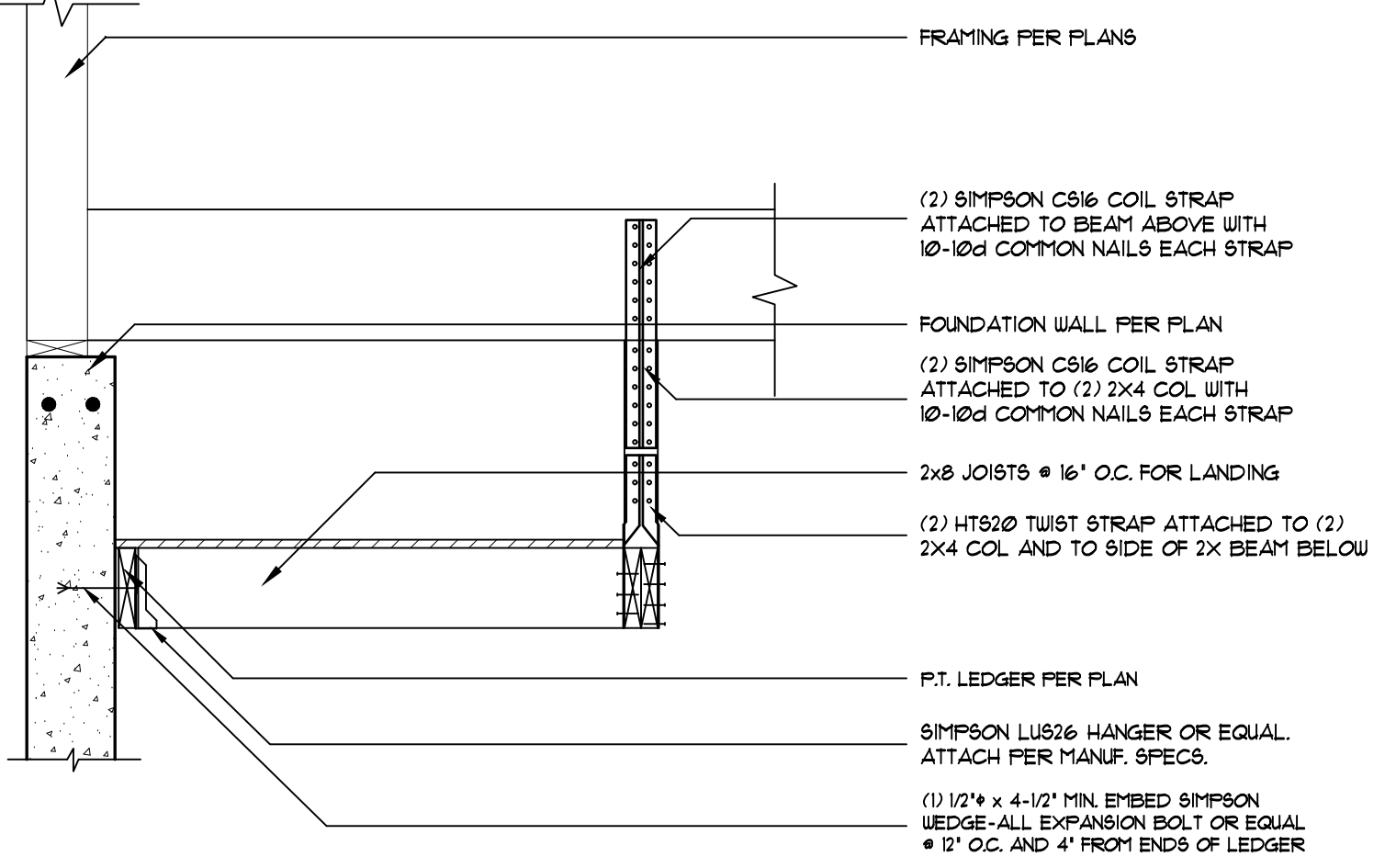
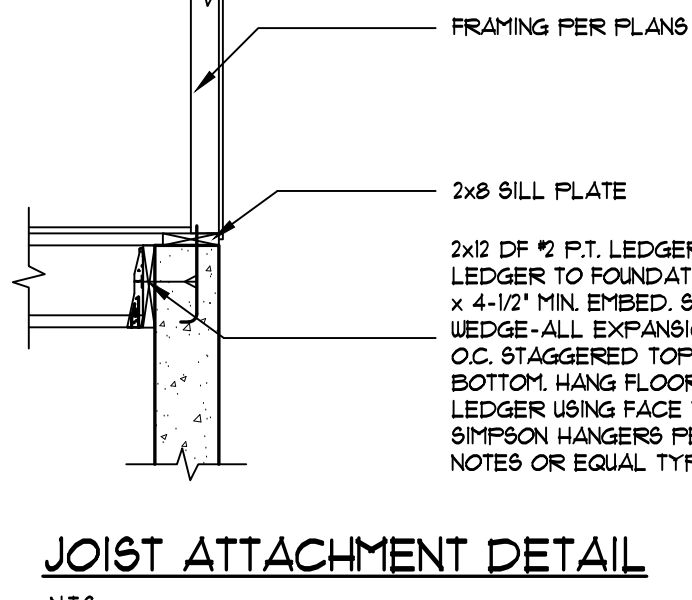
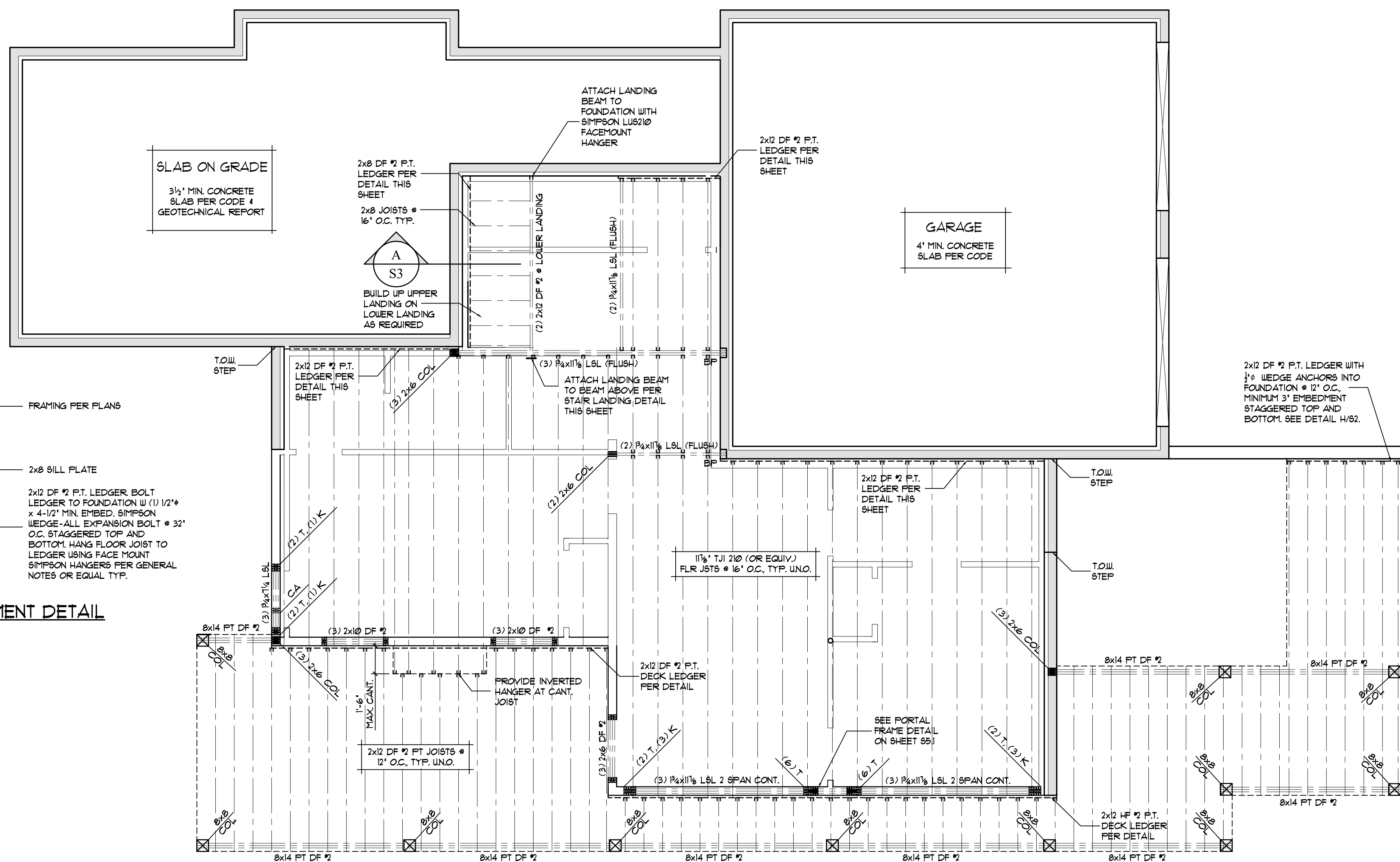
Provide solid blocking to transmit all point loads continuous to the foundation as necessary.

For decks with dropped beams and a maximum joist span of 15 feet and a joist spacing of 16" on center, one of the following SIMPSON fasteners (or equivalent) should be used to attach the end of each joist to the dropped beam: H, H25A, or H25T.

It is the contractor/owner's responsibility to verify and coordinate all dimensions prior to construction. Block-outs and other required openings may or may not be shown. This plan is based on the architect's plans and the above referenced specifications. Any discrepancies or changes should be brought to the attention of CTL THOMPSON.

Anchor Bolts: Foundation anchor bolts shall conform to ASTM F1554 Gr36 and be 1/2" (in) diameter by 12" (in) long (1" min. embedment) spaced at 4'-0" maximum (unless noted otherwise on plan) and 12" (in) from corners and splices. Anchor bolts shall be located within the middle third of the sill plate.

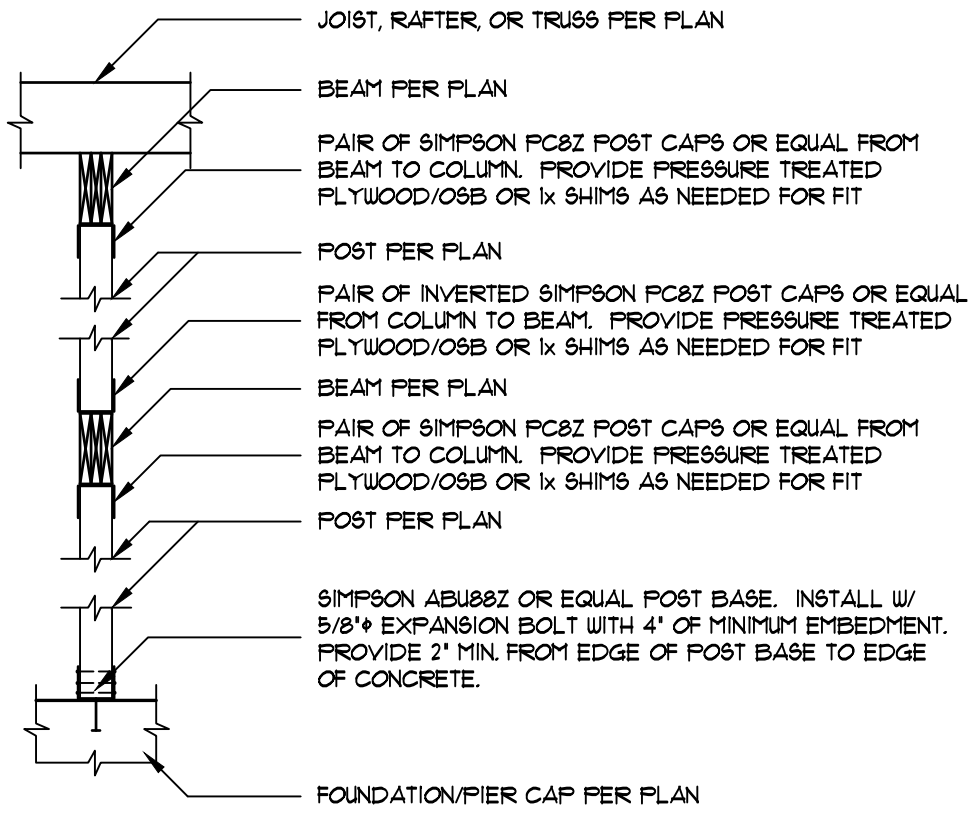
Fasteners and connectors: All fasteners and connectors in contact with pressure treated lumber shall be G95 hot-dip galvanized (HDG) type 304 stainless steel or type 316 stainless steel. Do not mix HDG and stainless hardware and fasteners.



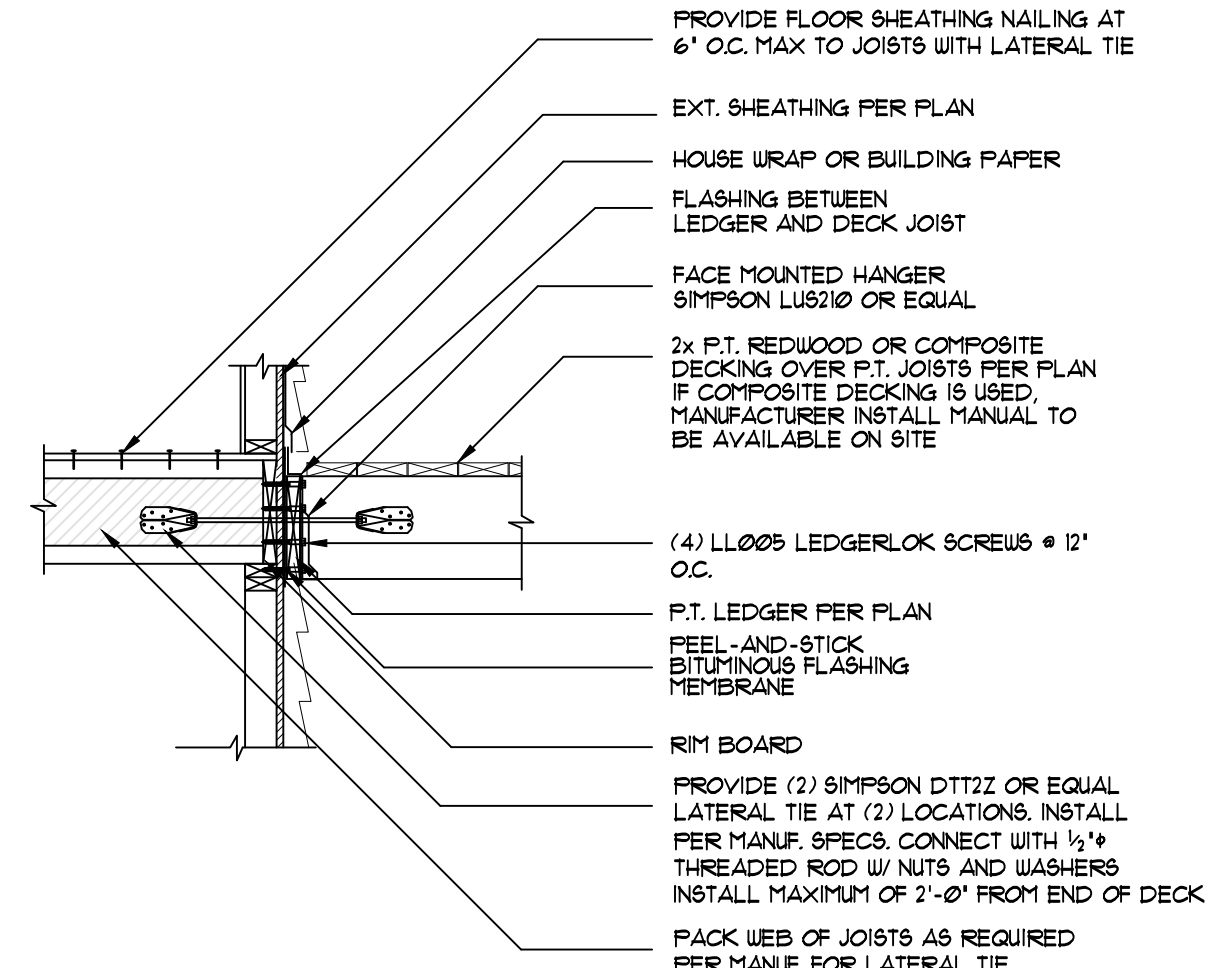
NOTE:
K = KING STUDS
T = TRIMMER STUDS
CA = COLUMN ABOVE
(1) K, (1) T TYP. UNO.

NOTE:
DO NOT SCALE THESE DRAWINGS. REFER TO ARCH PLANS FOR ALL DIMENSIONS

NOTE: FASTEN MULTI-PLY LSL/LVL'S TOGETHER WITH 3 ROWS OF 10d COMMON NAILS SPACED AT 12" ON CENTER. FOR 3-PLY BEAMS, THE FASTENERS SHOULD BE INSTALLED ON BOTH SIDES AND SHOULD BE STAGGERED 6" FROM THE FASTENERS ON THE OPPOSITE SIDE. PROVIDE MINIMUM 2" EDGE DISTANCE FOR FASTENERS. FOR 4-PLY BEAMS, ATTACH WITH 2 ROWS OF 1/2" THRU BOLTS @ 12" ON CENTER. PROVIDE MINIMUM 3" EDGE DISTANCE FOR FASTENERS.

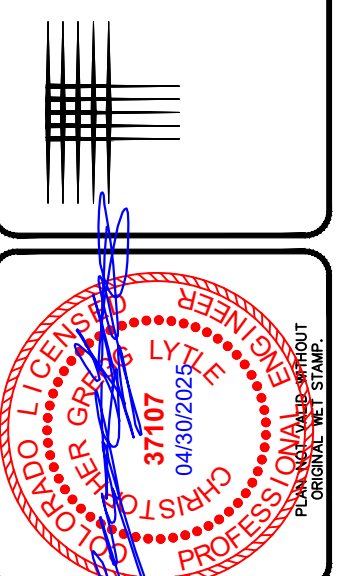


COVERED DECK POST CAP & BASE DETAIL



DECK LEDGER ATTACHMENT DETAIL

CTL THOMPSON
Founded in 1971
CTL THOMPSON, INC. P. 970-453-2047
500 Brian Avenue, Unit A
Silverthorne, Co 80498
www.ctlthompson.com



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PROJECT LOCATION:
Powers, Betz Residence
Lot 538, Golden Crown Subdivision
194 Golden Crown Lane
Blue River, Colorado

1ST FLOOR FRAMING SCHEMATIC
REVISION/ISSUE: 04-28-2025
DATE: 04-28-2025
SCALE: AS SHOWN
SHEET: S3

CLIENT:
Carolyn Powers & Morgan Betz
400 North Park Avenue, Unit 12B
Breckenridge, Co 80424
Contact: Bobby Craig, AIA
Arapahoe Architects, P.C.
970-453-5474

DATE: 04-28-2025
SHEET: S3
PROJECT: SU02639.000
SCALE: S5.2

1. Framing:

All framing shall be in accordance with the provisions of the 2018 International Residential Code, and the most recent versions of AISC Allowable Stress Design thirteenth edition and the NDS for wood construction. All connections or members not shown are per code or the general contractor/owner. All manufactured wood products shall be installed per the manufacturer's specifications. Framing schematics shown do not constitute complete gravity or lateral force restraining systems. Refer to the code for additional requirements. The floor joist locations shown are for demonstration purposes. The actual joist locations may vary due to the location of utilities, block-outs, and other issues in the field. The contractor and/or sub-contractor are responsible for any framing members damaged by the installation of electrical lines, HVAC, plumbing lines, or any other items.

Loads: Roof: Snow Load = 100 psf
Floor: Live Load = 40 psf
Seismic: Category B
Deck: Live Load = 25 psf
Wind: Speed = 15 mph (Ultimate, 3 second gust), Exposure C

Materials: Wood - All dimensional lumber shall be Doug. Fir #2 or better unless noted on the plans. All dimensional redwood shall be Redwood #2 or better unless noted on the plans. All Laminated Strand Lumber (LSL) shall have an allowable flexural stress $F_b = 2325$ psi and Modulus of Elasticity of $E = 155 \times 10^6$ or better. All Laminated Veneer Lumber (LVL) shall have an allowable flexural stress $F_b = 2600$ psi and Modulus of Elasticity of $E = 2.0 \times 10^6$ or better. Alaskan Yellow Cedar Lumber shall have an allowable flexural stress $F_b = 2000$ psi and Modulus of Elasticity of $E = 1.5 \times 10^6$ or better. All laminated Parallel PSL shall have an allowable flexural stress $F_b = 1871$ psi and Modulus of Elasticity of $E = 1.46 \times 10^6$ or better.

Steel: Structural steel beams shall conform to ASTM A992 ($F_y = 50$ ksi). 3" (in) adjustable steel columns shall be schedule 40 or better and rated for a safe allowable load of not less than 28 kips for columns up to 9'-0" in height, and 25 kips for columns up to 10'-0" in height. 3/4" (in) adjustable steel columns shall be schedule 40 or better and rated for a safe allowable load of not less than 36 kips for columns up to 9'-0" in height and 34 kips for columns up to 10'-0" in height. All adjustable steel columns shall have 1" to 3" (in) of threads exposed.

Floors: Floor sheathing shall consist of 23/32" T & G glued and nailed w/ 8d nails @ 6" on-center edges, 12" on-center intermediate supports. Provide blocking at supports to transmit loads as necessary.

The floor joists shall be installed per the manufacturer specifications. Provide blocking at bearing locations per the manufacturer specifications.

Unless noted otherwise on the plan, hangers shall be the following or equivalent:
Single 1 1/2" TJ-210 Joist - Simpson IT52.06/1188 (Top Flange), Simpson IJ52.06/1188 (Face Mount)
Double 1 1/2" TJ-210 Joist - Simpson M1428/1188 (Top Flange), Simpson M1428/11 (Face Mount)
Single 1 1/2" LVL - Simpson HJ53.01/10 (Face Mount)
Double 1 1/2" LVL - Simpson HJ45.41/10 (Face Mount)
Triple 1 1/2" LVL/LVL - Simpson HJ45.50/10 (Face Mount)

Roof: Roof shall be 19/32" OSB with 8d @ 6" on-center edges, 12" on-center field, over engineered trusses by others. For truss attachment, connections, and bracing refer to the truss manufacturer's recommendations. At a minimum, attach trusses to wall below with SIMPSON H25T clips at each truss (2) SIMPSON H25T clips at girder trusses. Solid block between rafters at bearing walls. Unless noted otherwise on plan, attach rafters to wall below with SIMPSON H25T clips or equal.

Walls: At a minimum, all exterior bearing and shear walls shall be constructed with 2x6 hem-fir studs spaced at 16" (in) on center unless noted otherwise on the plans. All interior bearing and shear walls shall be constructed with 2x4 hem-fir studs spaced at 16" (in) on center unless noted otherwise on the plans.

All columns specified on the plan are the minimum number of trimmer studs required for the header or beam unless noted otherwise on the plan. Provide minimum of one (1) king stud on each side of header or beam perpendicular to walls to create beam pocket. See typical wall opening detail for other king stud requirements.

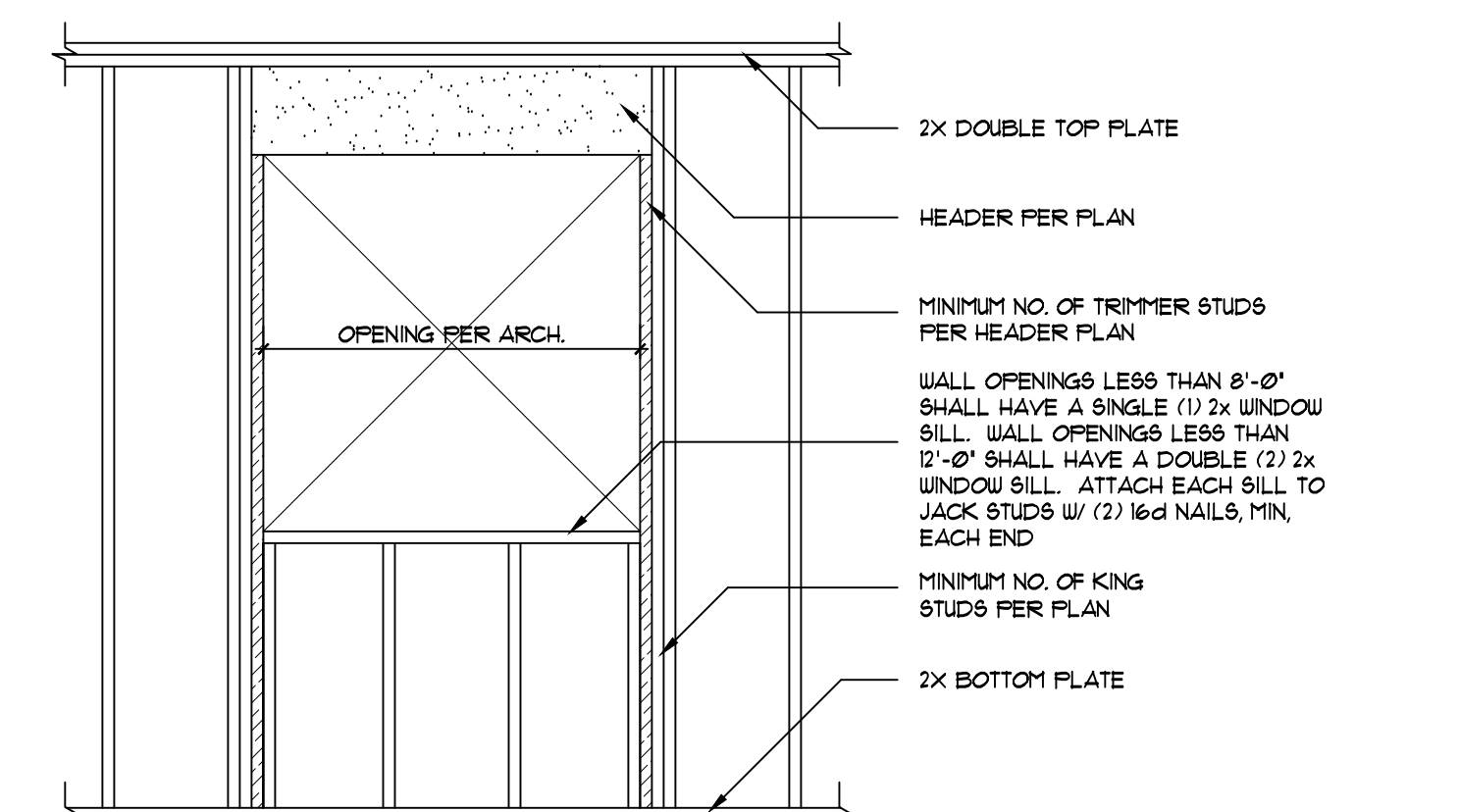
Built up columns are 3-2x wall thickness HP#2 or better unless noted otherwise on the plans.

Misc: All wood in contact with concrete shall be pressure treated or redwood.
Provide solid blocking to transmit all point loads continuous to the foundation as necessary.
For decks with dropped beams and a maximum joist span of 15 feet and a joist spacing of 16" on center, one of the following SIMPSON fasteners (or equivalent) should be used to attach the end of each joist to the dropped beam: H, H25A, or H25T.

It is the contractor/owner's responsibility to verify and coordinate all dimensions prior to construction. Block-outs and other required openings may or may not be shown. This plan is based on the architect's plans and the above referenced specifications. Any discrepancies or changes should be brought to the attention of CTL THOMPSON.

Anchor Bolts: Foundation anchor bolts shall conform to ASTM F1554 Gr36 and be 1/2" (in) diameter by 12" (in) long (1" min. embedment) spaced at 4'-0" maximum (unless noted otherwise on plan) and 12" (in) from corners and splices. Anchor bolts shall be located within the middle third of the sill plates.

Fasteners and connectors: All fasteners and connectors in contact with pressure treated lumber shall be G85 hot-dip galvanized (HDG) type 304 stainless steel or type 316 stainless steel. Do not mix HDG and stainless hardware and fasteners.



TYPICAL WALL OPENING FRAMING DETAIL

NOTE: FASTEN MULTI-PLY LSL/LVL'S TOGETHER WITH 3 ROWS OF 10d COMMON NAILS SPACED AT 12" ON CENTER. FOR 3-PLY BEAMS, THE FASTENERS SHOULD BE INSTALLED ON BOTH SIDES AND SHOULD BE STAGGERED 6" FROM THE FASTENERS ON THE OPPOSITE SIDE. PROVIDE MINIMUM 2" EDGE DISTANCE FOR FASTENERS. FOR 4-PLY BEAMS, ATTACH WITH 2 ROWS OF 1/2" THRU BOLTS @ 12" ON CENTER. PROVIDE MINIMUM 3" EDGE DISTANCE FOR FASTENERS.

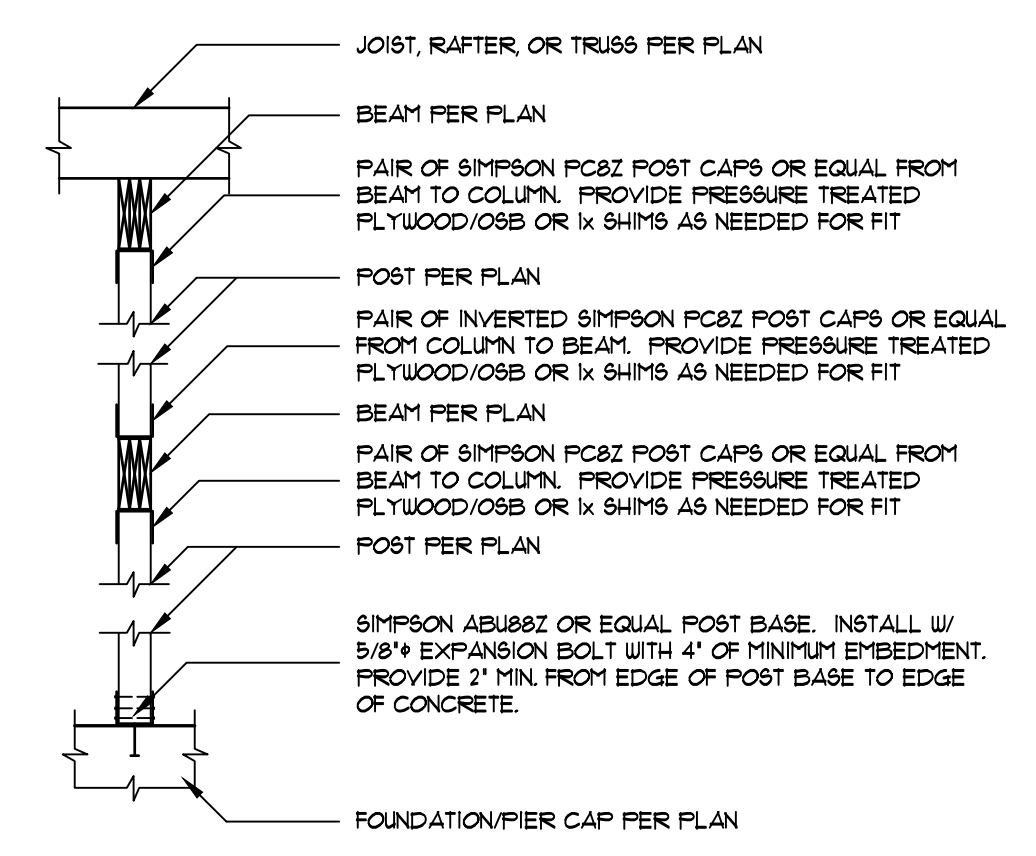
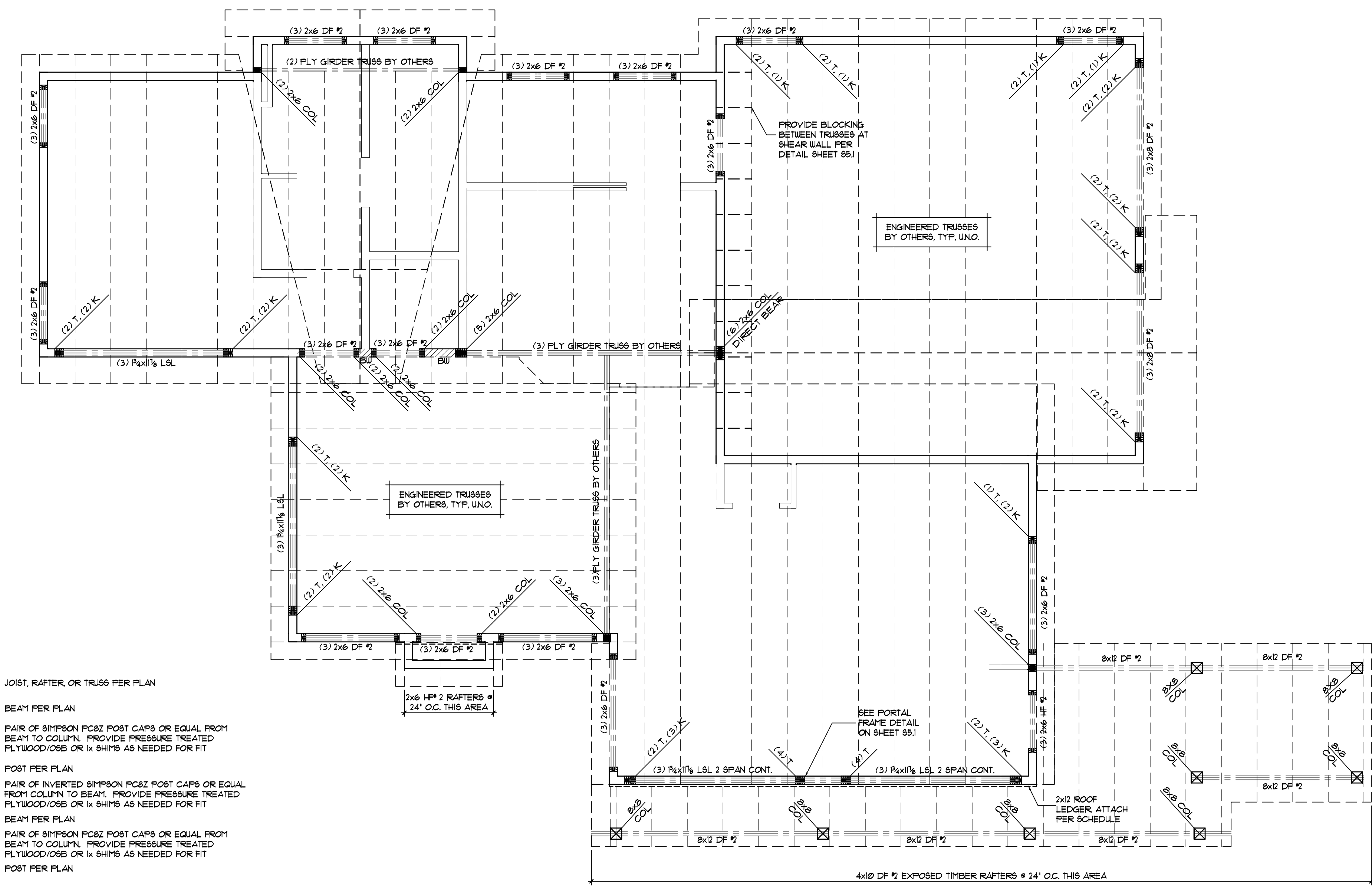
ROOF LEDGER ATTACHMENT SCHEDULE	
TRUSS SPAN	2-6 (ft)
FASTENERS	
16d COMMON NAILS	(3) ROWS @ 16" O.C.
1/4" x 3 1/2" SIMPSON SDS SCREWS OR EQUAL W/ WASHERS	(1) @ 16" (in) O.C. STAGGER T4B

NOTE: - BOTH LAG SCREWS AND NAILS ARE REQUIRED FOR ALL SPANS
- LAG SCREWS AND NAILS ARE TO PENETRATE RIM BOARD, BEAMS, WALL FRAMING, AND/OR 2x BLOCKING IN THE WALL.
- THIS SCHEDULE DOES NOT APPLY TO GIRDER TRUSSES. GIRDER TRUSSES SHOULD BE ATTACHED DIRECTLY TO BEAMS OR BEAR ON TOP OF WALLS, COLUMNS, AND/OR BEAMS.

NOTE:
K = KING STUDS
T = TRIMMER STUDS
CA = COLUMN ABOVE
(1) K, (1) T TYP. UNO.

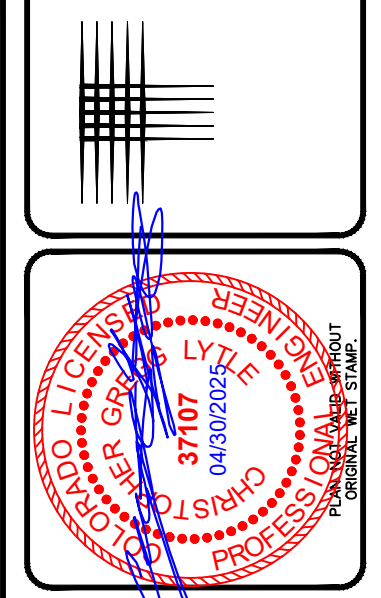
NOTE:
THIS PLAN IS BASED UPON AN ASSUMED TRUSS LAYOUT. NOTIFY CTL IF ACTUAL TRUSS LAYOUT IS DIFFERENT.

NOTE:
DO NOT SCALE THESE DRAWINGS. REFER TO ARCH PLANS FOR ALL DIMENSIONS



COVERED DECK POST CAP & BASE DETAIL

CTL | THOMPSON
Founded in 1971
CTL | THOMPSON, INC. P. 970-453-2047
500 Brian Avenue, Unit A summit@ctlthompson.com
Silverthorne, Co 80498 www.ctlthompson.com



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PROJECT LOCATION:
Powers, Betz Residence
Lot 538, Golden Crown Subdivision
194 Golden Crown Lane
Blue River, Colorado

ROOF FRAMING SCHEMATIC
REVISION/ISSUE: 04-28-2025
DATE: 04-28-2025
REVISION: FOUNDATION WALL ELEVATIONS FROM DECIMAL FEET TO FEET-INCHES

CLIENT:
Carolyn Powers & Morgan Betz
400 North Park Avenue, Unit 12B
Breckenridge, Co 80424
Contact: Bobby Craig, AIA
Arapahoe Architects, P.C.
970-453-8474

DATE	04-28-2025
BY	ALP
NO. OF SHEETS	54
TOTAL SHEETS	55.2

ROOF FRAMING SCHEMATIC

1. Framing:

All framing shall be in accordance with the provisions of the 2018 International Residential Code, and the most recent versions of AISC Allowable Stress Design thirteenth edition and the NDS for wood construction. All connections or members not shown are per code or the general contractor/owner. All manufactured wood products shall be installed per the manufacturer's specifications. Framing schematics shown do not constitute complete drawings or lateral force resisting systems. Refer to the code for additional requirements. The floor joist locations shown are for demonstration purposes. The actual joist locations may vary due to the location of utilities, block-outs, and other issues in the field. The contractor and/or sub-contractor are responsible for any framing members damaged by the installation of electrical lines, HVAC, plumbing lines, or any other items.

Loads: Roof: Snow Load = 100 psf
Floor: Live Load = 40 psf
Seismic: Category B
Deck: Live Load = 25 psf
Wind: Speed = 15 mph (Ultimate, 3 second gust), Exposure C

Materials: Wood - All dimensional lumber shall be Doug. Fir #2 or better unless noted on the plans. All dimensional redwood shall be Redwood #2 or better unless noted on the plans. All Laminated Strand Lumber (LSL) shall have an allowable flexural stress $F_b = 2325$ psi and Modulus of Elasticity of $E = 1.85 \times 10^6$ or better. All Laminated Veneer Lumber (LVL) shall have an allowable flexural stress $F_b = 2600$ psi and Modulus of Elasticity of $E = 2.0 \times 10^6$ or better. Alaskan Yellow Cedar Lumber shall have an allowable flexural stress $F_b = 2000$ psi and Modulus of Elasticity of $E = 1.5 \times 10^6$ or better. All wood-injected Parallel PSL shall have an allowable flexural stress $F_b = 1871$ psi and Modulus of Elasticity of $E = 1.46 \times 10^6$ or better.

Steel - Structural steel beams shall conform to ASTM A992 ($F_y = 50$ ksi). 3" (in) adjustable steel columns shall be schedule 40 or better and rated for a safe allowable load of not less than 28 kips for columns up to 9'-0" in height, and 25 kips for columns up to 10'-0" in height. 3 1/2" (in) adjustable steel columns shall be schedule 40 or better and rated for a safe allowable load of not less than 36 kips for columns up to 9'-0" in height and 34 kips for columns up to 10'-0" in height. All adjustable steel columns shall have 1" to 3" (in) of threads exposed.

Floors: Floor sheathing shall consist of 23/32" T & G glued and nailed w/ 8d nails @ 6" on-center edges, 12" on-center intermediate supports. Provide blocking at supports to transmit loads as necessary.

The floor joists shall be installed per the manufacturer specifications. Provide blocking at bearing locations per the manufacturer specifications.

Unless noted otherwise on the plan, hangers shall be the following or equivalent:
Single 1 1/2" TJ-210 Joist - Simpson IJ210/1188 (Top Flange), Simpson IJ210/1188 (Face Mount)
Double 1 1/2" TJ-210 Joist - Simpson IJ420/1188 (Top Flange), Simpson IJ420/1188 (Face Mount)
Single 1 1/2" LVL - Simpson IJ150/10 (Face Mount)
Double 1 1/2" LVL - Simpson IJ300/10 (Face Mount)
Triple 1 1/2" LVL - Simpson IJ450/10 (Face Mount)

Roof: Roof shall be 1932' OSB with 8d @ 6" on-center edges, 12" on-center field, over engineered trusses by others. For truss attachment, connections, and bracing refer to the truss manufacturer's recommendations. At a minimum, attach trusses to wall below with SIMPSON H25T clips at each truss 4 (2) SIMPSON H25T clips at girder trusses. Solid block between rafters at bearing walls. Unless noted otherwise on plan, attach rafters to wall below with SIMPSON H25T clips or equal.

Walls: At a minimum, all exterior bearing and shear walls shall be constructed with 2x6 hem-fir studs spaced at 16" (in) on center unless noted otherwise on the plans. All interior bearing and shear walls shall be constructed with 2x4 hem-fir studs spaced at 16" (in) on center unless noted otherwise on the plans.

All columns specified on the plan are the minimum number of trimmer studs required for the header or beam unless noted otherwise on the plan. Provide minimum of one (1) king stud on each side of header or beam perpendicular to walls to create beam pocket. See typical wall opening detail for other king stud requirements.

Built up columns are 3-2x wall thickness HP#2 or better unless noted otherwise on the plans.

Misc: All wood in contact with concrete shall be pressure treated or redwood.

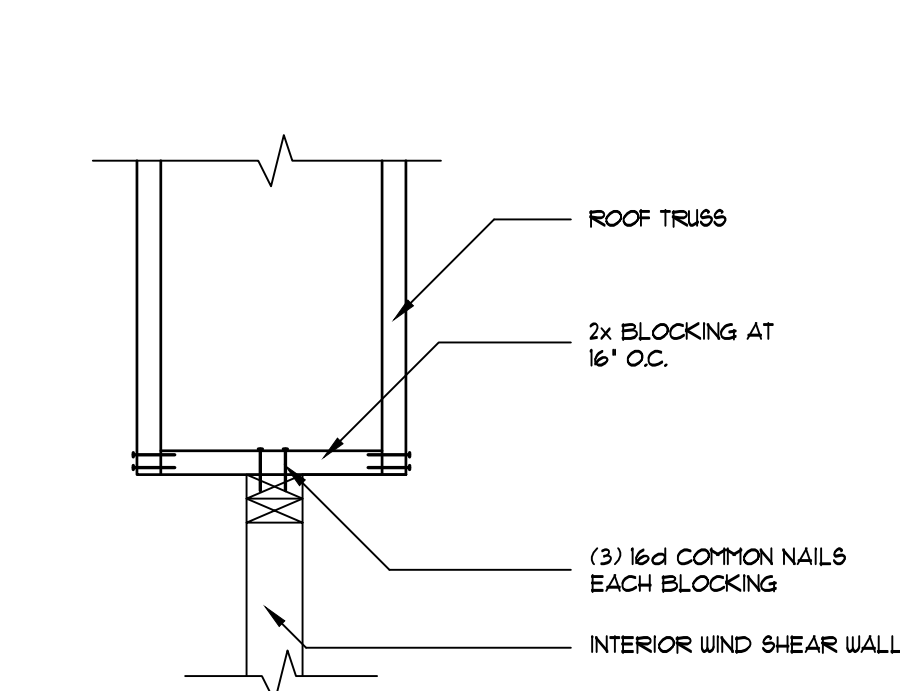
Provide solid blocking to transmit all point loads continuous to the foundation as necessary.

For decks with dropped beams and a maximum joist span of 15 feet and a joist spacing of 16" on center, one of the following SIMPSON fasteners (or equivalent) should be used to attach the end of each joist to the dropped beam: H, H25A, or H25T.

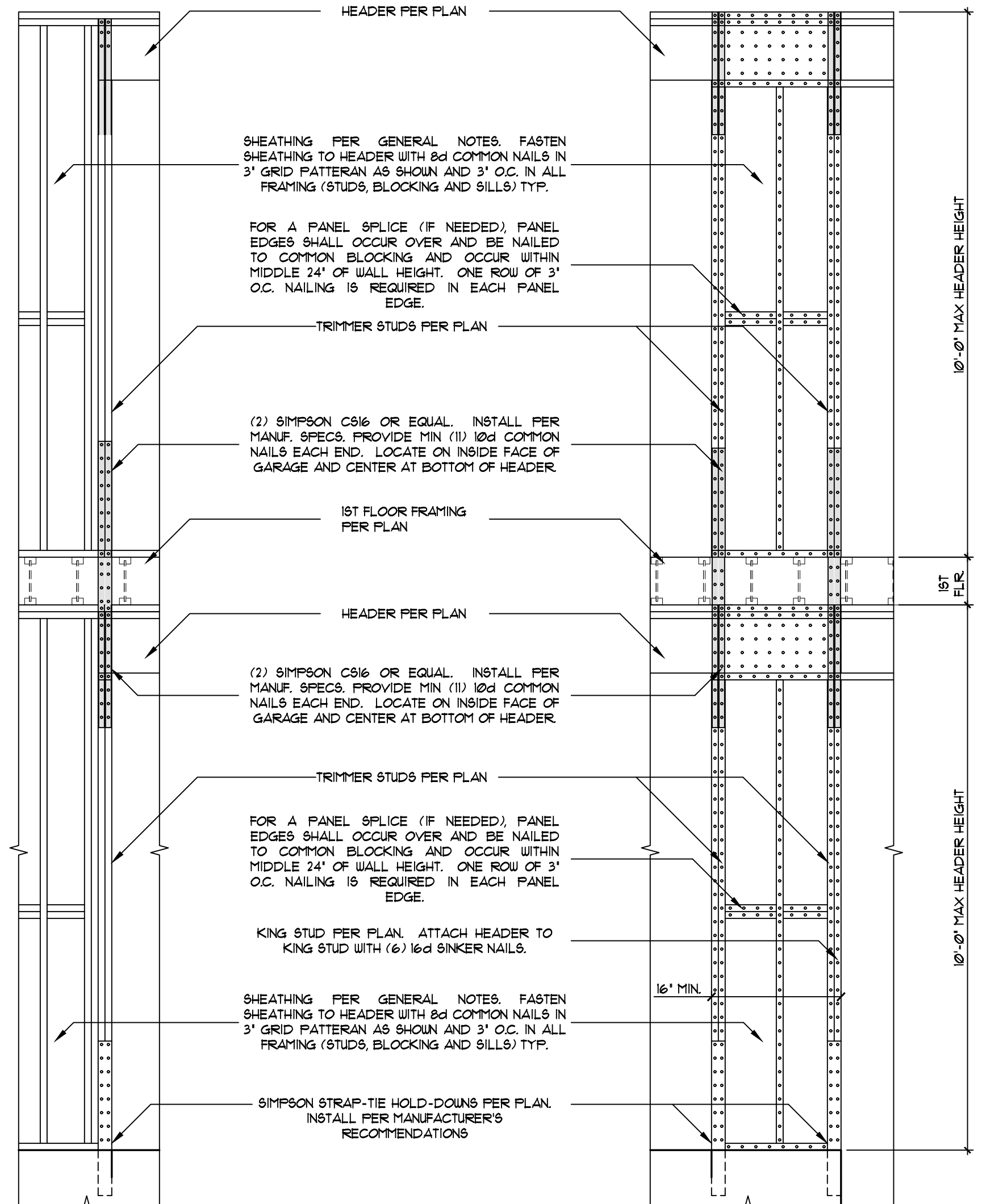
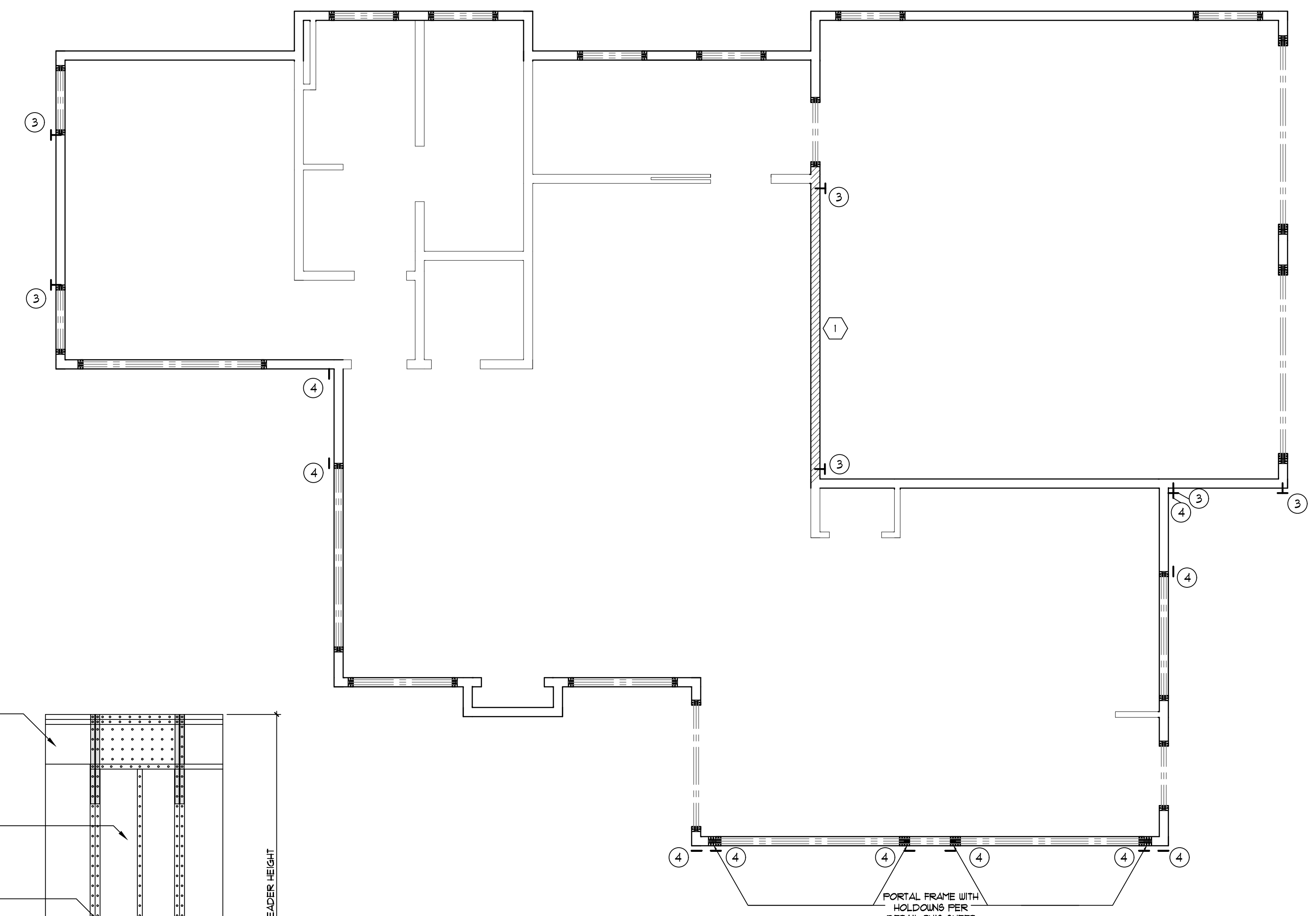
It is the contractor/owner's responsibility to verify and coordinate all dimensions prior to construction. Block-outs and other required openings may or may not be shown. This plans are based on the architect's plans and the above referenced specifications. Any discrepancies or changes should be brought to the attention of CTL | THOMPSON.

Anchor Bolts: Foundation anchor bolts shall conform to ASTM F1554 Gr36 and be 1/2" (in) diameter by 12" (in) long (1" min. embedment) spaced at 4'-0" maximum (unless noted otherwise on plan) and 12" (in) from corners and splices. Anchor bolts shall be located within the middle third of the sill plate.

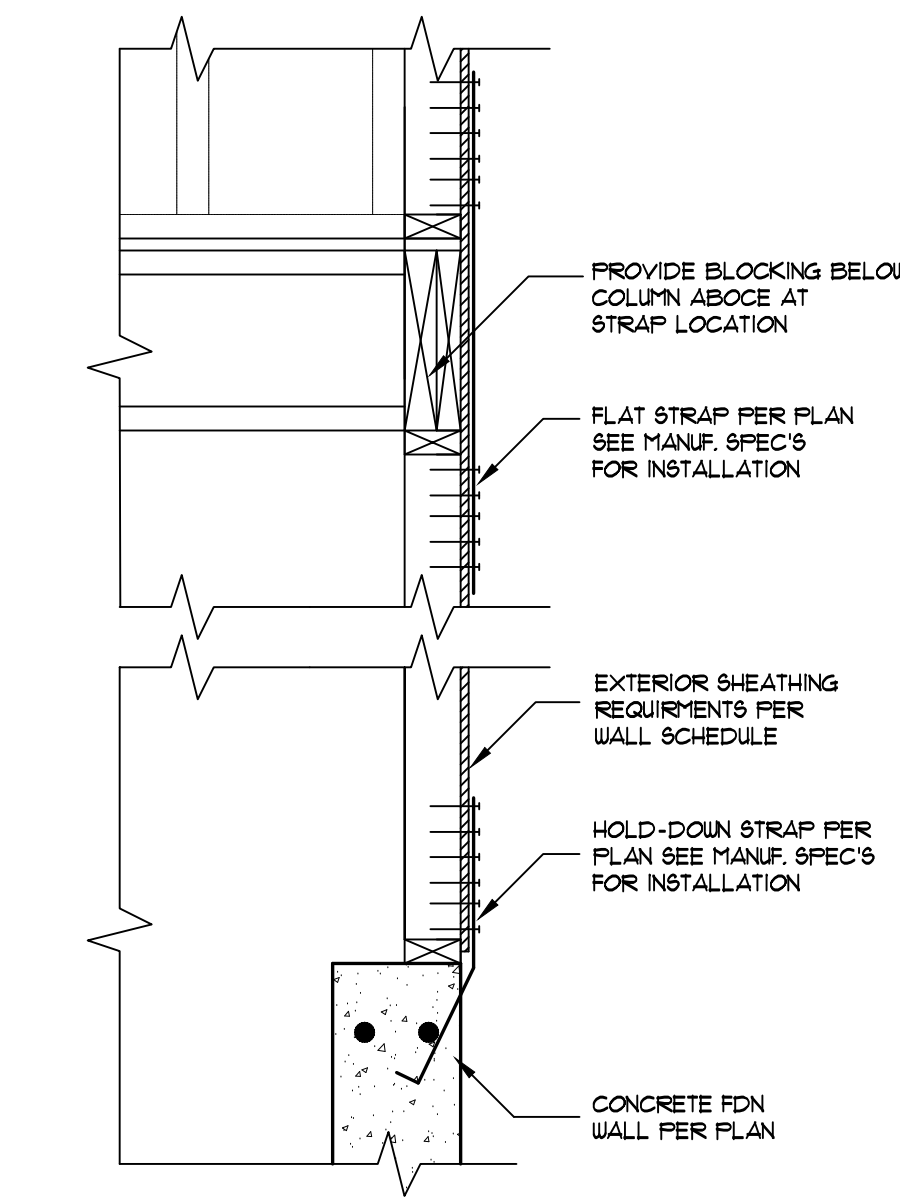
Fasteners and connectors: All fasteners and connectors in contact with pressure treated lumber shall be G85 hot-dip galvanized (HDG), type 304 stainless steel or type 316 stainless steel. Do not mix HDG and stainless hardware and fasteners.



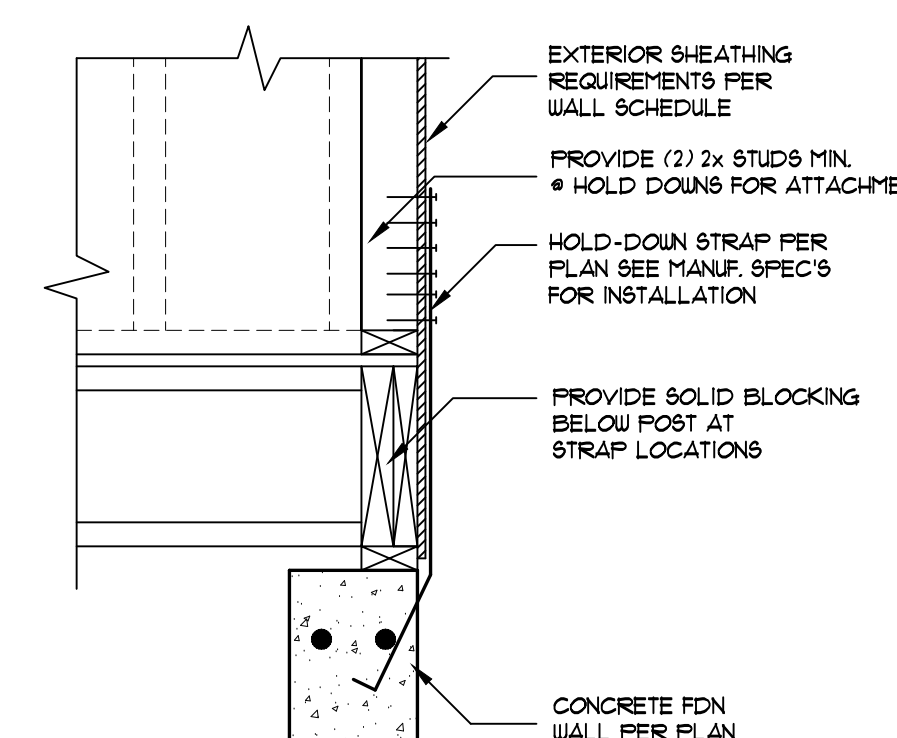
ATTACHMENT OF TOP OF INTERIOR WIND SHEAR WALL TO ROOF TRUSSES - WALL PARALLEL TO TRUSSES



PORTAL FRAME WITH HOLD-DOWNS PANEL CONSTRUCTION DETAIL



LOWER LEVEL HOLD-DOWN STRAP DETAIL



TYPICAL HOLD-DOWN STRAP DETAIL

WIND SHEAR WALL SCHEDULE

WALL DESIGNATION	RATED STRUC. SHEATHING TYPE	SITH. THICKNESS MINIMUM	HORIZONTAL EDGES BLOCKED	CONNECTOR TYPE (OR EQUAL)	EDGE / FIELD SPACING
ALL EXTERIOR UNLESS NOTED OTHERWISE	OSB OR PLYWOOD EXTERIOR ONLY	7/16"	YES (NOTE 2)	8d COMMON	6" / 12"
1	EXTERIOR / GARAGE SIDE OSB OR PLYWOOD	7/16"	YES (NOTE 2)	8d COMMON	3" / 12"

INDICATES SIMPSON HOLD-DOWN STRAP. ATTACH PER DETAILS. INDICATES SIMPSON FLAT STRAP. EXTEND TO BEAM OR WALL BELOW.

X INDICATES SIMPSON HOLD-DOWN WITH 98TB ANCHOR BOLT. ATTACH PER 98TB HOLD-DOWN DETAIL ON SHEET S2.2

NOTES:
1. ALL SHEATHING VERTICAL EDGES SHALL FALL UPON 2X4 OR 2X6 STUDS SPACED 16" O/C TYP (SEE PLAN).
2. HORIZONTAL JOINTS SHALL OCCUR OVER BLOCKING EQUAL IN SIZE TO THE STUDDING EXCEPT WHERE WAIVED BY THE INSTALLATION REQUIREMENTS FOR THE SPECIFIC SHEATHING MATERIAL SHOWN ABOVE.
3. EXTERIOR WALL PANEL SOLE PLATES SHALL BE NAILED TO THE FLOOR FRAMING AND TOP PLATES SHALL BE CONNECTED TO THE FRAMING ABOVE IN ACCORDANCE WITH TABLE R602(3) IN 2018 I.R.C.
4. WHERE JOISTS ARE PERPENDICULAR TO INTERIOR BRACED WALL LINES ABOVE, BLOCKING SHALL BE PROVIDED UNDER AND IN-LINE WITH THE BRACED WALL PANELS.
5. WHERE JOISTS ARE PARALLEL TO THE INTERIOR BRACED WALL LINES ABOVE DOUBLE JOISTS SHALL BE INSTALLED UNDER AND IN-LINE WITH THE BRACED WALL LINE ABOVE.
6. ATTACH BOTTOM PLATE OF INTERIOR WIND SHEAR WALLS TO BLOCKING/BEAMS WITH (3) 16d COMMON NAILS AT 16" (in) O.C. (OR (1) 16d COMMON NAIL AT 5" (in) O.C.)
7. WIND SHEAR WALLS DESIGNED USING CODE PRESCRIPTIVE CONTINUOUS SHEATHING (CS), WOOD STRUCTURAL PANEL (WSP), GYPSUM BOARD (GB) METHODS, AND/OR ACCEPTED ENGINEERING PRACTICE (ED)

HOLD-DOWN (HD) SCHEDULE

HD #	MANUF. / MODEL	NOTES
1	SIMPSON STD10	HD'S AS SHOWN ARE IN APPROXIMATE LOCATIONS. FIELD LOCATE HD'S AT CORNERS, EDGE OF OPENINGS ABOVE, OR ENDS OF REQUIRED SHEAR WALLS (SEE ARCH PLANS FOR DIMENSIONS)
2	SIMPSON STD10RJ	
3	SIMPSON STD14RJ	LOCATE HD'S SHOWN AT CORNERS OR T.O.U. STEPS IN FOUNDATION 1/2" (in) FROM CORNERS OR TOP OF WALL STEPS
4	(2) SIMPSON C616	INSTALL ALL HOLD-DOWNS PER MANUF. SPEC'S.
5	(3) SIMPSON C616	C616'S TO HAVE MIN. END LENGTH OF 12" AND (22) 10d NAILS TOTAL (24" MIN TOTAL LENGTH, 11 NAILS MIN EACH CONNECTED MEMBER)
6		
7		
8		
9		

SOME STRAPS SHOWN ON THIS SCHEDULE MAY NOT BE USED IN THE DESIGN.

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500 Brian Avenue, Unit A
Silverthorne, Co 80498
www.ctlthompson.com

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REGISTERED PROFESSIONAL ENGINEER
No. 10000
EXPIRES 12/31/2025
STATE OF COLORADO
CORPORATE CTL | THOMPSON, INC.
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PROJECT LOCATION:
Powers, Betz Residence
Lot 538, Golden Crown Subdivision
194 Golden Crown Lane
Blue River, Colorado

WIND SHEAR WALL SCHEMATIC
REVISION/ISSUE
DATE 04-28-2025
REVISED FOUNDATION WALL ELEVATIONS FROM DECIMAL FEET TO FEET-INCHES

CLIENT:
Carolyn Powers & Morgan Betz
400 North Park Avenue, Unit 12B
Breckenridge, Co 80424
Contact: Bobby Craig, AIA
Arapahoe Architects, P.C.
970-453-8474

DATE/ISSUE: ALP / CCL SHEET: S5.1
DATE/ISSUE: ALP SHEET: S5.2
SU02639.000
04-28-2025
N.T.S.

UPPER LEVEL WIND SHEAR WALL SCHEMATICS

1. Framing:

All framing shall be in accordance with the provisions of the 2018 International Residential Code, and the most recent versions of AISC Allowable Stress Design thirteenth edition and the NDS for wood construction. All connections or members not shown are per code or the general contractor/owner. All manufactured wood products shall be installed per the manufacturers specifications. Framing schematic shown do not constitute complete ability or lateral force retaining systems. Refer to the code for additional requirements. The floor joist locations shown are for demonstration purposes. The actual joist locations may vary due to the location of utilities, block-outs, and other issues in the field. The contractor and/or sub-contractor are responsible for any framing members damaged by the installation of electrical lines, HVAC, plumbing lines, or any other items.

Loads: Roof: Snow Load = 120 psf
Floor: Live Load = 40 psf
Seismic: Category B
Deck: Live Load = 125 psf
Wind: Speed = 115 mph (Ultimate, 3 second gust), Exposure C

Materials: Wood - All dimensional lumber shall be Doug. Fir #2 or better unless noted on the plans. All dimensional redwood shall be Redwood #2 or better unless noted on the plans. All Laminated Strand Lumber (LSL) shall have an allowable flexural stress $F_b = 2325$ psi and Modulus of Elasticity of $E = 155 \times 10^6$ or better. All Laminated Veneer Lumber (LVL) shall have an allowable flexural stress $F_b = 2600$ psi and Modulus of Elasticity of $E = 2.0 \times 10^6$ or better. Alaskan Yellow Cedar Lumber shall have an allowable flexural stress $F_b = 2000$ psi and Modulus of Elasticity of $E = 15 \times 10^6$ or better. All laminated Parallel PSL shall have an allowable flexural stress $F_b = 1871$ psi and Modulus of Elasticity of $E = 1.46 \times 10^6$ or better.

Steel - Structural steel beams shall conform to ASTM A992 ($F_y = 50$ ksi). 3" (in) adjustable steel columns shall be schedule 40 or better and rated for a safe allowable load of not less than 28 kips for columns up to 9'-0" in height, and 25 kips for columns up to 10'-0" in height. 3 1/2" (in) adjustable steel columns shall be schedule 40 or better and rated for a safe allowable load of not less than 36 kips for columns up to 9'-0" in height and 34 kips for columns up to 10'-0" in height. All adjustable steel columns shall have 1" to 3" (in) of travel exposed.

Floors: Floor sheathing shall consist of 23/32" T & G glued and nailed w/ 8d nails @ 6" on-center edges, 12" on-center intermediate supports. Provide blocking at supports to transmit loads as necessary.

The floor joists shall be installed per the manufacturer specifications. Provide blocking at bearing locations per the manufacturer specifications.

Unless noted otherwise on the plan, hangers shall be the following or equivalent:
Single 1 1/2" TJI-210 Joist - Simpson IT52.06/1188 (Top Flange), Simpson IUS2.06/1188 (Face Mount)
Double 1 1/2" TJI-210 Joist - Simpson M14.28/1188 (Top Flange), Simpson M14.28/11 (Face Mount)
Single 1 1/2" LVL - Simpson IUS3.01/10 (Face Mount)
Double 1 1/2" LVL - Simpson H4US4.0 (Face Mount)
Triple 1 1/2" LVL - Simpson H4US5.0/10 (Face Mount)

Roof: Roof shall be 1932' OSB with 8d @ 6" on-center edges, 12" on-center field, over engineered trusses by others. For truss attachment, connections, and bracing refer to the truss manufacturers recommendations. At a minimum, attach trusses to wall below with SIMPSON H25T clips at each truss 4 (2) SIMPSON H25T clips at girder trusses. Solid block between rafters at bearing walls. Unless noted otherwise on plan, attach rafters to wall below with SIMPSON H25T clips or equal.

Walls: At a minimum, all exterior bearing and shear walls shall be constructed with 2x6 hem-fir studs spaced at 16" (in) on center unless noted otherwise on the plans. All interior bearing and shear walls shall be constructed with 2x4 hem-fir studs spaced at 16" (in) on center unless noted otherwise on the plans.

All columns specified on the plan are the minimum number of trimmer studs required for the header or beam unless noted otherwise on the plan. Provide minimum of one (1) king stud on each side of header or beam perpendicular to walls to create beam pocket. See typical wall opening detail for other king stud requirements.

Built up columns are 3-2xwall thickness HP#2 or better unless noted otherwise on the plans.

Misc: All wood in contact with concrete shall be pressure treated or redwood.

Provide solid blocking to transmit all point loads continuous to the foundation as necessary.

For decks with dropped beams and a maximum joist span of 15 feet and a joist spacing of 16" on center, one of the following SIMPSON fasteners (or equivalent) should be used to attach the end of each joist to the dropped beam: H, H25A, or H25T.

It is the contractor/owners responsibility to verify and coordinate all dimensions prior to construction. Block-outs and other required openings may or may not be shown. This plans are based on the architects plans and the above referenced specifications. Any discrepancies or changes should be brought to the attention of CTL THOMPSON.

Anchor Bolts: Foundation anchor bolts shall conform to ASTM F1554 Gr36 and be 1/2" (in) diameter by 12" (in) long (1" min. embedment) spaced at 4'-0" maximum (unless noted otherwise on plan) and 12" (in) from corners and splices. Anchor bolts shall be located within the middle third of the sill plate.

Fasteners and connectors: All fasteners and connectors in contact with pressure treated lumber shall be G85 hot-dip galvanized (HDG) type 304 stainless steel or type 316 stainless steel. Do not mix HDG and stainless hardware and fasteners.

WIND SHEAR WALL SCHEDULE

WALL DESIGNATION	RATED STRUC. SHEATHING TYPE	SHTH. THICKNESS MINIMUM	HORIZONTAL EDGES BLOCKED	CONNECTOR TYPE (OR EQUAL)	EDGE / FIELD SPACING
ALL EXTERIOR UNLESS NOTED OTHERWISE	OSB or PLYWOOD EXTERIOR ONLY	7/16"	YES (NOTE 2)	8d COMMON	6" / 12"
①	EXTERIOR / GARAGE SIDE OSB OR PLYWOOD	7/16"	YES (NOTE 2)	8d COMMON	3" / 12"

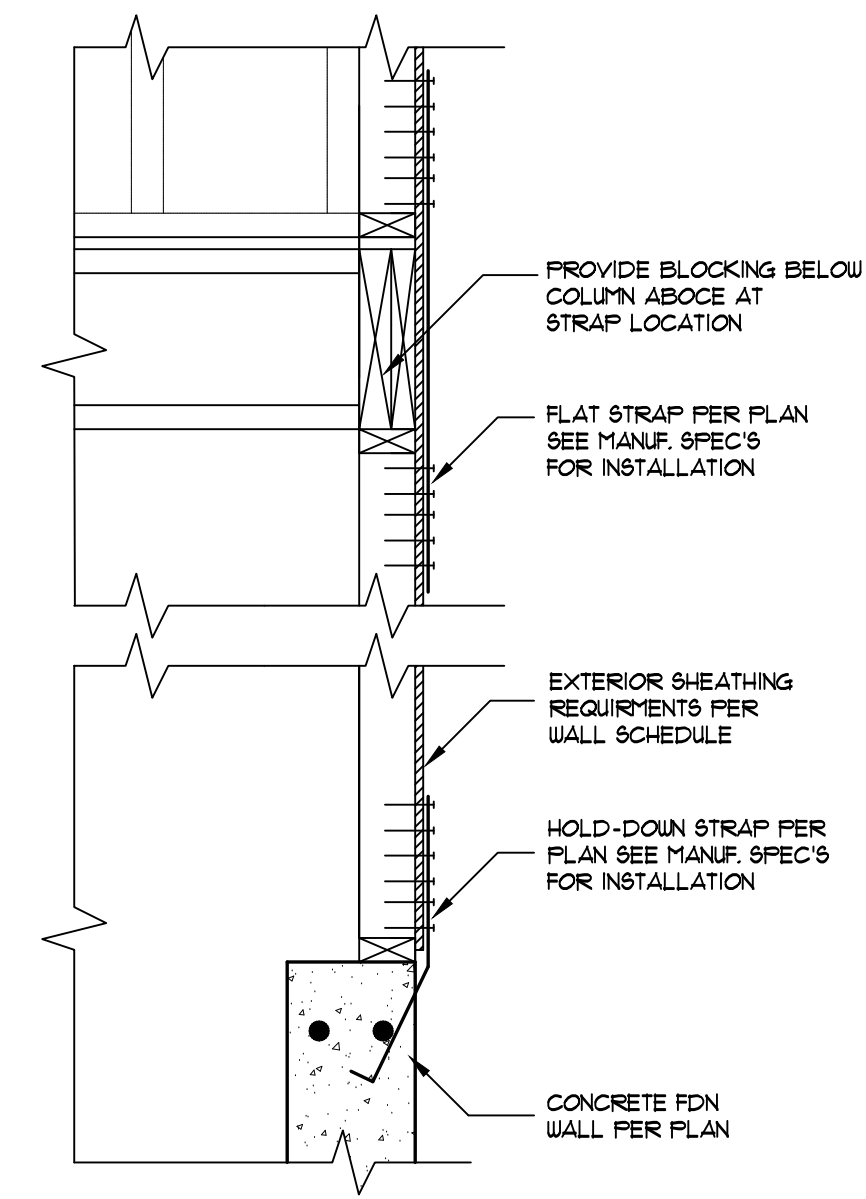
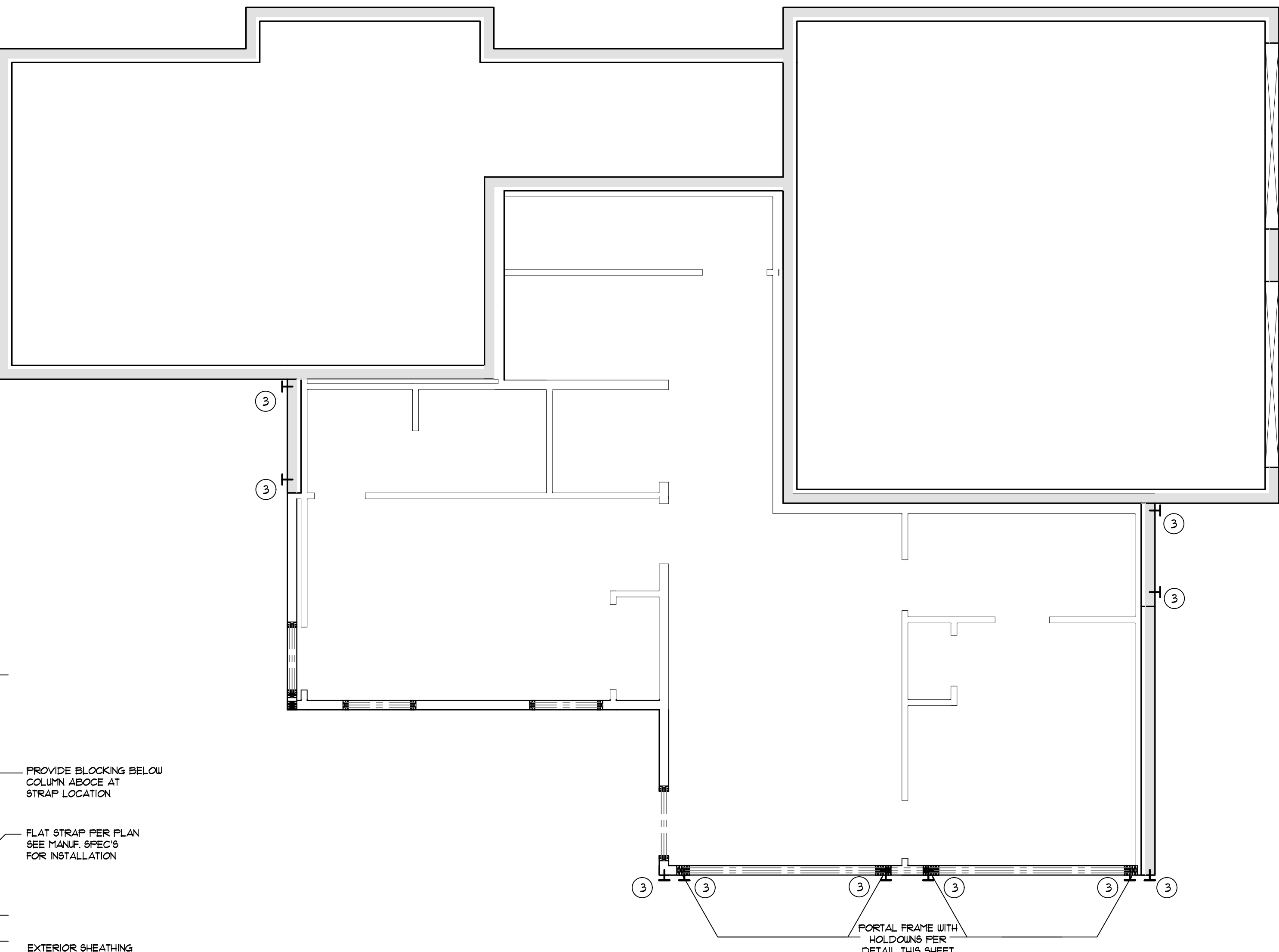
⊥ INDICATES SIMPSON HOLD-DOWN STRAP. ATTACH PER DETAILS. | INDICATES SIMPSON FLAT STRAP. EXTEND TO BEAM OR WALL BELOW.

✕ INDICATES SIMPSON HOLD-DOWN WITH S8TB ANCHOR BOLT. ATTACH PER S8TB HOLD-DOWN DETAIL ON SHEET S2.2

NOTES:
1. ALL SHEATHING VERTICAL EDGES SHALL FALL UPON 2X4 OR 2X6 STUDS SPACED 16" O/C TYP (SEE PLAN).
2. HORIZONTAL JOINTS SHALL OCCUR OVER BLOCKING EQUAL IN SIZE TO THE STUDDING EXCEPT WHERE WAIVED BY THE INSTALLATION REQUIREMENTS FOR THE SPECIFIC SHEATHING MATERIAL SHOWN ABOVE.
3. EXTERIOR WALL PANEL SOLE PLATES SHALL BE NAILED TO THE FLOOR FRAMING AND TOP PLATES SHALL BE CONNECTED TO THE FRAMING ABOVE IN ACCORDANCE WITH TABLE R602.3(1) IN 2018 I.R.C.
4. WHERE JOISTS ARE PERPENDICULAR TO INTERIOR BRACED WALL LINES ABOVE, BLOCKING SHALL BE PROVIDED UNDER AND IN-LINE WITH THE BRACED WALL PANELS.
5. WHERE JOISTS ARE PARALLEL TO THE INTERIOR BRACED WALL LINES ABOVE DOUBLE JOISTS SHALL BE INSTALLED UNDER AND IN-LINE WITH THE BRACED WALL LINE ABOVE.
6. ATTACH BOTTOM PLATE OF INTERIOR WIND SHEAR WALLS TO BLOCKING/BEAMS WITH (3) 16d COMMON NAILS AT 16" (in) O.C. (OR (1) 16d COMMON NAIL AT 5" (in) O.C.)
7. WIND SHEAR WALLS DESIGNED USING CODE PRESCRIPTIVE CONTINUOUS SHEATHING (CS), WOOD STRUCTURAL PANEL (WSP), GYPSUM BOARD (GB) METHODS, AND/OR ACCEPTED ENGINEERING PRACTICE (E.P.)

HOLD-DOWN (HD) SCHEDULE

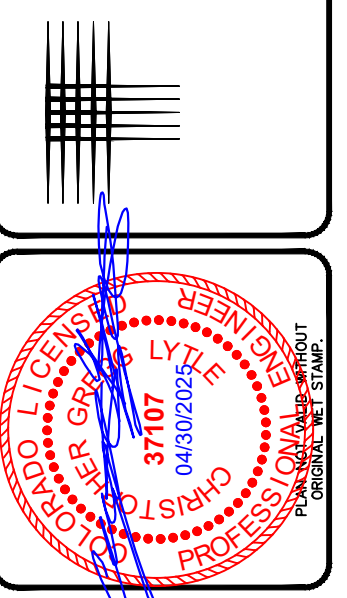
HD #	MANUF. / MODEL	NOTES
①	SIMPSON STHD10	HD'S AS SHOWN ARE IN APPROXIMATE LOCATIONS. FIELD LOCATE HD'S AT CORNERS, EDGE OF OPENINGS ABOVE, OR ENDS OF REQUIRED SHEAR WALLS (SEE ARCH PLANS FOR DIMENSIONS)
②	SIMPSON STHD10R	
③	SIMPSON STHD14R	LOCATE HD'S SHOWN AT CORNERS OR TOP STEPS IN FOUNDATION 1/2" (in) FROM CORNERS OR TOP OF WALL STEPS
④	(2) SIMPSON CS16	
⑤	(3) SIMPSON CS16	INSTALL ALL HOLD-DOWNS PER MANUF. SPECS.
⑥		CS16'S TO HAVE MIN. END LENGTH OF 12" AND (22) 16d NAILS TOTAL (24" MIN TOTAL LENGTH, 11 NAILS MIN EACH CONNECTED MEMBER)
⑦		
⑧		SOME STRAPS SHOWN ON THIS SCHEDULE MAY NOT BE USED IN THE DESIGN.



LOWER LEVEL HOLD-DOWN STRAP DETAIL

LOWER LEVEL WIND SHEAR SCHEMATICS

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500 Brian Avenue, Unit A
Silverthorne, Co 80498
www.ctlthompson.com



SEAL OF THE PROFESSIONAL ENGINEER
CHRISTOPHER T. THOMPSON, INC.
ALL RIGHTS RESERVED

PROJECT LOCATION:
Powers, Betz Residence
Lot 538, Golden Crown Subdivision
194 Golden Crown Lane
Blue River, Colorado

WIND SHEAR WALL SCHEMATICS
REVISION/ISSUE
DATE: 04-28-2025
REVISION: REVISE FOUNDATION WALL ELEVATIONS FROM DECIMAL FEET TO FEET-INCHES

CLIENT:
Carolyn Powers & Morgan Betz
400 North Park Avenue, Unit 12B
Breckenridge, Co 80424
Contact: Bobby Craig, AIA
Arapahoe Architects, P.C.
970-453-6474

APPROVED:	DATE:	SHEET:
ALP	04-28-2025	S5.2
PROJECT NO:	DATE:	TOTAL SHEETS:
SU02639.000	04-28-2025	S5.2
BY:		
N.T.S.		

CUT/FILL NOTE

ASSUMPTION: FILL ADJUSTMENT FACTOR OF 1.15 FOR COMPACTION.
 SITE EARTHWORK (UNADJUSTED): APPROX. 517 C.Y. (FILL)
 SITE EARTHWORK (ADJUSTED): APPROX. 623 C.Y. (FILL)

NOTE: IN INSTANCE OF EXCESS CUT, MATERIAL SHALL BE SPREAD OVER SITE AS LANDSCAPING MATERIAL PRIOR TO PLACEMENT OF EROSION CONTROL AND SEED MIX. IN INSTANCE REQUIRED FILL, MATERIAL SHALL BE OBTAINED FROM OTHER CONSTRUCTION PROJECTS WITHIN TOWN OF BLUE RIVER.

FIRE MITIGATION NOTE

OWNER AND CONTRACTOR SHALL FOLLOW FIRE MITIGATION MEASURES AND PROCEDURES DURING CONSTRUCTION AND FUTURE MAINTENANCE OF HOME AND PROPERTY. IT IS RECOMMENDED TO CLEAR A MINIMUM OF 15' FROM THE STRUCTURE. FOR FIRE MITIGATION MEASURES FOR THE TOWN OF BLUE RIVER, REFER TO THE WEBSITE "WILDFIRE RESTRICTIONS, DEFENSIBLE SPACE & WEBINARS" AT: TOWNOFBLUERIVER.COLORADO.GOV/WILDFIRE-RESTRICTIONS-DEFENSIBLE-SPACE-WEBINARS

SNOW STORAGE

DRIVEWAY AREA: 1393 SF
 REQUIRED SNOW STORAGE (25%): 348 SF
 SNOW STORAGE PROVIDED: 352 SF

NOTE: SNOW STORAGE PROVIDED ON EQUAL OR DOWNHILL TERRAIN FROM DRIVEWAY/PARKING

UTILITY CONNECTIONS

CONTRACTOR TO LOCATE AND CONNECT TO EXISTING ELECTRIC, COMMUNICATIONS, AND FIBER SERVICES AS APPLICABLE. CONTRACTOR TO COORDINATE CONNECTIONS WITH SERVICE PROVIDERS.

EROSION CONTROL & REVEGETATION

ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH A NATIVE GRASS SEED MIX. ALL CUT AND FILL SLOPES GREATER THAN OR EQUAL TO 4:1 SHALL BE INSTALLED WITH AN EROSION CONTROL BLANKET AFTER PLANTING OF SEED MIX.

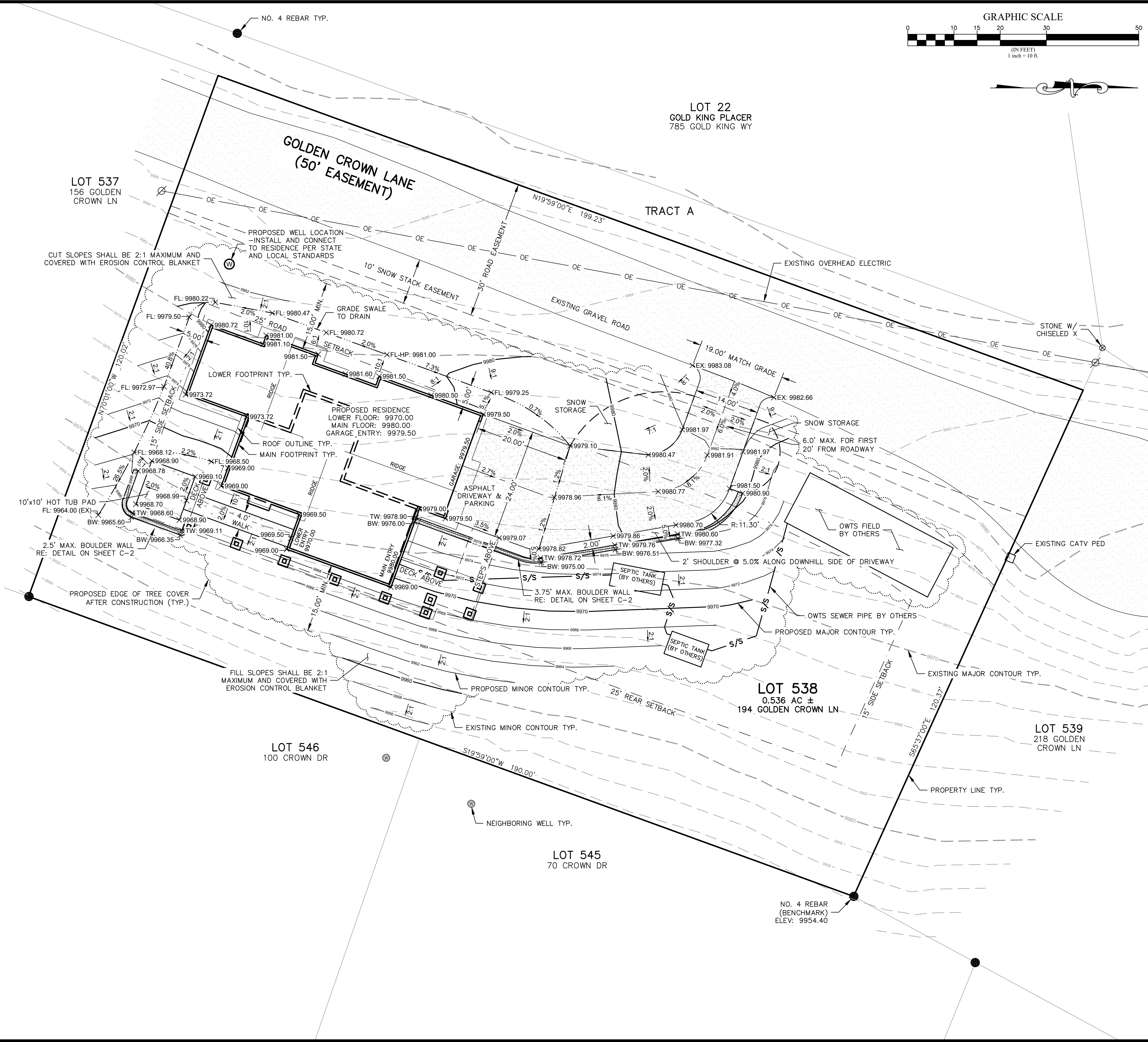
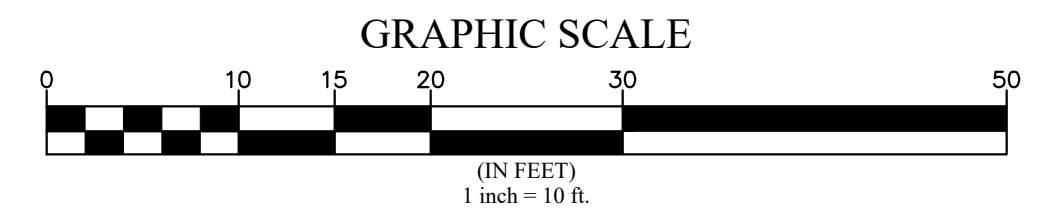
EROSION & SEDIMENT CONTROL NOTES

1. INSTALL AND MAINTAIN SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES AND STORMWATER DISCHARGE PERMIT OR EQUIVALENT.
2. PROVIDE CONTINUOUS INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL MEASURES TO ENSURE THAT SEDIMENT CONTROL EFFICIENCY IS OBTAINED UNTIL FINAL STABILIZATION OF SITE HAS TAKEN PLACE.
3. INSTALL SEDIMENT CONTROL MEASURES AT THE ONSET OF GRADING OPERATIONS SO THAT EFFECTIVE SEDIMENT CONTROL CAN BE ACHIEVED DURING THE ENTIRE GRADING OPERATION PERIOD.
4. STABILIZE ALL POINTS OF INGRESS AND EGRESS WITH CRUSHED STONE DURING CONSTRUCTION TO PREVENT TRACKING OF MUD ONTO PUBLIC STREETS.
5. APPROVAL SHALL BE REQUESTED UPON FINAL STABILIZATION OF ALL SITES BEFORE REMOVAL OF SEDIMENT CONTROLS.
6. THE CONTRACTOR SHALL REMOVE EROSION CONTROL AND SEDIMENT CONTROL FACILITIES AFTER FINAL STABILIZATION.
7. REMOVAL AND CLEANUP OF ANY SEDIMENT THAT LEAVES THE SITE IS THE RESPONSIBILITY OF THE CONTRACTOR.
8. CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ASSURE THAT SEDIMENT LADEN WATER DOES NOT LEAVE THE CONSTRUCTION SITE.
9. ALL SEDIMENT CONTROL AND STORM DRAINAGE FACILITIES SHALL BE PERIODICALLY INSPECTED AND MAINTAINED TO ASSURE THEY FUNCTION PROPERLY.
10. THOSE PORTIONS OF THE ROAD SUBGRADE THAT DO NOT RECEIVE GRAVEL SHALL BE SEEDED, FERTILIZED, MULCHED AND TACKED. THE SEED SHALL BE DRILLED OR BROADCAST AND RAKED INTO THE TOP 1/2" OF SOIL. PRIOR TO SEEDING FERTILIZER SHALL BE WORKED INTO THE TOP 4" OF SOIL AT THE RATE SPECIFIED.

DUST CONTROL NOTES

THE CONTRACTOR IS RESPONSIBLE TO CONTROL FUGITIVE DUST AND TO INCORPORATE THE FOLLOWING:

1. ALL UNPAVED ROADS AND OTHER DISTURBED AREAS ON SITE SHALL BE WATERED TO MINIMIZE FUGITIVE DUST.
2. VEHICLE SPEED ON ALL UNPAVED ROADS AND DISTURBED AREAS SHALL NOT EXCEED A MAXIMUM OF 10 MPH SPEED LIMIT; SIGNS SHALL BE POSTED.
3. HAUL ROADS SHALL BE TREATED WITH MAGNESIUM CHLORIDE IF WATER IS NOT CONTROLLING THE DUST.
4. ALL DISTURBED SOIL SHALL BE COMPACTED ON A DAILY BASIS TO WITHIN 90% OF MAXIMUM COMPACTION.
5. ALL DISTURBED SURFACE AREAS SHALL BE REVEGETATED AS SOON AS POSSIBLE ACCORDING TO THE LANDSCAPE PLAN.
6. MUD AND DIRT CARRYOUT ONTO PAVED SURFACE SHALL BE PREVENTED. ANY MUD AND DIRT CARRYOUT ONTO PAVED SURFACE SHALL BE CLEANED UP DAILY.
7. NO EARTH WORK ACTIVITIES SHALL BE PERFORMED WHEN WIND SPEED EXCEEDS 30 MPH.



MARCIN ENGINEERING LLC
 213 TABOR STREET
 BUENA VISTA, COLORADO
 719-395-3332

GRADING & DRAINAGE PLAN
 POWERS-BETZ RESIDENCE
 LOT 538, CROWN SUBDIVISION
 194 GOLDEN CROWN LANE
 TOWN OF BLUE RIVER, COLORADO

NO.	DATE	REVISIONS	BY



JOB: 25013
 DATE: 04/07/2025
 SCALE: 1" = 10'

SHEET
 C-1

DRAWING: C:\Users\Tom\OneDrive\Documents\Projects\25013 - Powers-Betz - Residences\Drawings\25013-Grading.dwg

WESTERN EXCELSIOR
Installation Instructions
Logs and Wattles

Step 1 - Site Preparation
 Prepare site to design profile and grade. Remove debris, rocks, clods, etc... Ground surface should be smooth prior to installation to ensure log remains in contact with slope.

Step 2 - Staple Selection
 At a minimum, 1" long by 1/4", stakes are to be used to secure the log to the ground surface. Installation in rocky, sandy or other loose soil may require longer stakes.

Slope Installation
 Place RECP along slope to provide upstream apron for log. Secure RECP according to standard slope installation instructions including upstream anchor trench. Secure log to blanket, ensuring log remains in intimate contact with the RECP over the length of the installation. A minimum of one foot upstream apron and two foot downstream apron are required for installation. Subsequent, downslope rows of logs should be spaced appropriately for site conditions to minimize acceleration of flow. Further, log seams are to be offset to ensure continuous filtration. Figure A presents a schematic of a slope installation in profile view.

Channel Installation
 Place RECP along channel to provide upstream and downstream apron for log identically to slope installation. Secure log to blanket, ensuring log remains in intimate contact with the RECP over the length of the installation. A minimum of one foot upstream apron and two foot downstream apron are required for installation. Subsequent, downslope rows of logs should be spaced appropriately for site conditions to minimize acceleration of flow. Further, log seams are to be offset to ensure continuous filtration. Figure A / Figure C presents a schematic of a channel installation.

Drain Filter Installation
 Surround drain inlet to be protected with log, ensuring seams are overlapping to minimize flow circumventing log. Secure logs to ground surface ensuring the log remains in intimate contact with the ground surface over the entire installation. Provide RECP apron secured to the ground surface between drain and log.

Document # WE_EXCEL_LOG_IL. Please contact Western Excelsior technical support division at 800-967-4009 with specific questions or for further information.

Slope/Channel Installation

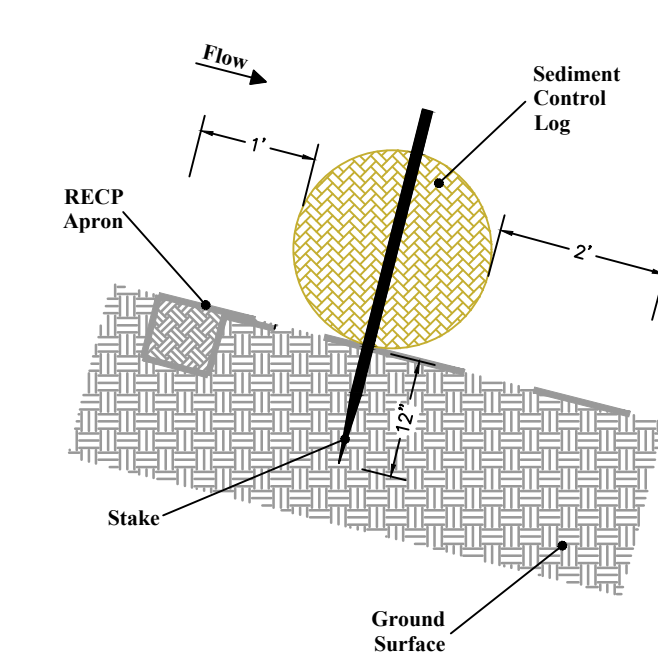
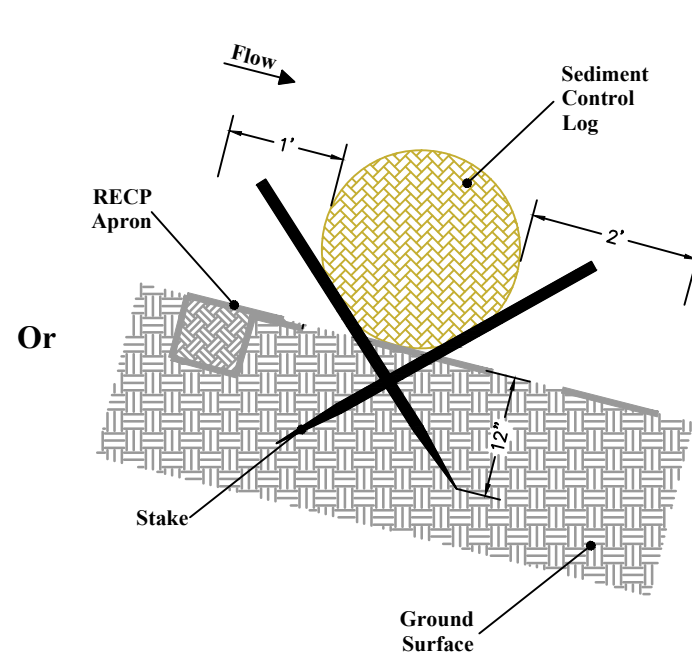


Figure A - Cross-Section View



Flat Ground (Perimeter Guard) Installation

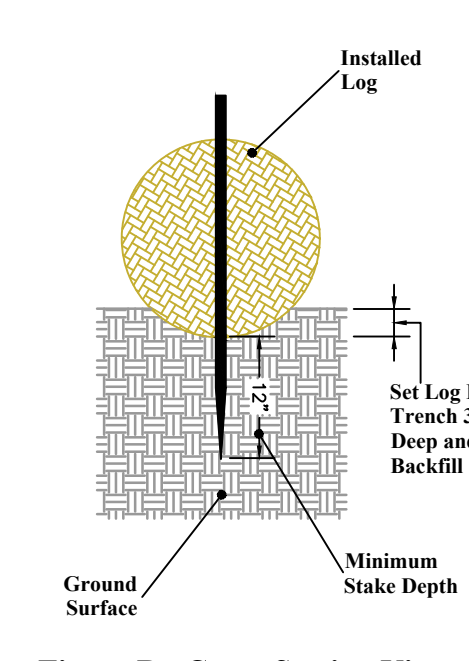


Figure B - Cross-Section View

Channel Installation

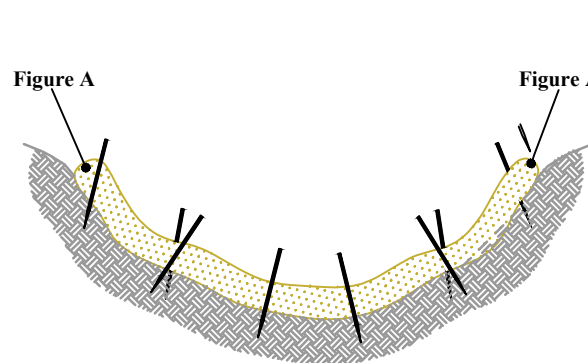


Figure C - Cross-Section View

Drain Filter

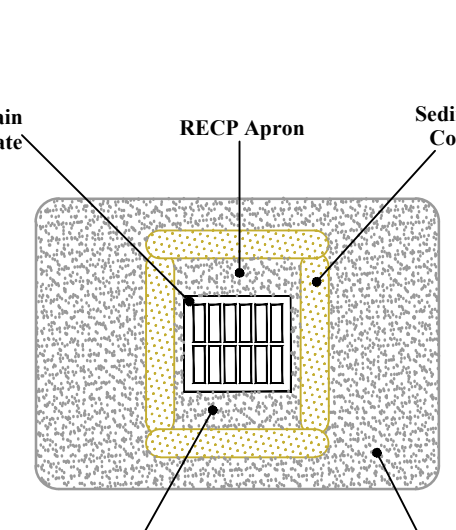


Figure D - Plan View

Curbside Installation

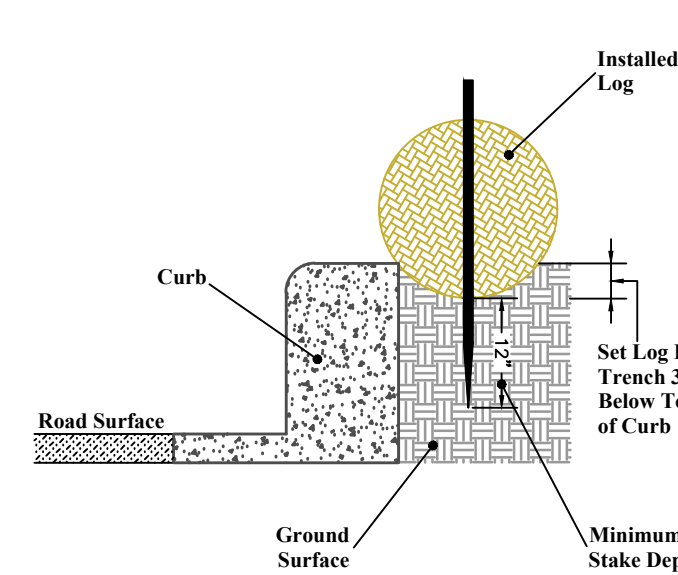
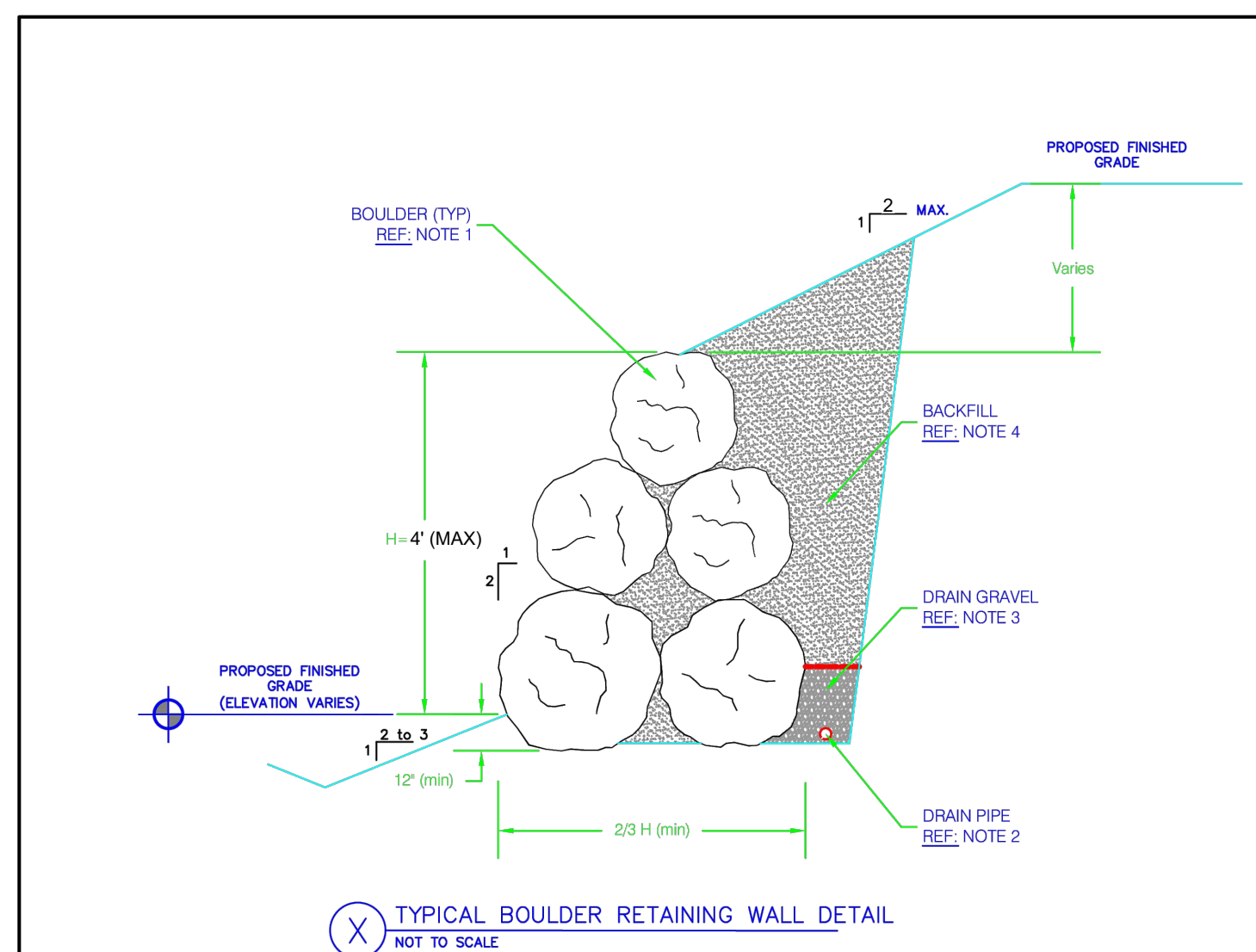


Figure E - Cross-Section View

NTS

A STRAW WATTLE - EROSION LOG



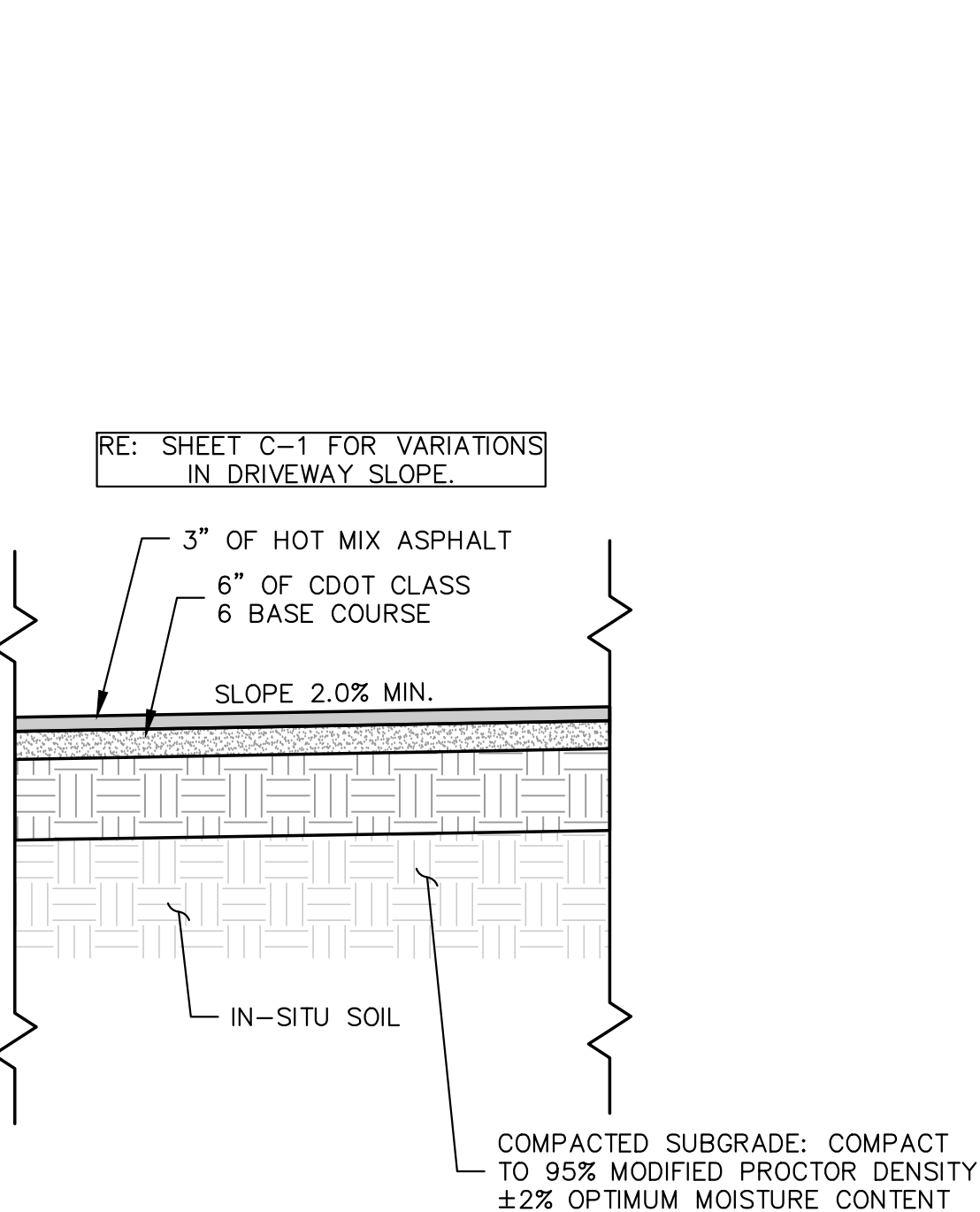
- NOTES:
- Boulders with minimum size of 2' to 3'. Embed first course a minimum of 12" below adjacent final graded ground surface. Arrange in a manner to maximum interlocking action.
 - 4" diameter perforated pipe sloped to a suitable gravity outlet.
 - 3/4" or 1 1/4" screened rock. Minimum depth of 1 1/2'. Cover top side with filter fabric such as Mirafi 140N.
 - On-site granular soils, or suitable granular import placed in lifts and compacted to at least 95% of maximum standard Proctor density at a moisture content within 2% of optimum.

NTS

C BOULDER RETAINING WALL

NTS

B SILT FENCE



NTS

D DRIVEWAY SECTION

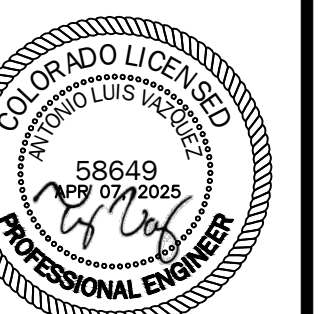
GENERAL NOTES

- THE CONTRACTOR SHALL CONFORM TO ALL TOWN OF BLUE RIVER RULES, REGULATIONS AND STIPULATIONS WHILE ACCESSING THROUGH OR WORKING ON SITE.
- THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE TOWN OF BLUE RIVER AND THE DESIGN TEAM AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION. PLANS FOR CONSTRUCTION WILL BE DISTRIBUTED AT THIS MEETING. NO CONSTRUCTION WILL BE PERMITTED PRIOR TO THE PRE-CONSTRUCTION MEETING.
- THE CONTRACTOR SHALL FOLLOW ALL RECOMMENDATIONS OUTLINED IN GEOTECHNICAL REPORT PREPARED FOR THE PROPERTY BY OTHERS.
- THE CONTRACTOR IS WARNED THAT CONFLICTS WITH EXISTING UTILITIES MAY EXIST. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT ALL APPROPRIATE UTILITY COMPANIES FOR LINE LOCATIONS, AND CONTRACTOR SHALL LOCATE ALL UTILITIES (INCLUDING DEPTH). NEITHER MARCIN ENGINEERING NOR THE OWNER ASSUME ANY RESPONSIBILITY FOR UTILITY LOCATIONS. ANY CONFLICTS WITH THE PROPOSED CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF MARCIN ENGINEERING AND THE OWNER SO THAT MINOR LINE OR GRADE CHANGES CAN BE MADE TO ELIMINATE ANY CONFLICTS WITH THESE EXISTING UTILITIES. ALL EXISTING UTILITIES SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. UTILITIES THAT ARE DAMAGED BY THE CONTRACTOR THAT WERE PROPERLY MARKED/LOCATED SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR ENGINEER.
- CONTRACTOR SHALL OBTAIN, AT THEIR OWN EXPENSE, ALL PERMITS AND INSPECTIONS, WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE NECESSARY PERMITS FOR PERFORMING WORK WITHIN THE TOWN OF BLUE RIVER.
- THE CONSTRUCTION OF ALL ROADS, SIDEWALKS, CURBS, EARTHWORK AND OTHER INFRASTRUCTURE DEVELOPMENT NOT SPECIFICALLY SPECIFIED BY SEPARATE UTILITY COMPANIES, SHALL BE CONSTRUCTED TO THE TOWN OF BLUE RIVER MUNICIPAL CODE AND COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2011 EDITION AND LATEST REVISIONS, CDOT TRAFFIC STANDARD PROJECT PLANS, 2006 EDITION AND LATEST REVISIONS AND ANY SUPPLEMENTAL SPECIFICATIONS PROVIDED WITH THE CONTRACT. THE CONTRACTOR SHALL OBTAIN COPIES OF THESE SPECIFICATIONS AND PLANS. THE CONTRACTOR SHALL HAVE ONE COPY OF THE PLANS AND ONE COPY OF THE SPECIFICATIONS AT THE JOB SITE AT ALL TIMES.
- ALL SITE DEVELOPMENT WILL BE CONSTRUCTED TO THE ABOVE MENTIONED COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2011 EDITION AND LATEST REVISIONS, AND TOWN OF BLUE RIVER STANDARDS AS MAY BE APPLICABLE. WHEN STANDARDS CONFLICT, THE STANDARD JUDGED MOST RESTRICTIVE BY THE ENGINEER SHALL PREVAIL. THE CONTRACTOR SHALL OBTAIN COPIES OF THE TOWN OF BLUE RIVER MUNICIPAL CODE IN ITS MOST CURRENT EDITION AND HAVE THAT COPY ON THE SITE AT ALL TIMES.
- CONTRACTOR SHALL NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES. ANY MISSING DIMENSIONS OR DISCREPANCIES IN THE PLANS, FIELD STAKING, OR PHYSICAL FEATURES SHALL BE BROUGHT TO THE ATTENTION OF MARCIN ENGINEERING AND THE OWNER. IF THE CONTRACTOR PROCEEDS WITH THE WORK WITHOUT NOTIFYING MARCIN ENGINEERING AND THE OWNER, THEY DO SO AT THEIR OWN RISK.
- OBSERVATIONS OF THE WORK IN PROGRESS AND ON-SITE VISITS ARE NOT TO BE CONSTRUED AS A GUARANTEE OR WARRANTY BY MARCIN ENGINEERING OF THE CONTRACTOR'S CONTRACTUAL RESPONSIBILITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF STOCKPIILING OF MATERIALS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER, THE TOWN OF BLUE RIVER, AND THE MATERIAL SUPPLIER.
- CONSTRUCTION STAKING IS BY OWNER.
- BENCHMARKS: CONTACT MARCIN ENGINEERING FOR BENCHMARKS.
- SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER MARCIN ENGINEERING OR THE TOWN OF BLUE RIVER IS RESPONSIBLE FOR SAFETY IN, ON, OR ABOUT THE PROJECT SITE NOR FOR COMPLIANCE BY THE APPROPRIATE PARTY WITH ANY REGULATIONS RELATING THERETO.
- ALL UTILITY TRENCHES IN ROAD PRISM ARE TO BE COMPACTED AND TESTED PER GEOTECHNICAL ENGINEER REQUIREMENTS.
- MATERIALS TESTING IS BY THE OWNER, BUT THE CONTRACTOR MUST NOTIFY THE GEOTECHNICAL ENGINEER, THE OWNER, AND MARCIN ENGINEERING OF SCHEDULING.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE PRECAUTIONS TO SIGNIFICANTLY REDUCE ANY POTENTIAL POLLUTION CAUSED BY THEIR ACTIVITIES, INCLUDING VEHICLE FUELING, STORAGE OF FERTILIZERS OR CHEMICALS, ETC. THE CONTRACTOR SHALL HAVE IDENTIFIED PROCEDURES FOR HANDLING POTENTIAL POLLUTANTS AND HAVE IDENTIFIED SPILL PREVENTION AND RESPONSE PROCEDURES PRIOR TO ANY ACTIVITIES AT THE PROJECT SITE.
- THE CONTRACTOR SHALL KEEP TWO (2) SETS OF CONTRACT DRAWINGS MARKED TO FULLY INDICATE "AS-BUILT" CONDITIONS. THE DRAWINGS SHALL BE PROVIDED TO THE OWNER AND MARCIN ENGINEERING UPON COMPLETION OF THIS WORK. THE SURVEYED AS-BUILT INFORMATION SHALL BE CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER OR SURVEYOR. THE AS-BUILT INFORMATION IS TO INCLUDE THE LOCATION AND FIELD-VERIFIED ANGLE OF DEFLECTION OF ALL PROPOSED PIPE DEFLECTIONS.
- IF ANY GROUND WATER IS ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER AND THE PROJECT GEOTECHNICAL ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL MAINTAIN EXISTING DRAINAGE CHANNELS, CULVERTS, AND APPURTENANCES DURING CONSTRUCTION, AS NECESSARY TO PROTECT ROADS AND PROPERTY.
- ROAD AND SIDEWALK SUBGRADE SHALL BE PROOF ROLLED AND FREE OF DEFLECTION TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER. ANY FAILING AREAS SHALL BE REPAIRED AND PROOF ROLLED AGAIN UNTIL ACCEPTED BY THE GEOTECHNICAL ENGINEER WITH NO ADDITIONAL COST TO OWNER.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE REVEGETATED ACCORDING TO THE LANDSCAPE PLAN.
- ALL LANDSCAPING SHALL BE PER THE LANDSCAPE ARCHITECT PLANS AND/OR OWNER.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED. COORDINATE WITH THE OWNER FOR ACCEPTABLE STOCKPILE LOCATIONS.
- OVERSIZE BOULDERS (ROCK EXCAVATION-AS DEFINED IN CDOT SPECIFICATION 203.02.D) ENCOUNTERED DURING THE WORK SHALL BE REMOVED AND STOCKPILED IN A LOCATION DESIGNATED BY THE OWNER. NO EXTRA PAYMENT WILL BE DUE FOR THIS ITEM OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR DAILY CLEANING OF ALL ACCESS ROADS AND OTHER PUBLIC STREETS NECESSITATED BY THEIR ACTIVITIES ON THE SITE.
- DUST CONTROL IS INCIDENTAL TO EARTHWORK CONSTRUCTION AND SHALL BE PROVIDED BY CONTRACTOR, AT NO COST TO OWNER, IN ACCORDANCE WITH THE TOWN OF BLUE RIVER MUNICIPAL CODE.
- DISPOSAL OF TRASH, ASPHALT, CONCRETE, AND CONSTRUCTION DEBRIS IS THE RESPONSIBILITY OF THE CONTRACTOR AND CONSIDERED PART OF THE WORK.
- THE CONTRACTOR SHALL PROVIDE EROSION CONTROL IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES AND STORM WATER DISCHARGE PERMIT OR EQUIVALENT. CONTRACTOR IS RESPONSIBLE TO REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER CONSTRUCTION IS COMPLETE AND ONCE VEGETATION IS APPROXIMATELY 70% RE-ESTABLISHED, AS DEEMED BY THE OWNER.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING FOR "COR400000 CONSTRUCTION STORMWATER DISCHARGE PERMIT." FOR INFORMATION CONTACT THE COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, 4300 CHERRY CREEK DRIVE SOUTH, DENVER CO 80223 ATTENTION: PERMITS AND ENFORCEMENT SECTION, PHONE (303)-692-3517. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF THE APPLICABILITY OF THIS PERMIT AND COMPLIANCE TO IT.
- THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN, OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY IN ACCORDANCE WITH THE CURRENT MUTCD CODE. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION ZONE TRAFFIC CONTROL.
- EARTHWORK SHALL COMPLY WITH THESE PLANS, SOILS REPORT RECOMMENDATIONS, AND PROJECT SPECIFICATIONS. IF SPECIFICATIONS CONFLICT, THE MOST RESTRICTIVE SPECIFICATION SHALL PREVAIL.
- THE CONTRACTOR SHALL PROTECT AND PRESERVE ALL TREES, BUSHES, SHRUBS, AND GROUND COVER, NOT DESIGNATED FOR REMOVAL. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH SECURED STRAW BALES AND/OR 3 WRAPS OF SNOW FENCE PER TREE. A 6' FENCE SHALL BE ERECTED AT THE DRIPLINE OF THE TREE. 6" OF MULCH MATERIAL SHALL ALSO BE SPREAD FROM THE BASE OF THE TREE TO THE DRIPLINE OF THE TREE.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY MARCIN ENGINEERING. MARCIN ENGINEERING RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DO NOT CONFORM TO THE APPROVED DRAWINGS AND/OR SPECIFICATIONS.
- CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ASSURE NO WILDLAND FIRES ARE STARTED AS A RESULT OF THEIR ACTIVITIES. CONTRACTOR IS REQUIRED TO PROVIDE AND MAINTAIN ADEQUATE FIRE EXTINGUISHER EQUIPMENT ON SITE, AS NECESSARY TO SATISFY LOCAL FIRE DEPARTMENT REQUIREMENTS FOR JOB SITE AND WILDLAND FIRE SUPPRESSION.
- ALL CONSTRUCTION MUST ADHERE TO ALL PERMIT REQUIREMENTS AND ALL CONDITIONS THERETO OF ALL APPLICABLE PERMITS FOR THE WORK.
- IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO PROTECT THE WATER MAIN, VALVES AND OTHER APPURTENANCES AFTER TRENCHING AND INSTALLATION OF WATER MAIN INFRASTRUCTURE. PROTECTION OF THE WATER MAIN INFRASTRUCTURE AND ITS APPURTENANCES SHALL REMAIN IN EFFECT PRIOR TO TESTING AND ACCEPTANCE BY THE LOCAL WATER DISTRICT.
- CONTRACTOR(S) SHALL STAKE OUT ALL AREAS AND ESTABLISH ELEVATIONS FOR ALL WALKS, STEPS, WALLS, FENCES, AND SHALL OBTAIN THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO PROCEEDING WITH SUCH WORK.
- NOTES AND DETAILS ON SPECIFIC DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- CONFLICTS OR DISCREPANCIES WITH GRADES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND ENGINEER IMMEDIATELY AND PRIOR TO PROCEEDING WITH WORK.
- GRADES SHOWN ARE FINISH GRADES. SUBGRADES NEEDED TO ATTAIN FILL OR TOPSOIL PLACEMENT ARE NOT REFLECTED. HOLD FINISH GRADES FOR PLANTING AREAS 2" BELOW TOP OF ADJACENT PAVEMENT UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- THE CONSTRUCTION LIMITS LINE IS THE CONTRACT LIMIT LINE. DO NOT DISTURB ANY EXISTING TREES OR VEGETATION DESIGNATED TO REMAIN OR LOCATED OUTSIDE THE CONSTRUCTION LIMIT LINE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT, ENGINEER, AND OWNER. THE CONSTRUCTION LIMITS LINE FOR THIS PROJECT IS SHOWN BY THE PROPOSED SILT FENCE ALIGNMENT IN THE PLANS.
- ROAD CUTS AND ANY OTHER CONSTRUCTION IN THE ROAD RIGHT-OF-WAY SHALL CONFORM WITH TOWN OF BLUE RIVER REQUIREMENTS.
- ALL FINISHED GRADES SHALL PROVIDE FOR NATURAL RUNOFF OF WATER WITHOUT LOW SPOTS OR POCKETS. PROVIDE A MINIMUM 5% AND MAXIMUM 33% GRADIENT AWAY FROM PROPOSED STRUCTURES UNLESS OTHERWISE NOTED.
- TOPOGRAPHIC AND BOUNDARY INFORMATION PROVIDED BY OTHERS.

MARCIN ENGINEERING LLC
 213 TABOR STREET
 BUENA VISTA, COLORADO
 719-395-3332

DETAILS SHEET
 POWERS-BETZ RESIDENCE
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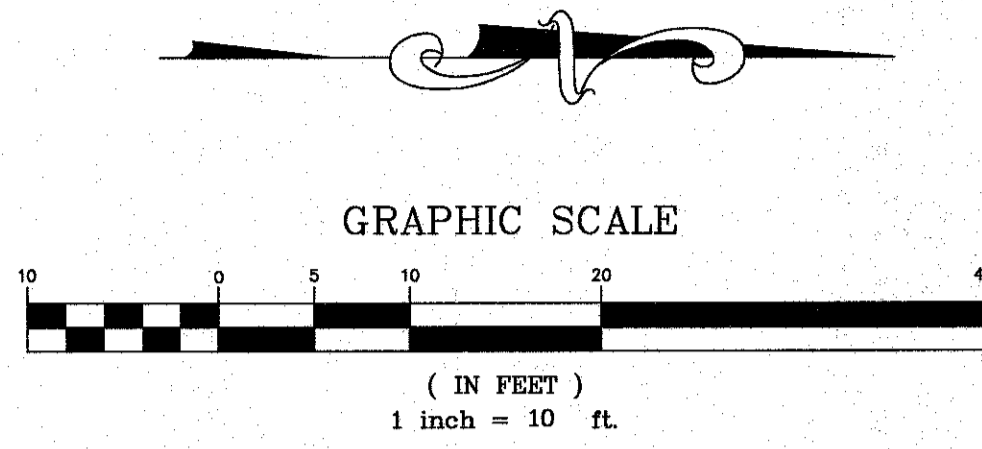
NO. DATE REVISIONS BY



JOB: 25013
 DATE: 04/07/2025
 SCALE: N/A

SHEET
 C-2

A TOPOGRAPHIC MAP OF
LOT 538, THE CROWN
 GOOSE PASTURE TARN-BLUE RIVER ESTATES, INC.
 TOWN OF BLUE RIVER, SUMMIT COUNTY, COLORADO

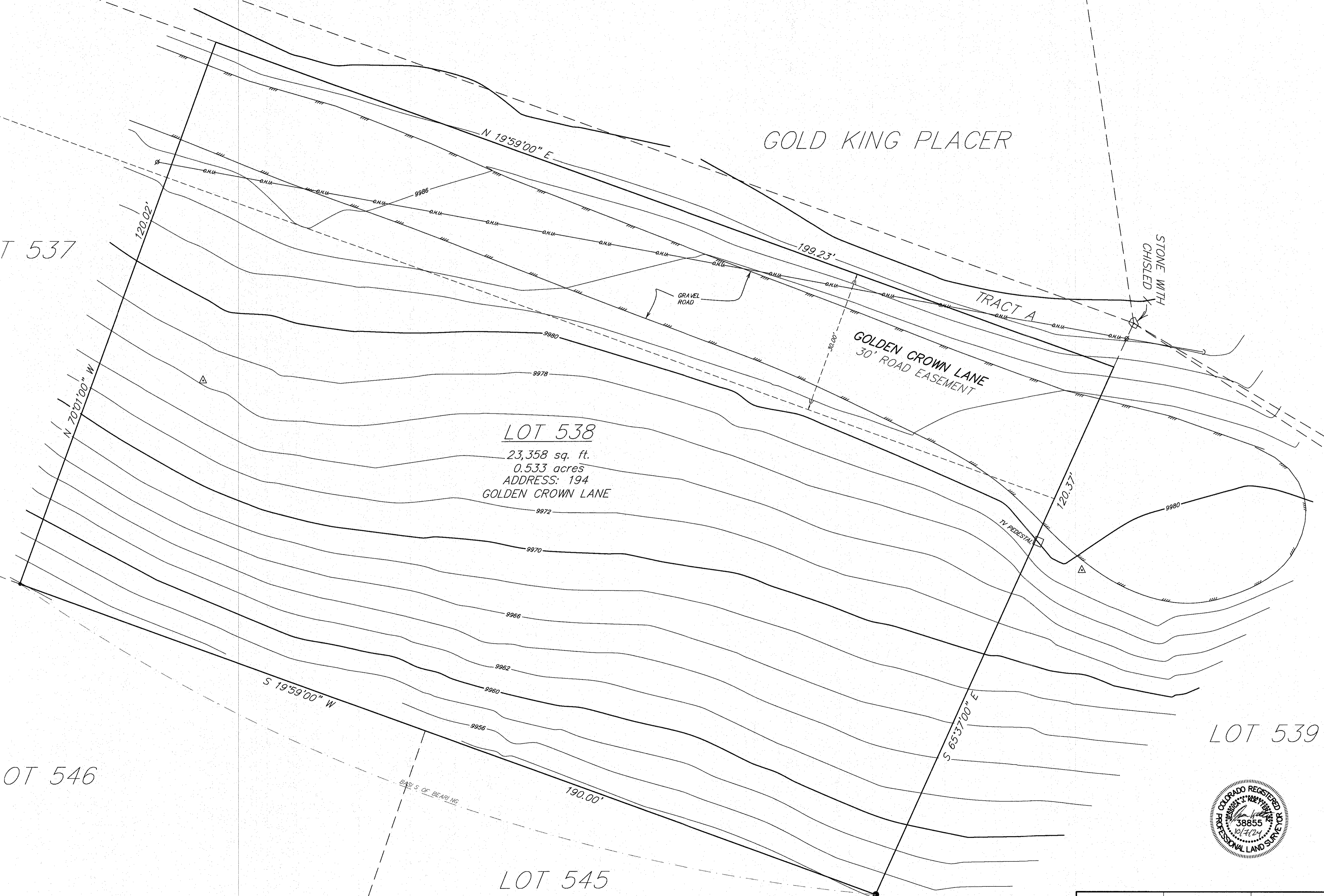


DATE OF FIELD SURVEY: 10/03/2024
 CONTOUR INTERVAL=2 FEET

- LEGEND**
- FOUND #4 REBAR
 - UTILITY PEDESTAL
 - ⊗ UTILITY POLE
 - △ RANDOM SURVEY CONTROL POINT

LOT 537

GOLD KING PLACER



LOT 538
 23,358 sq. ft.
 0.533 acres
 ADDRESS: 194
 GOLDEN CROWN LANE

LOT 546

LOT 545

LOT 539



POINT OF BEGINNING
 BENCHMARK ELEVATION=9954.40
 PER COUNTY GIS SITE

Drawn GAW/ESH	Dwg 22928TP	Project 22928
Checked JJK	Date 10/07/2024	Sheet 1 of 1

RANGE WEST
 ENGINEERS & SURVEYORS INC.

Silverthorne, CO 80498 970-468-6281

NOTE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECTS. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

Submittal Requirements

****ALL Submittals Must be Electronic****

Emailed to: info@townofblueriver.org

Planning & Zoning Review Submittal Requirements

****Please indicate via check box item included as well as page number in submitted packet.**

Completed <input checked="" type="checkbox"/>	Item	Description	Page #
<input checked="" type="checkbox"/>	Site Plan	Scale: 1" = 10'; May appear on a single sight plan. IF on a separate page, please indicate the page.	2
<input checked="" type="checkbox"/>		Property Boundaries	2
<input checked="" type="checkbox"/>		Building Envelope with setbacks	2
<input checked="" type="checkbox"/>		Proposed Buildings	2
<input checked="" type="checkbox"/>		Structures (existing & proposed)	2
<input checked="" type="checkbox"/>		Driveway & Grades	2
		A wetlands delineation & Stream crossing structures where applicable.	
<input checked="" type="checkbox"/>		Topographic survey, prepared and stamped by a licensed surveyor, indicating site contours at 2' intervals, easements, and significant natural features such as rock outcroppings, drainages and mature tree stands.	19-21
		Transformer & vault location (if installed by owner or existing)	
<input checked="" type="checkbox"/>		Well location; septic if applicable	2
<input checked="" type="checkbox"/>		Snow storage areas and calculations	21
		Major site improvements	
<input checked="" type="checkbox"/>		Existing & proposed grading & drainage	19
	Landscaping Plan	*May be included in the site plan**	
		Landscaping must indicate tree removal for defensible space requirement; any trees 6" or more primarily noting the removal of any ponderosa pines or large trees. Clear cutting of a site is not allowed.	
		Indicate the percentage of trees removed and revegetation to be conducted.	
		Upon completion of the construction project, all land must be raked and	

		reseeded with native seed prior to issuance of CO. in cases of completion during snow coverage and/or winter, CO may be issued with conditions for completions within 60 days of the last snow and a deposit.	
		Any major structures (retaining walls; fences; landscaping rocks) must be indicated in detail on plans in conformance with the design regulations.	
		Indicating building walls, floors and roof relative to the site, including existing and proposed grades, retaining wall and proposed site improvements.	
✓	Floor Plans	Scale 1/8" = 1'	4-5
		Indicate the general layout of all rooms, approximate size, and total square footage of enclosed space for each floor level.	
✓	Exterior Elevations	Scale same as floor plans	7-8
		Detail to indicate the architectural character of the residence, fenestration and existing and proposed grades. Elevations must include a description of exterior materials and colors.	
✓	Roof Plan	Scale same as floor plans	6,16
		Indicate the proposed roof pitch, overhang lengths, flue locations, roofing materials and elevations of major ridge lines and all eave lines.	
	Materials Sheet	Display materials to be used. Color renderings are suggested as well. In cases of additions, if matching the existing structure, photos of current home.	1

After Approval and BEFORE Permit is Issued:

- **ELECTRONIC COPY Stamped set.**
 - **All of the above mentioned.**
 - Soils report if applicable.
 - Electrical, plumbing and mechanical plans.
 - Construction Management Plan. Please refer to the Town Code and Architectural Guidelines for all requirements.
 - Stamped structural plans.
 - Current Summit County Septic System Permit (including system plot plan), or evidence of full payment of tap fees to Upper Blue Sanitary District.
 - Current Colorado Well Permit or evidence of full payment of tap fees to Timber Creek Water District.
 - Current Colorado Department of Transportation Highway Access Permit, if access to Highway 9 is required.
 - Designation of General Contractor, except for bona fide homeowner contractor.
 - For Manufactured Homes the following additional information is required:
 - State of Colorado Division of Housing Approved Plans.
 - State of Colorado Division of Housing Registered Installer Certificate.

Blue River Building Code Items

- ❖ When designing the structure, refer to the Blue River Municipal Town Code, Chapter 16 for zoning information and allowable uses/construction. The Building Code information is available under Chapter 18. <https://townofblueriver.colorado.gov>.
- ❖ Building Codes Adopted:
 - International Residential Code 2018
 - International Energy Conservation Code 2012
 - National Electric Code 2020
 - International Fire Code 2018
- ❖ Snow loads:
 - Roofs shall be designed in accordance with accepted engineering practice based upon a ground snow load of 100 psf.
 - Balconies/decks-125 psf.
 - No reductions for duration.
- ❖ Frost line depth:
 - Foundation footing minimum depth below grade-40 inches.
 - Uncovered deck piers may be set at 24 inches.
- ❖ Roof underlayment 100% Ice & Water shield.
- ❖ Roof may be metal; 30-year minimum architectural grade, composition fiberglass (dark brown, dark gray, dark green, weathered wood or black only); or class-A #1 cedar shakes.
- ❖ Wind speed: 90 mph, exposure “B”. Seismic design category: “B”.
- ❖ Propane gas alarm/shutoff system required.
- ❖ Wood burning stoves: Required to meet Colorado Dept. of Health, Regulation No. 4.
- ❖ The building height limit in the Town is 35 feet. Refer to the Architectural Guidelines for additional information.
- ❖ Locally re-settable GFCI breakers are required in bathrooms.
- ❖ Compliance with the International Energy Conservation Code is required.
- ❖ Any application that would create an accessory apartment must meet zoning regulations and will not be processed without prior approval of the Town Board of Trustees.
- ❖ Note that Hwy 9 access permits may require 3-4 months and well permits 5-6 weeks.
- ❖ Planning & Zoning Commission approvals become void if the building permit is not issued within eighteen (18) months.
- ❖ Building permits become void if construction is discontinued for more than 180 days.

Arapahoe Architects P.C.
P.O. BOX 4780
322C North Main St.
Breckenridge, CO 80424

Lighting Cut Sheet

MANUFACTURER:	Portfolio Dovray
SERIES:	Outdoor Wall Light
MODEL:	FS130125-29
LAMP & WATTAGE:	Standard Edison Screw based 60W
MOUNTING:	Wall
STYLE:	Oil-Rubbed Bronze
APPLICATION:	Exterior
DARK SKY FEATURE:	Full Cut-Off
DIMENSIONS:	7.75"H x 7.85"W x 8.9"D



Arapahoe Architects
 322C N Main St
 Breckenridge, CO 80424
Job Number: 2419
Date: 05/12/2025

POWERS BETZ RESIDENCE
 194 GOLD CROWN LANE
 LOT 538, THE CROWN,
 BLUE RIVER, COLORADO

Sheet:
CBD-1

MATERIALS

COLOR

SAMPLE

ROOFING

40 yr. Composite
 Shingles

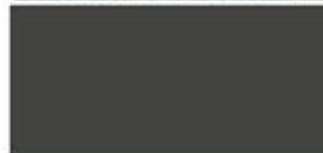
Timberline HD
 "Barkwood"



FASCIA & TRIM

2X Wood

Quality Edge
 "514 Ironstone"



PRIMARY SIDING

Cementitious
 Horiz. Lap

Quality Edge
 "M16 Cider Mill"



ACCENT SIDING

Cementitious
 Vert. Board & Batten

Quality Edge
 "416 Spruce"



WINDOWS

Composite

Quality Edge
 "514 Ironstone"



**BEAMS, COLUMNS &
 NEWELS**

Rough Sawn Timber

Pratt & Lambert
 Semi-Trans
 "Cedarwood"



PRIMARY BASE

Thin Veneer

Telluride Stone Co.
 "Northstar "



SECONDARY BASE

Vert. Corr. Metal

"Rusticated"



POWERS BETZ RESIDENCE

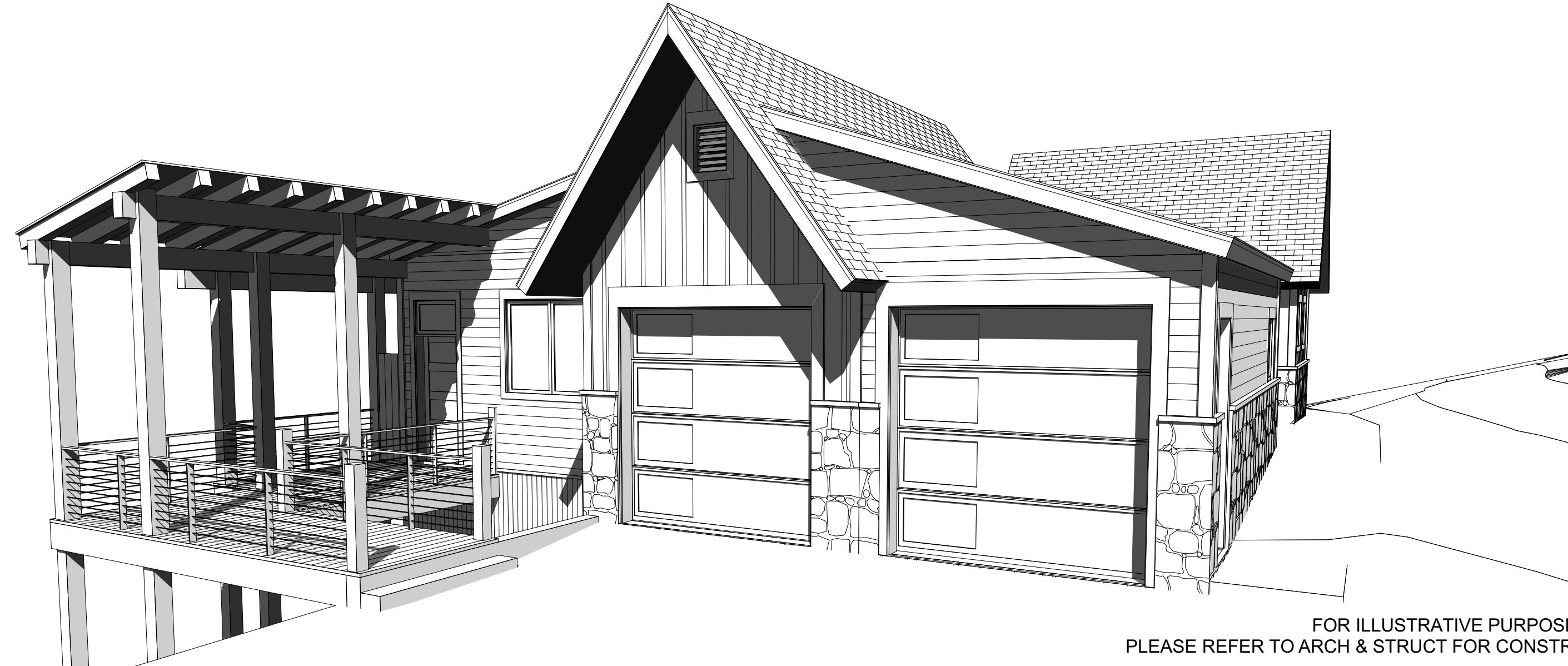
GENERAL NOTES

- SCOPE OF CONTRACTOR'S WORK:
ALL ITEMS AND WORK SHOWN IN THESE CONSTRUCTION DOCUMENTS SHALL BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR OR HIS SUBCONTRACTORS UNLESS NOTED AS EXISTING OR NOT IN CONTRACT (N.I.C.) ON THE DRAWINGS.
- CODES:
THIS PROJECT IS GOVERNED BY THE 2018 INTERNATIONAL RESIDENTIAL CODE & 2018 INTERNATIONAL ENERGY CONSERVATION CODE AS ADOPTED BY THE TOWN OF BLUE RIVER, COLORADO. ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL NATIONAL, STATE, AND LOCAL CODES, REGULATIONS AND RESTRICTIONS WHICH APPLY TO THIS PROJECT. THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND REQUIRED APPROVALS. BUILDING AREAS ARE SHOWN FOR CODE PURPOSES ONLY AND SHALL BE RECALCULATED FOR ANY OTHER PURPOSES.
- DUTY OF COOPERATION:
RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, HIS CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT COMPOUNDS MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. FAILURE TO GIVE SUCH NOTICE SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES.
- CHANGES TO THE WORK:
SUBSTITUTION OF "EQUAL" PRODUCTS WILL BE ACCEPTABLE ONLY WITH OWNER'S OR ARCHITECT'S WRITTEN APPROVAL. IF THE CONTRACTOR REQUIRES ANY CHANGES WHICH IMPACT THE PROJECT SCHEDULE OR BUDGET, HE SHALL SUBMIT A WRITTEN CHANGE ORDER REQUEST TO THE OWNER OR ARCHITECT PRIOR TO THE COMMENCEMENT OF SUCH WORK. PERFORMANCE OF SUCH WORK WITHOUT APPROVAL BY CHANGE ORDER INDICATES GENERAL CONTRACTOR'S ACKNOWLEDGEMENT OF NO INCREASE IN CONTRACT SUM OR TIME. CHANGES FROM THE PLANS OR SPECIFICATIONS MADE WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ANY AND ALL CONSEQUENCES RESULTING FROM THESE CHANGES.
- WORKMANSHIP:
IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC., TO OBTAIN A COMPLETE JOB WITHIN THE RECOGNIZED STANDARDS OF THE INDUSTRY, AND SHALL BE RESPONSIBLE FOR FOLLOWING MANUFACTURERS' INSTALLATION RECOMMENDATIONS AND INSTRUCTIONS.
- FIELD VERIFICATIONS:
VERIFY ALL EXISTING CONDITIONS, DIMENSIONS (INCLUDING, BUT NOT LIMITED TO, PROPERTY BOUNDARIES, BUILDING SETBACKS, AND SITE SLOPES), AND UTILITY LOCATIONS ON THE JOB SITE PRIOR TO THE BEGINNING OF ANY WORK. NOTIFY ARCHITECT FOR INTERPRETATION OR CLARIFICATION OF ANY CONFLICTS OR DISCREPANCIES IN THE DRAWINGS IMMEDIATELY. FAILURE TO GIVE SIMPLE NOTICE SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR SAID DISCREPANCIES.
- DIMENSIONS:
WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. PLAN DIMENSIONS ARE TO THE FACE OF FRAMING MEMBERS. FACE OF WOOD FURRING OR FACE OF CONCRETE WALLS UNLESS OTHERWISE NOTED. SECTION OR ELEVATION DIMENSIONS ARE AT TOP OF CONCRETE, TOP OF PLYWOOD, OR TOP OF WALL PLATES OR BEAMS UNLESS OTHERWISE NOTED.
- CONSTRUCTION SAFETY:
THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
- EXCAVATION PROCEDURES:
IF A SOILS REPORT IS NOT AVAILABLE FOR THIS PROJECT, UPON COMPLETION OF THE EXCAVATION, THE OWNER SHALL RETAIN A SOILS ENGINEER TO INSPECT THE SOIL CONDITIONS IN ORDER TO DETERMINE THE ADEQUACY OF THE FOUNDATION DESIGN. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER.
- FIELD CUTTING OF STRUCTURAL MEMBERS:
THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL FIELD COORDINATE AND OBTAIN APPROVAL FROM ARCHITECT/ENGINEER BEFORE ANY CUTTING, NOTCHING OR DRILLING OF ANY CAST-IN-PLACE CONCRETE, STEEL FRAMING, OR ANY OTHER STRUCTURAL ELEMENTS WHICH MAY AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING WHEN IT IS NECESSARY TO BORE STUDS, JOISTS, OR RAFTERS FOR ELECTRICAL OR PLUMBING RUNS. THE HOLES SHALL NOT BE GREATER THAN 40% OF THE MEMBER DEPTH IN LOAD BEARING CONDITIONS, AND NOT GREATER THAN 60% OF MEMBER DEPTH IN NON LOAD BEARING CONDITIONS. REFER TO THE 2018 INTERNATIONAL RESIDENTIAL CODE RE: MANUFACTURERS' OR SUPPLIER'S INSTRUCTIONS, AND STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- ROOF MAINTENANCE:
EXCESSIVE BUILDUP OF SNOW AND ICE ON ROOFS MAY LEAD TO WATER INTRUSION. IT IS THE OWNERS' RESPONSIBILITY TO KEEP THE ROOF REASONABLY CLEAR OF SNOW BUILDUP AND ICE DAMS EITHER THRU PERIODIC SNOW REMOVAL OR THE INSTALLATION OF A SNOW MELT SYSTEM AT THE EAVES, AND OTHER POTENTIAL PROBLEM AREAS. WE RECOMMEND THE INSTALLATION OF ELECTRICAL OUTLETS ON DEDICATED CIRCUITS IN THE VICINITY OF THESE AREAS DURING CONSTRUCTION TO FACILITATE SNOW MELT SYSTEM IF REQUIRED.

ATTACHMENTS

EXTERIOR LIGHT FIXTURE CUT SHEET
EXTERIOR MATERIALS COLOR BOARD

FRONT PERSPECTIVE VIEW



FOR ILLUSTRATIVE PURPOSES ONLY
PLEASE REFER TO ARCH & STRUCT FOR CONSTRUCTION

SCHEDULES

DOOR SCHEDULE

#	W	HT	THK	MTL	PANEL	OPER	GLASS	NOTES
01	9'-0"	9'-0"	1 3/4"	METAL	PANEL	OVER-HD	PART	GARAGE DOOR RE: ELEVATIONS
02	6'-0"	7'-0"	1 3/4"	COMP.	PATIO	SLIDER	FULL	2 PANEL SLIDER / MULLED WIN 'E' ABOVE
03	3'-0"	7'-0"	1 3/4"	COMP.	PATIO	SWING	PART	ENTRY DOOR RE: ELEV / MULLED WIN 'J' ABOVE
04	3'-0"	8'-0"	1 3/4"	COMP.	PATIO	SWING	HALF	
05	3'-0"	6'-8"	1 3/4"	COMP.	PATIO	SWING	-	20 MIN FIRE RATED, SELF CLOSING, TIGHT SEAL
06	4'-0"	6'-8"	1 3/8"	WOOD	PANEL	BIPASS	-	
07	3'-0"	6'-8"	1 3/8"	WOOD	PANEL	POCKET	-	
08	3'-0"	6'-8"	1 3/8"	WOOD	PANEL	SWING	-	
09	2'-8"	6'-8"	1 3/8"	WOOD	PANEL	SWING	-	
10	2'-8"	6'-8"	1 3/8"	WOOD	PANEL	SLIDER	-	BARN DOOR
11	2'-4"	6'-8"	1 3/8"	WOOD	PANEL	SWING	-	

WINDOW SCHEDULE

#	UNIT	TYPE	W	H	NOTES
A	72X60 / 36X60 / (3) 36X24	FIX / CSMT / (3) AWN	9'-0"	7'-0"	
B	72X60 / 36X60	FIX / CSMT	9'-0"	5'-0"	EGRESS
C	36X36 / 72X36 / 36X72 / 72X72	(3)FIX / CSMT	9'-0"	9'-0"	EGRESS
D	(2) 36x60	(2) CSMT	6'-0"	5'-0"	
E	(2) 36X24	(2) FIX	6'-0"	2'-0"	MULLED TO DOOR #02
F	60X60 / (2) 30X24	FIX / (2) AWN	5'-0"	7'-0"	
G	36X60	CSMT	3'-0"	6'-0"	EGRESS
H	36X36	AWN	3'-0"	3'-0"	
I	36X36	AWN	3'-0"	3'-0"	SHOWER WINDOW
J	36X24	FIX	3'-0"	2'-0"	MULLED TO DOOR #03

FINISH SCHEDULE

RM #	ROOM	FLRG	BASE	WALLS	CLG	HT	NOTES
101	LOCK OFF	CONC.	-	GYP	GYP	8'-10"	
102	BEDROOM 2	WOOD	WOOD	GYP	GYP	8'-10"	
103	BATH 2	TILE	WOOD	GYP	GYP	8'-10"	VENT TO EXTERIOR
104	MECH	CONC.	-	GYP	GYP	8'-10"	VENT TO EXTERIOR
105	FAMILY ROOM	WOOD	WOOD	GYP	GYP	8'-10"	
106	BEDROOM 3	WOOD	WOOD	GYP	GYP	8'-10"	
107	BATH 3	TILE	WOOD	GYP	GYP	8'-10"	VENT TO EXTERIOR
201	GARAGE	CONC.	-	GYP	GYP	VAULT	
202	MUD / LNDR	TILE	WOOD	GYP	GYP	10'-0"	VENT TO EXTERIOR
203	MASTER BEDROOM	WOOD	WOOD	GYP	T&G WOOD	VAULT	
204	M. BATH	TILE	WOOD	GYP	GYP	10'-0"	VENT TO EXTERIOR
205	M. CLOSET	WOOD	WOOD	GYP	GYP	10'-0"	
206	POWDER	TILE	WOOD	GYP	GYP	10'-0"	VENT TO EXTERIOR
207	GREAT ROOM	WOOD	WOOD	GYP	T&G WOOD	VAULT	
208	DINING	WOOD	WOOD	GYP	T&G WOOD	VAULT	
209	KITCHEN	WOOD	WOOD	GYP	T&G WOOD	VAULT	
210	ENTRY	WOOD	WOOD	GYP	T&G WOOD	VAULT	

DOOR & WINDOW NOTES

- ALL WINDOWS TO BE ALUM. OR COMPOSITE AS SELECTED BY OWNER UNLESS OTHERWISE NOTED.
- UNIT SIZES HAVE BEEN ROUNDED FOR COMPARISON WITH OTHER MANUFACTURERS. VERIFY ALL EXACT SIZES WITH APPROPRIATE MANUFACTURER. SUBSTITUTIONS OF MANUFACTURERS WILL BE ALLOWED ONLY WITH OWNER/ARCHITECT APPROVAL; REFER TO GENERAL NOTES.
- SEE WINDOW SCHEDULE FOR WINDOW TYPE AND OPERATION. CROSS-CHECK OPERATION WITH EXTERIOR ELEVATIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO ORDERING UNITS.
- DUAL GLAZE ALL WINDOWS AND DOORS WITH LOW-E GLASS RATED FOR USE AT HIGH ALTITUDES. PER MANUFACTURER'S REQUIREMENTS.
- TEMPERED GLASS AT DOORS, WITHIN 18" OF FLOOR, AND ADJACENT TO STAIRS AND DOORS. AS REQUIRED BY CODE.
- FIELD MEASURE FOR ALL CUSTOM UNIT SIZES PRIOR TO ORDERING.
- PROVIDE WEATHERSTRIPPING AND ALUMINUM THRESHOLDS AT ALL EXTERIOR DOORS AND AS NOTED ON SCHEDULES.
- PROVIDE METAL FLASHING AT ALL DOOR AND WINDOW HEADERS.
- WRAP MEMBRANE FLASHING INTO ALL WINDOW & DOOR ROUGH OPENINGS PER MANUFACTURER RECOMMENDATIONS
- INSULATE ALL EXTERIOR SHIM SPACES AT DOORS AND WINDOWS.
- VERIFY WINDOW AND DOOR HARDWARE FINISHES WITH OWNER PRIOR TO ORDERING.
- EACH SLEEPING ROOM TO HAVE AN EGRESS WINDOW OR DOOR TO MEET 2018 IRC REQUIREMENTS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO ORDERING UNITS.
- PROVIDE ALL COMBINATION UNITS WITH EXTERIOR MULLION COVERS.
- WINDOWS AND DOORS TO HAVE FIELD APPLIED EXTERIOR TRIM.
- ALL WINDOWS TO HAVE U-FACTOR 0.30 MAX PER 2018 IRC

INTERIOR FINISH NOTES

- FOLLOW ALL MANUFACTURERS' RECOMMENDATIONS AND INSTALLATION INSTRUCTIONS PER GENERAL NOTES.
- COMMENCEMENT OF FINISH WORK INDICATES ACCEPTANCE OF PRIOR WORKMANSHIP BY INSTALLER.
- ALL WALLS AND CEILINGS TO RECEIVE 5/8" TYPE "X" GYPSUM BOARD, TAPE, 2 COATS MUD. TEXTURE AND 2 COATS PAINT UNLESS OTHERWISE NOTED HEREIN OR ON DRAWINGS.
- PROVIDE 5/8" TYPE "X" GYPSUM BOARD AS REQUIRED BY CODE AND BUILDING DEPARTMENT AT GARAGE, MECHANICAL ROOM AND BELOW STAIR.
- PROVIDE 1/2" CEMENT BOARD UNDERLAYMENT AT ALL CERAMIC TILE AREAS.
- FINISH ALL CLOSETS AND STORAGE AREAS TO MATCH ADJACENT SPACES UNLESS OTHERWISE NOTED ON PLANS.
- ALL CLOSETS TO HAVE COAT ROD AT 5'-6" AFF W/TYPICAL SHELF ABOVE UNLESS NOTED.
- TYPICAL SHELF: 16 1/2" DEEP 3/4" AC GRADE PLYWOOD (PAINT) WITH 3/4" WOOD EDGE BAND AT EXPOSED EDGES (SPECIES AND FINISH TO MATCH ADJACENT WOOD TRIM).
- TYPICAL FIXED SHELF ASSEMBLY: TYP. SHELVES SPACED AT 16" OC VERT. STARTING AT 24" AFF.

FLOOR ELEVATIONS

LOWER FLOOR	EL: 90'-0"	= USGS: 9,970.0
GARAGE ENTRY	EL: 99'-6"	= USGS: 9,979.5
MAIN FLOOR	EL: 100'-0"	= USGS: 9,980.0
MAIN RIDGE	EL: 120'-1"	= USGS: 10,000.1

LEGAL DESCRIPTION

LOT 538
CROWN SUB.

194 GOLD CROWN LANE
BLUE RIVER, CO 80424

PROJECT DIRECTORY

OWNER:	CAROLYN POWERS & MORGAN BETZ 400 N PARK AVE. UNIT 12B BRECKENRIDGE, CO 80424 PH:
ARCHITECT:	ARAPAHOE ARCHITECTS, P.C. PO BOX 4780 BRECKENRIDGE, CO 80424 PH: 970-453-8474
STRUCTURAL ENGINEER:	CTL RHOMPSON, INC PO BOX 2122 SILVERTHORNE, CO 80498 PH: 970-453-2047
CIVIL ENGINEER:	MARCIN ENGINEERING 213 TABOR STREET BUENA VISTA, CO PH: 719-395-3332
CONTRACTOR:	SWEET HOMES OF COLORADO INC 129 10TH STREET, UNIT A2 SILVERTHORNE CO 804 PH: 970-262-3818

BUILDING AREA

	FINISHED	UNFINISHED	TOTAL
MAIN FLOOR	1,315	576	1,891
LOWER FLOOR	819	101	920
TOTAL:	2,134	677	2,811

NOTES: UNFINISHED INCLUDES GARAGE, LOCK-OFF STORAGE & MECH

SHEET INDEX

ARCHITECTURAL

A-1	NOTES & SCHEDULES
A-2	SITE PLAN
A-3	CONST. MNGMT. PLAN
A-4	LOWER FLOOR PLAN
A-5	MAIN FLOOR PLAN
A-6	ROOF PLAN
A-7	BUILDING ELEVATIONS
A-8	BUILDING ELEVATIONS
A-9	BUILDING SECTIONS & NOTES
A-10	BUILDING SECTIONS
A-11	DETAILS
A-12	DETAILS

STRUCTURAL

S-1	FOUNDATION PLAN
S-2	FOUNDATION DETAILS
S-3	1ST FLOOR FRAMING
S-4	ROOF FRAMING
S-5.1	UPPER LEVEL SHEAR WALL
S-5.2	LOWER LEVEL SHEAR WALL

CIVIL

C-1	GRADING AND DRAINAGE PLAN
C-2	DETAILS

SURVEY



ARAPAHOE
ARCHITECTS

P.O. BOX 4780
BRECKENRIDGE, CO 80424
970 453 8474

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POWERS BETZ RESIDENCE

194 GOLD CROWN LANE
BLUE RIVER, CO

NOTES & SCHEDULES

JOB 2419

DWN BY GP

ISSUE

05/01/2025 - PERMIT

05/12/2025 - PLANNING

SHEET

A-1

A TOPOGRAPHIC MAP OF
LOT 538, THE CROWN
 GOOSE PASTURE TARN-BLUE RIVER ESTATES, INC.
 TOWN OF BLUE RIVER, SUMMIT COUNTY, COLORADO

GOLD KING PLACER



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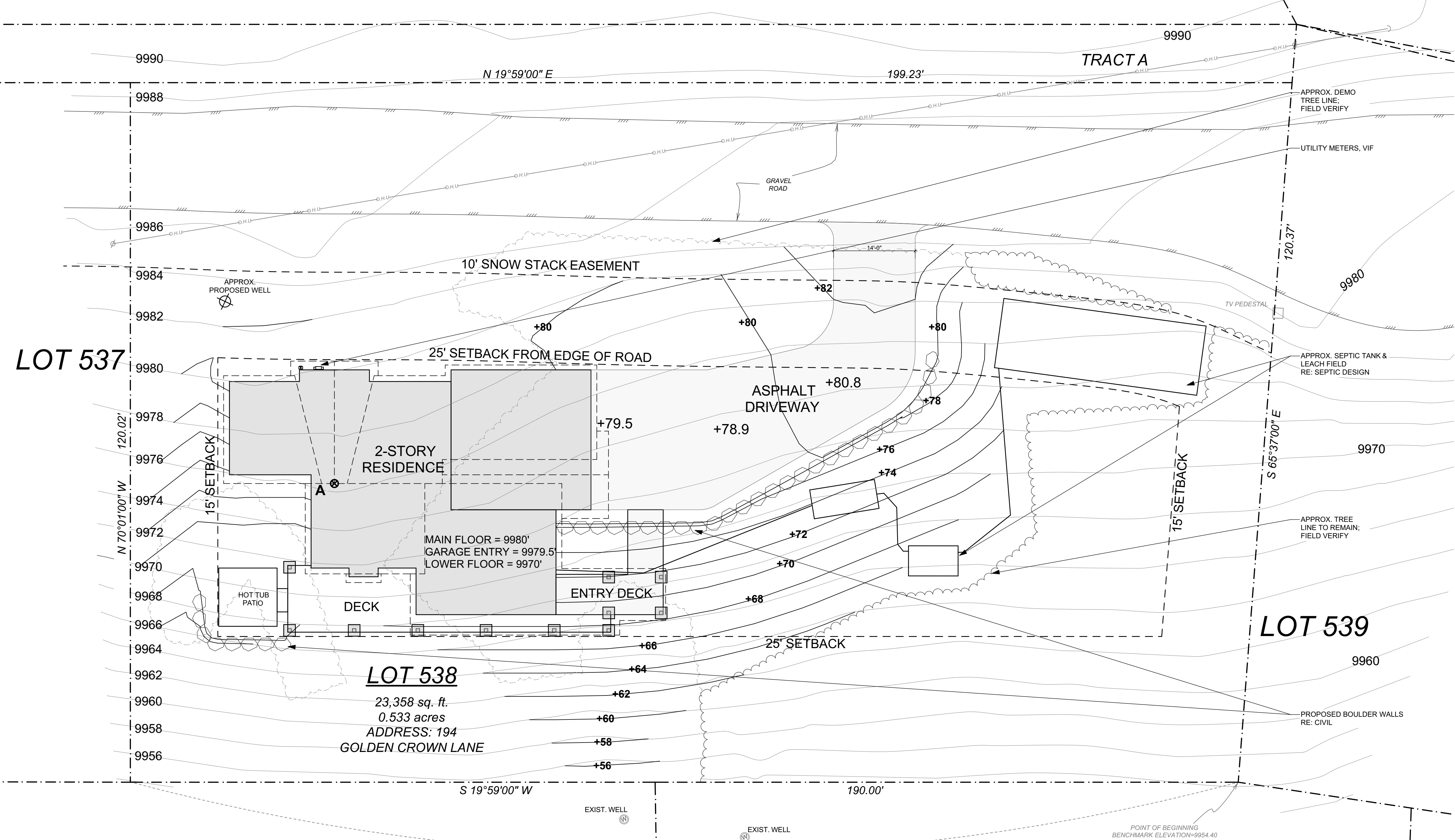
194 GOLD CROWN LANE
BLUE RIVER, CO

SITE PLAN

JOB 2419
DWN BY GP
ISSUE 05/01/2025 - PERMIT
05/12/2025 - PLANNING

SHEET

A-2



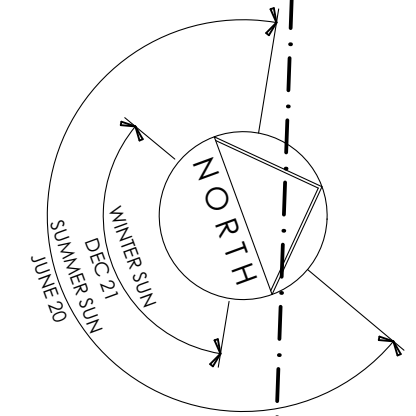
SITE AREA CALCULATIONS

APPROX. EXIST. TREES AREA:	11,752 SF (100%)
APPROX. REMAINING TREES AREA:	4,228 SF (36%)

NOTE
 UPON COMPLETION OF THE CONSTRUCTION PROJECT, ALL LAND MUST BE RAKED AND RESEEDED WITH NATIVE SEED.

HEIGHT CALCS

POINT (ELEVATION)	NATURAL GRADE	FINISHED GRADE	MEASURED FROM	ROOF ELEVATION	CALCULATION	HEIGHT
A	9,976.5'	9,970.0'	FINISHED GRADE	10,000.1'	10,000.1'-9,970.0'	30.1'

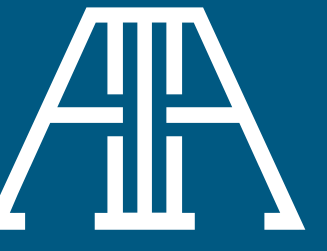
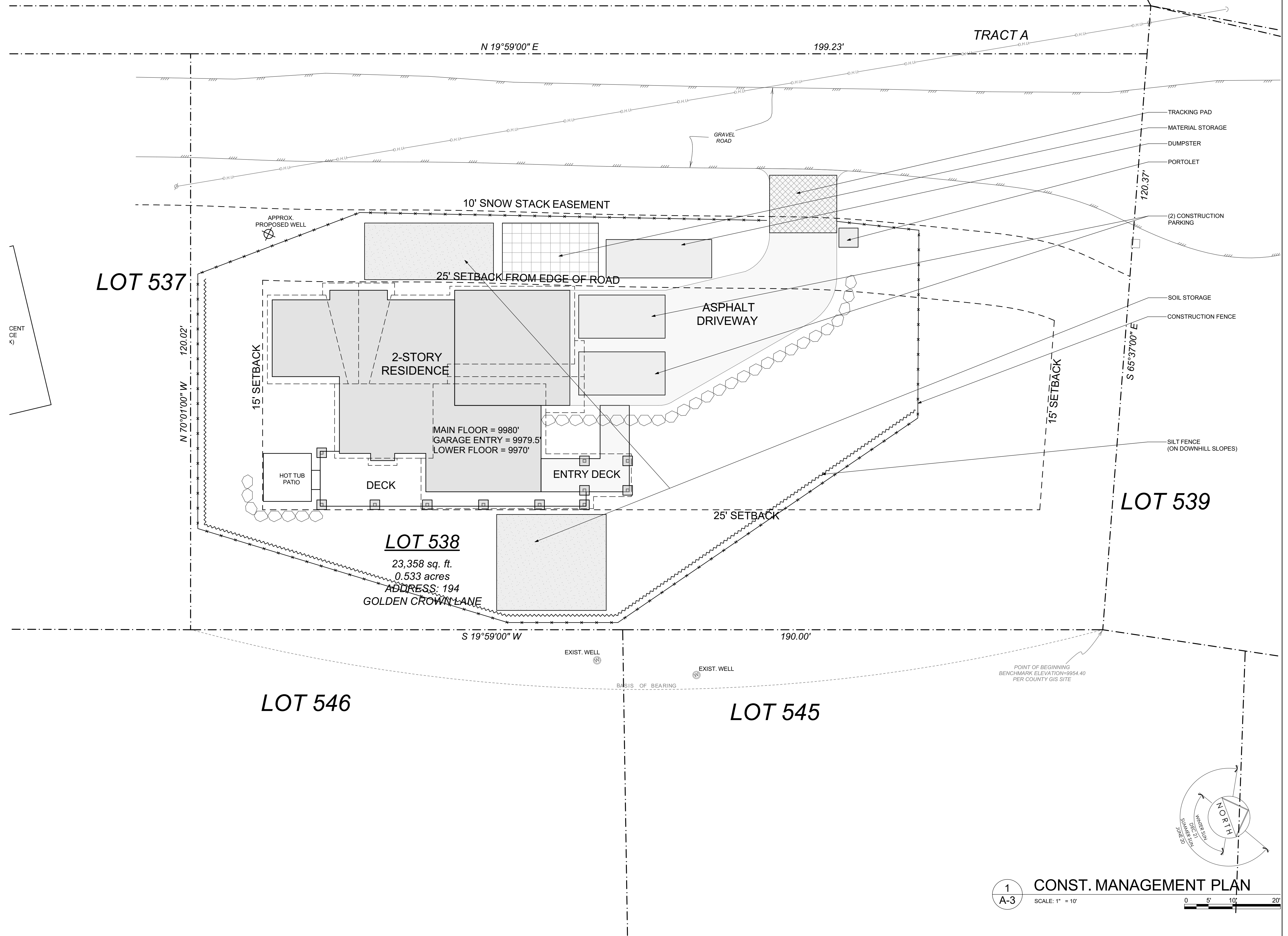


1 SITE PLAN
 A-2 SCALE: 1" = 10'

FILE: G:\A\Arch\Projects\2024-2025\2419 - Powers Betz Residence\Drawings\A-2.dwg - POWERS BETZ RESIDENCE.dwg PLOT DATE: 01/13/2025

A TOPOGRAPHIC MAP OF
LOT 538, THE CROWN
 GOOSE PASTURE TARN-BLUE RIVER ESTATES, INC.
 TOWN OF BLUE RIVER, SUMMIT COUNTY, COLORADO

GOLD KING PLACER



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194 GOLD CROWN LANE
 BLUE RIVER, CO

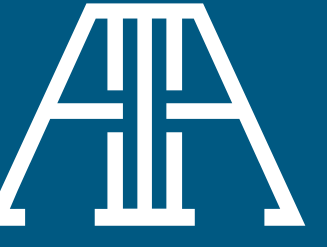
CONST. MNGMT. PLAN

JOB 2419
 DWN BY GP
 ISSUE 05/01/2025 - PERMIT
 05/12/2025 - PLANNING

SHEET

1
 A-3
CONST. MANAGEMENT PLAN
 SCALE: 1" = 10'

A-3



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POWERS BETZ RESIDENCE

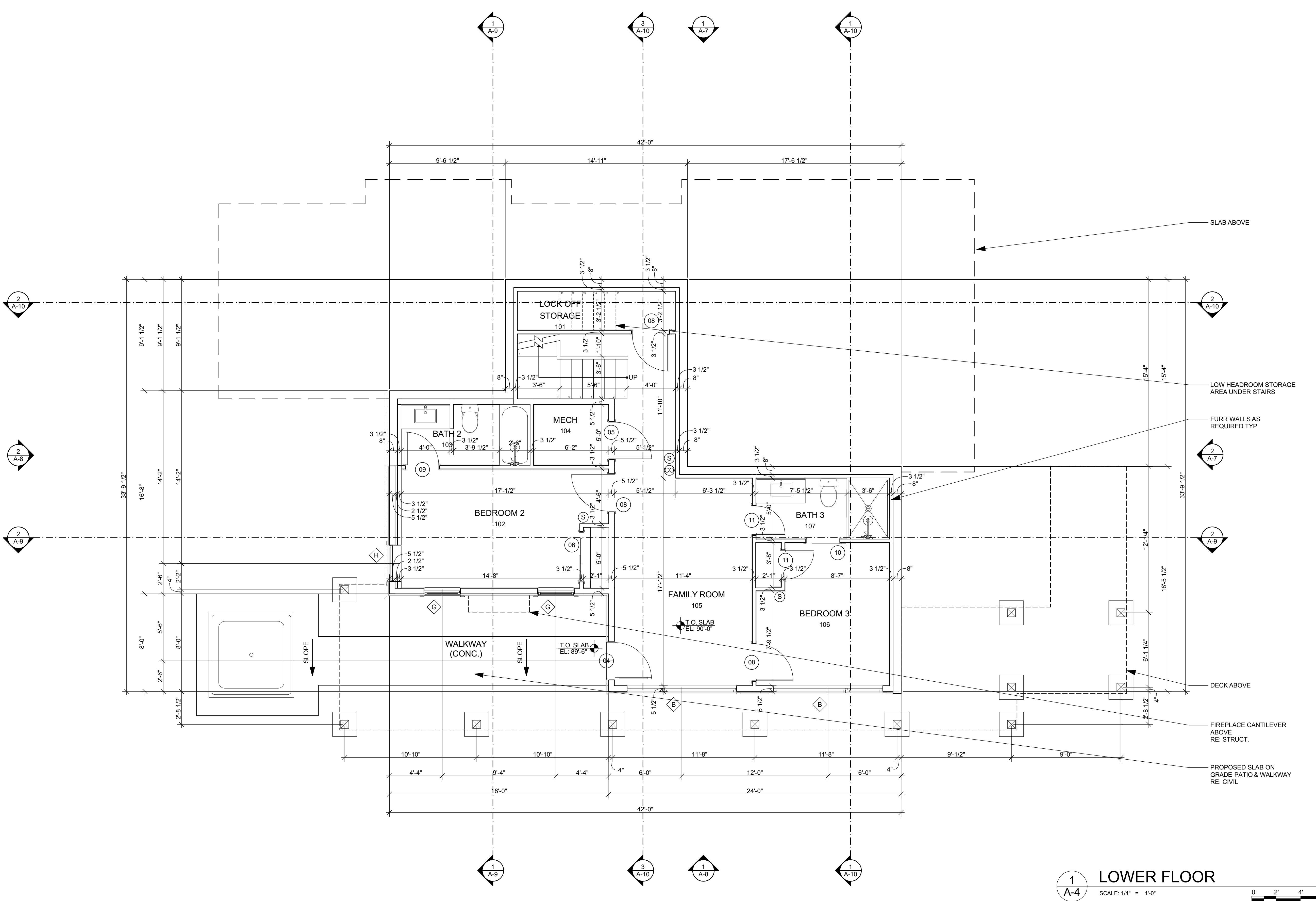
194 GOLD CROWN LANE
BLUE RIVER, CO

LOWER FLOOR PLAN

JOB 2419
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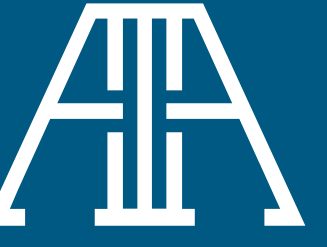
SHEET

A-4



1 LOWER FLOOR
 SCALE: 1/4" = 1'-0"
 0 2' 4' 8'

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ROOF VENTING CALCULATIONS		
AREA	REQUIRED VENTING*	PROPOSED VENTING
ATTIC 1	1044 SQ. FT./300 = 3.48 SQ FT = 501.1 SQ. IN	503.0 SQ. IN
INTAKE AREA:	MIN. 50% OF TOTAL	225 SQ. IN. (25 L.F.) + 36 SQ. IN (12 CIRC. VENTS) 52%
EXHAUST AREA:	40 - 50% OF TOTAL	242 SQ. IN. (22 L.F.) 48%
ATTIC 2	632 SQ. FT./150 = 4.21 SQ FT = 606.7 SQ. IN	670.0 SQ. IN
INTAKE AREA:		252 SQ. IN. (28 L.F.)
EXHAUST AREA:		418 SQ. IN. (38 L.F.)
ATTIC 3	288 SQ. FT./150 = 1.92 SQ FT = 276.5 SQ. IN	298.0 SQ. IN
INTAKE AREA:		144 SQ. IN. (16 L.F.)
EXHAUST AREA:		154 SQ. IN. (14 L.F.)

*NOTE: IRC 2018 - R806.2 (EXCEPTION):
THE NET FREE CROSS-VENTILATION AREA SHALL BE PERMITTED TO BE 1/300 OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:

1. IN CLIMATE ZONES 6, 7, AND 8, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING
2. NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

POWERS BETZ RESIDENCE

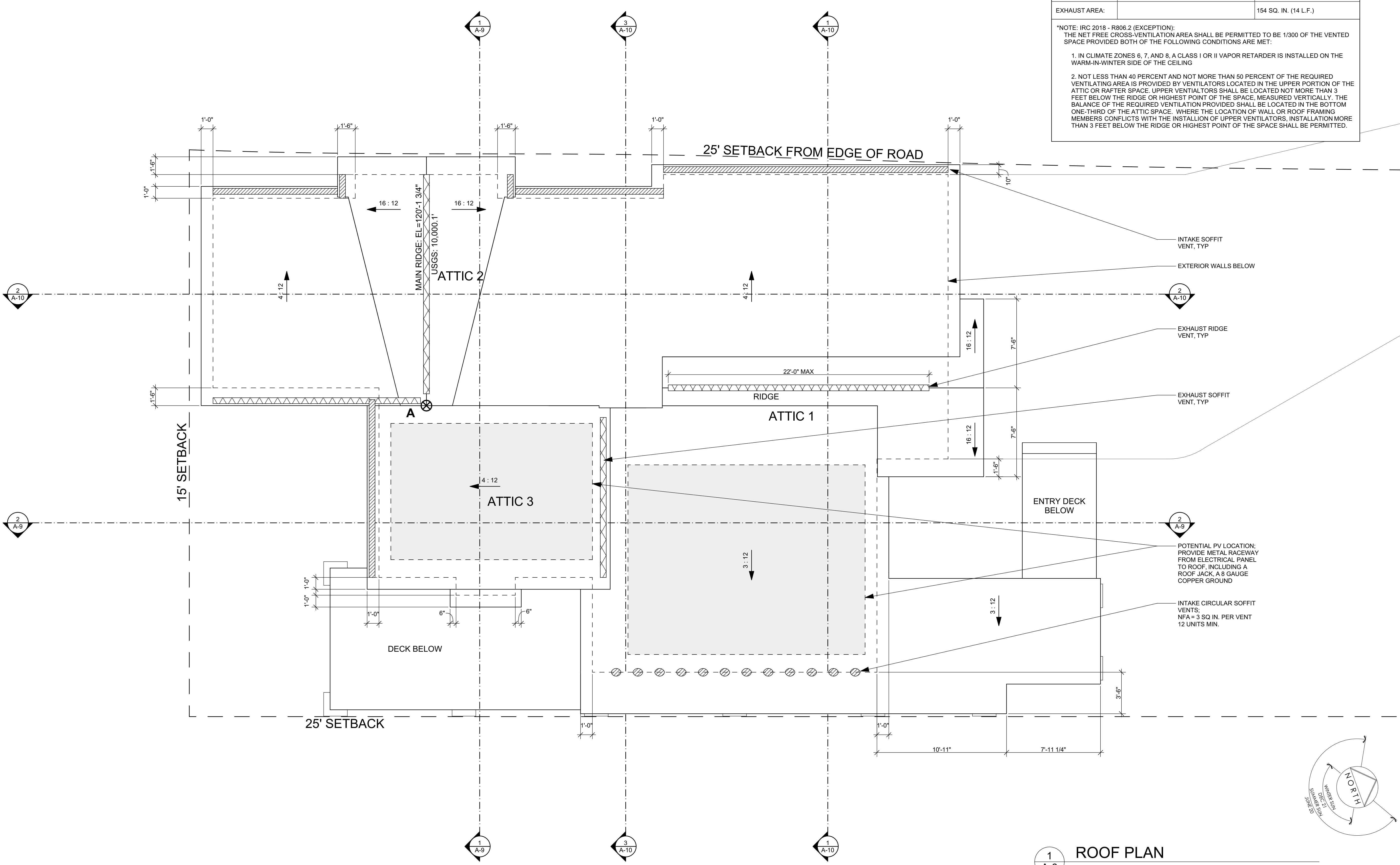
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ROOF PLAN

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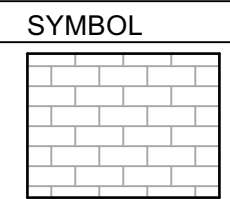
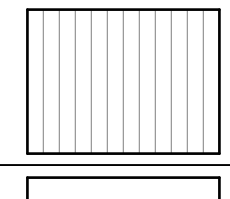

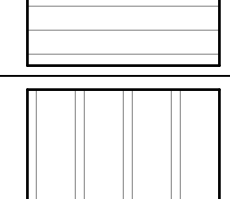
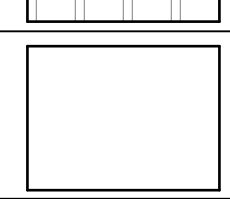
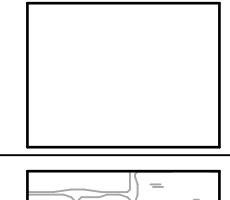
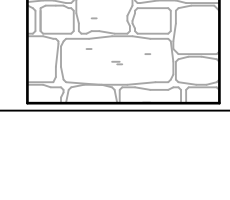


SHEET

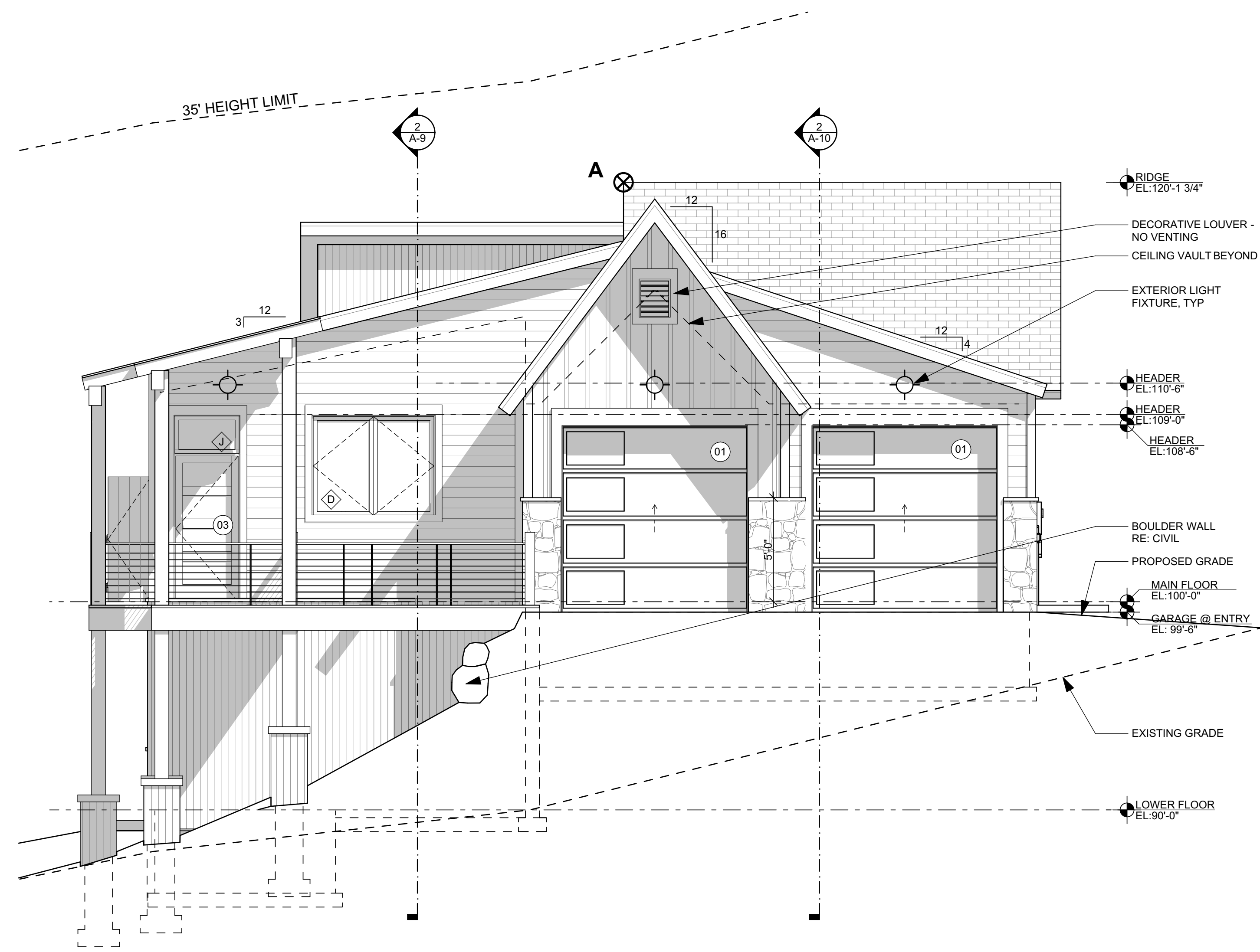
A-6



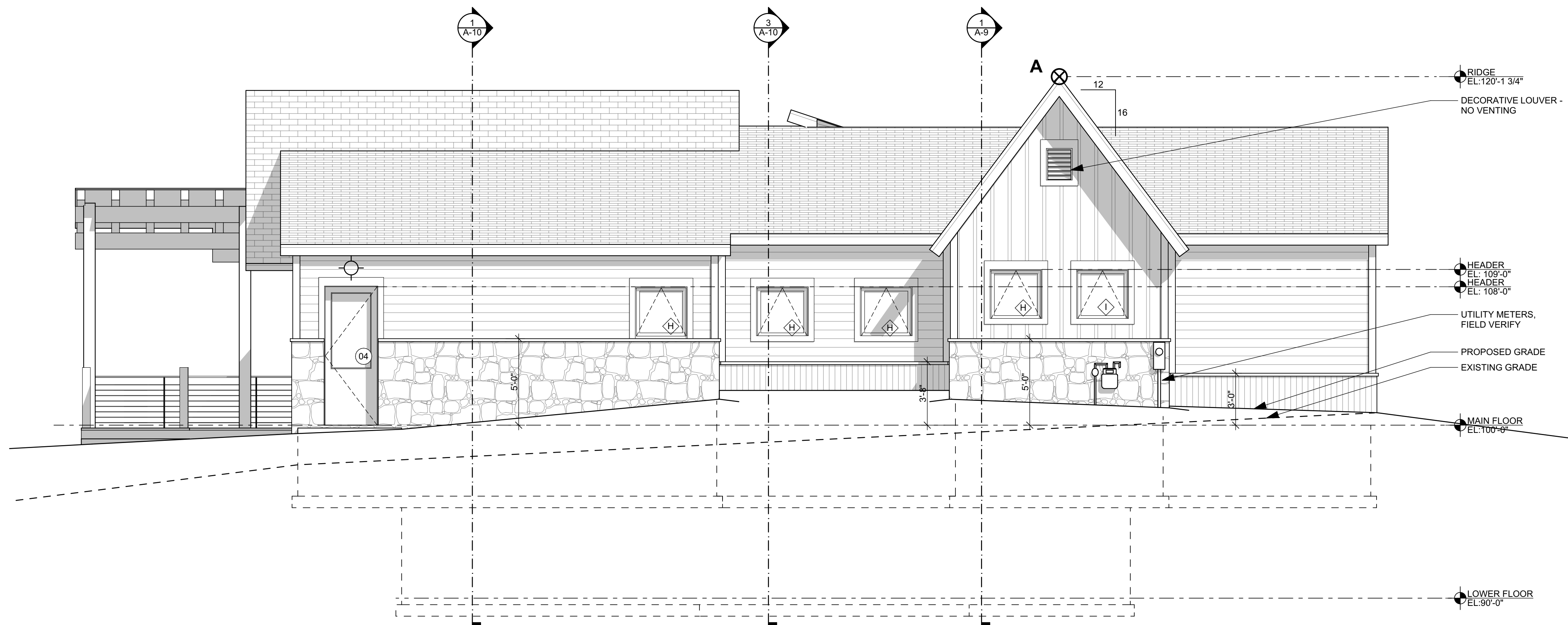
1 ROOF PLAN
A-6 SCALE: 1/4" = 1'-0"
0 2' 4' 8'

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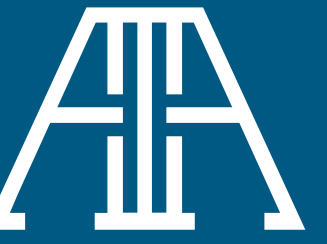
EXTERIOR MATERIALS SCHEDULE			
SYMBOL	ITEM	MATERIAL	COLOR
	ROOF:	40 YR. COMP. SHINGLES	↑ PER COLOR BOARD ↓
	ACCENT BASE:	VERT. CORR. METAL	
	EAVE/RAKE: TRIM:	2X10, MTL/DRIP EDGE OUTSIDE CORNER 2X6 INSIDE CORNER 2X4	
	DOOR/WINDOW TRIM:	1X6 W/ 2X HOOD SILL	
	PRIMARY SIDING:	HORIZONTAL CEMENTITIOUS, 6" EXPOSURE	
	ACCENT SIDING 1:	VERTICAL BOARD & BATTEN CEMENTITIOUS 12" O.C.	
	DOORS/WINDOWS:	ALUM. CLAD WOOD, OR COMPOSITE	
	DECKS/RAILS: EXPOSED BEAMS/COL:	COMP. RAILS & NEWELS COMPOSITE DECKING TIMBER	
	ACCENT STONE:	NATURAL STONE; THIN VENEER	



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"
0 2' 4' 8'



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"
0 2' 4' 8'



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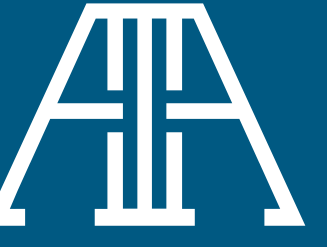
194 GOLD CROWN LANE
BLUE RIVER, CO

BUILDING ELEVATIONS

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SHEET

A-7



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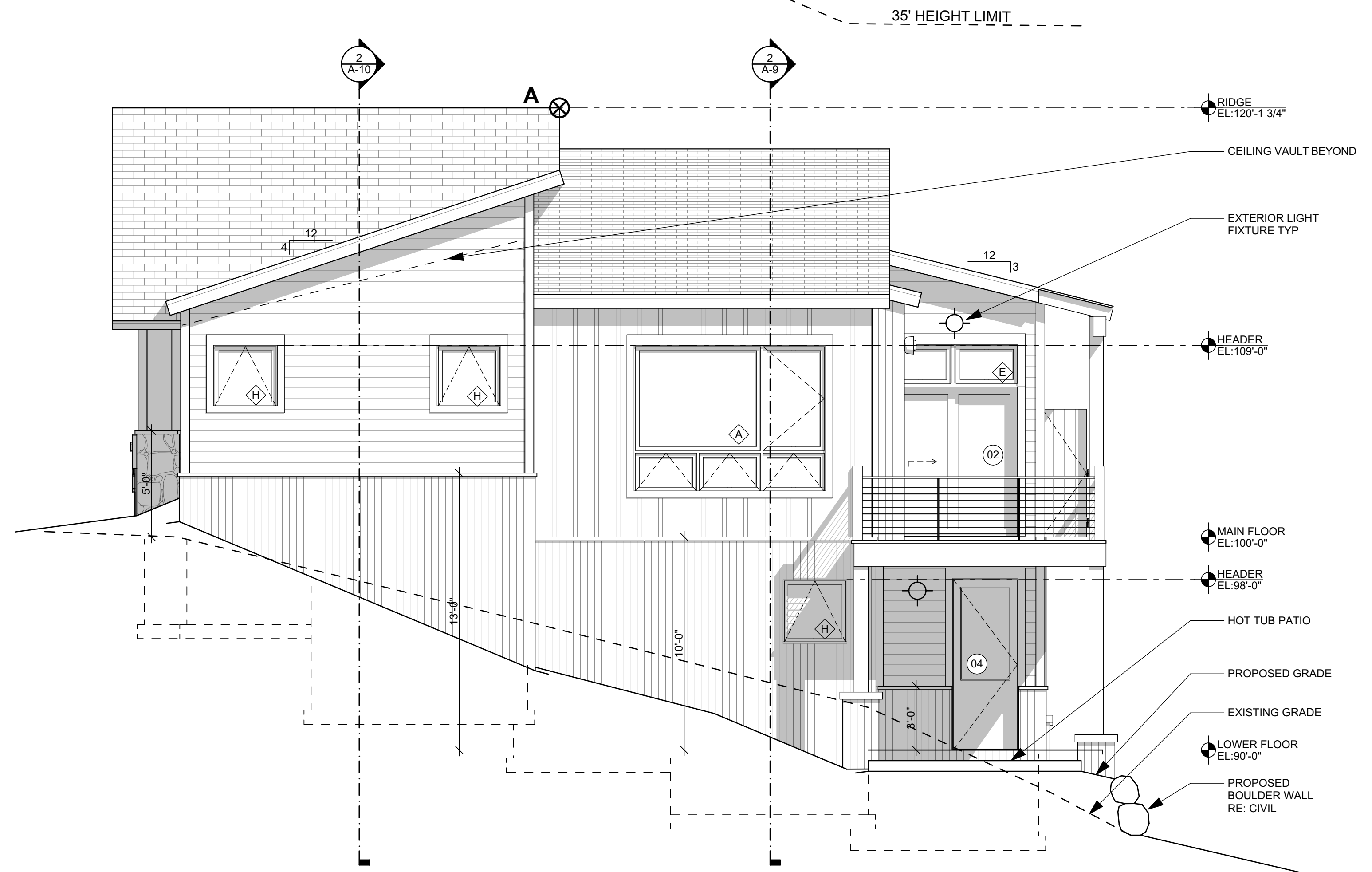
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**BUILDING
ELEVATIONS**

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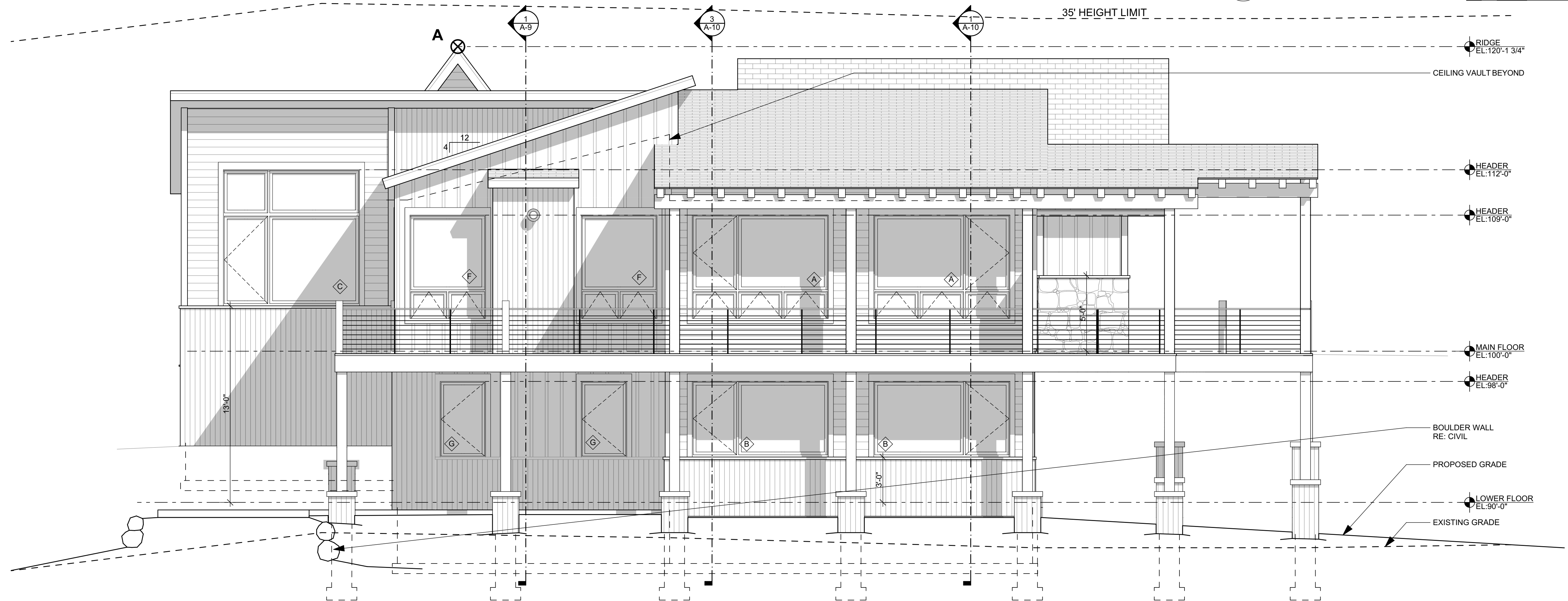
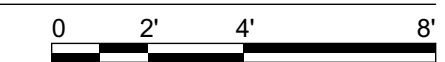
SHEET

A-8



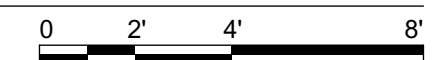
2 SOUTH ELEVATION

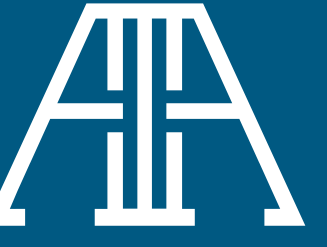
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION

SCALE: 1/4" = 1'-0"





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BUILDING SECTIONS & NOTES

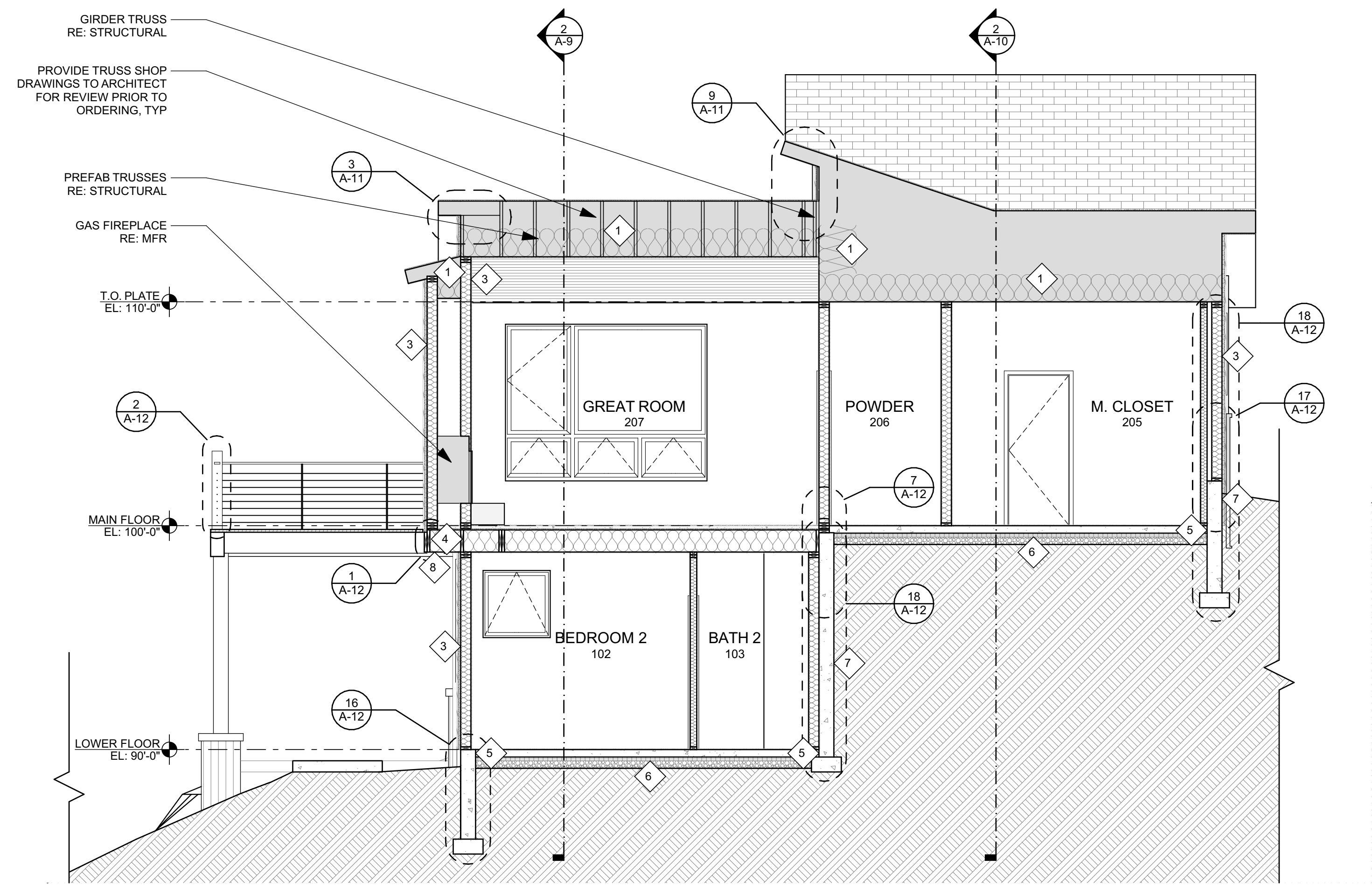
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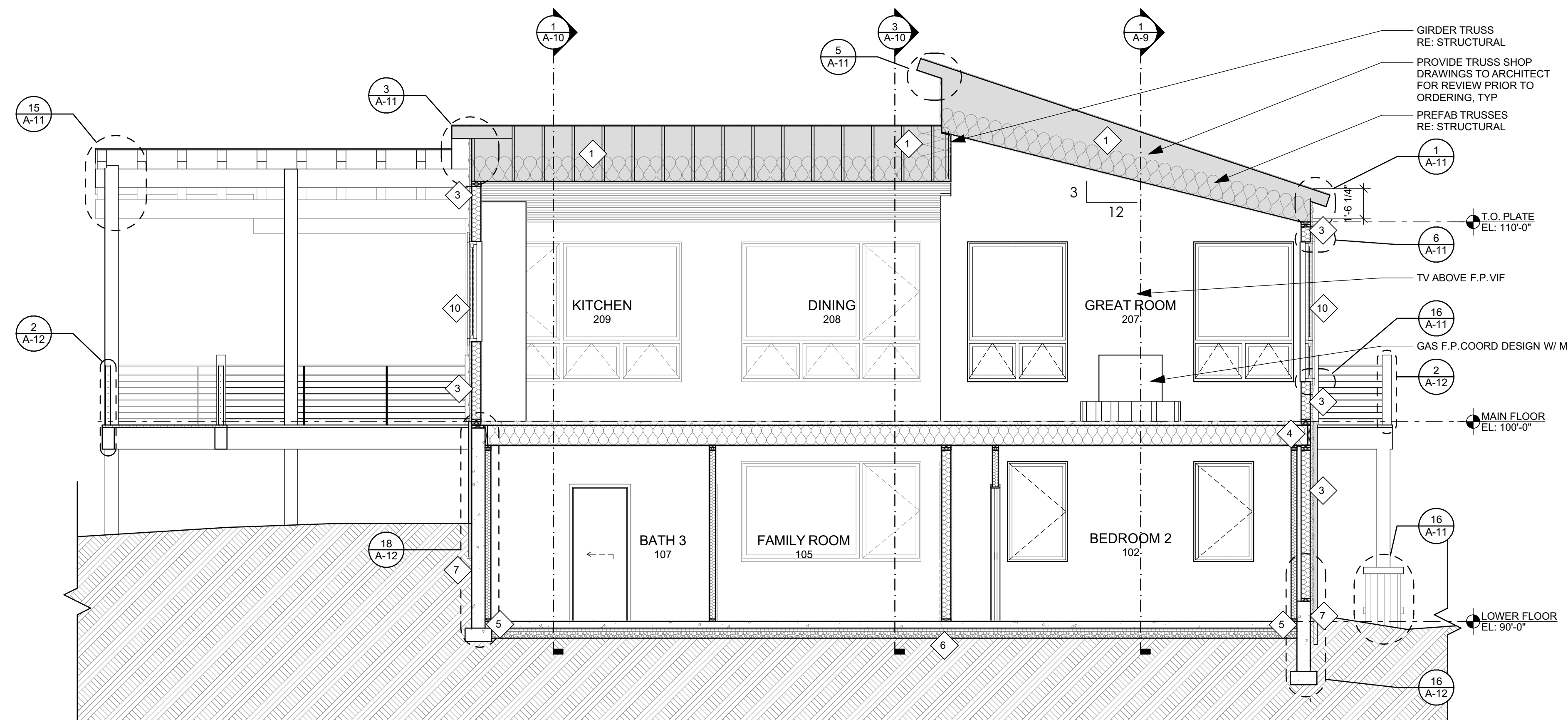
A-9

SECTION NOTES		
REFER TO BUILDING THERMAL LEGEND FOR INSULATION R-VALUES		
TYPICAL ROOF ASSEMBLY	TYPICAL EXTERIOR WALL	TYPICAL INTERIOR INSULATION
RIDGE VENT RE: ROOF PLAN	SIDING (RE: EXT. MTRL. SCHED.)	R-11 BATT SOUND INSULATION @ ALL INTERIOR WALLS, CEILINGS & FLOORS
COMP. SHINGLE - 325 LB. ROOF SQUARE	STRUCTURAL INSULATED PANEL (SIP) RE: THERMAL LEGEND	TYPICAL STAIR
PAINTED METAL FLASHING @ ALL VALLEYS, EDGES, ROOF & WALL CONNECTIONS	2X6 STUDS @ 16" O.C.	36" MIN. CLEAR WIDTH @ STAIR RUN & LANDING
CONTINUOUS BITUTHENE ICE & WATER SHIELD	BLOWN-IN INSULATION	7 3/4" MAX. RISE
5/8" CDS SHEATHING	6 MIL POLY VAPOR BARRIER	10" MIN. TREAD
RAFTERS/BEAMS PER STRUCT.	5/8" TYPE 'X' GYP BD	1 1/2" DIA. HANDRAIL @ 36" ABOVE NOSING
BATT INSULATION W/INSULATION BAFFLES FOR CONT. EAVE TO RIDGE AIR FLOW	INT. FINISH PER SCHEDULE	4" MAX. GAP @ GUARDRAIL
SPRAY FOAM INSULATION @ TRUSS HEELS W/ INSUFFICIENT DEPTH FOR BATT INSULATION	TYPICAL FLOOR /CLG. ASSEMBLY	TYP. GRG./LIVING SEPARATION
6 MIL POLY VAPOR BARRIER	INT. FINISH PER SCHEDULE	5/8" "X" GYP. BD. TO WRAP ALL STRUCT. MEMBERS
INT. FINISH PER SCHEDULE	1 1/2" GYPCRETE W/ HYDRONIC TUBING	5/8" "X" GYP. BD. CONT. BETWEEN GARAGE & LIVING SPACE
3/8" PLYWOOD SOFFIT W/ SOFFIT VENT RE: ROOF PLAN	3/4" T&G APA RATED SHING GLUE & NAIL EACH JOIST PER MFR	INSULATION RE: THERMAL LEGEND
TYPICAL FOUNDATION	JOISTS - RE: STRUCT.	20 MIN. FIRE RATED DOOR W/ WEATHER STRIPPING, THRESHOLD & AUTO CLOSER
CONC. WALL & FTG - RE: STRUCT.	EXT FLOOR RIM INSULATION RE: THERMAL LEGEND	TYPICAL MECH. SYSTEM
SLOPE FIN. GRADE AWAY FROM WALL	FLR & CLG FINISHES PER FINISH SCHEDULE	GAS - FIRED HIGH EFFICIENCY BOILER W/ RADIANT TUBING IN CONC. SLAB & GYPCRETE
INSUL. & WATERPROOFING ON WALL AT LIVING SPACE BELOW GRADE	TYPICAL CONCRETE SLAB	DOMESTIC HOT WATER EXCHANGER FROM BOILER SIZED FOR ANTICIPATED USE
4" PERF. PVC DRAIN SET IN 3/4" DIA. WASHED GRAVEL BED @ FOOTING - SLOPE TO DRYWELL OR DAYLIGHT	4" REINF. CONC. W/ PERPENDICULAR CONTROL JOINT ON 4" COMPACTED GRAVEL FILL W/ RADON MITIGATION VENT SYSTEM; RE: STRUCT.	
TYPICAL STONE BASE	TYPICAL VENT	
DRystack MOSS ROCK ON BUILDING FELT W/ GALV. TIES	BATHROOM FANS, DRYER VENTS & KITCHEN HOODS TO VENT TO EXTERIOR	
SLOPED STONE CAP, 2:12 MIN.	CONT. VENT BEHIND REFRIGERATOR	
4" X 4" X 3/8" STL. ANGLE CONT. W/ 3/4" DIA. X 6" EXP. BOLTS @ 32" O.C.	1 CONT. VENT PER UNIT MUST EXCHANGE AIR AT 60CFM PER 2018 IRC TABLE M1505.4.3(1)	
TYPICAL VALLEY FLASHING	TYPICAL ROOF/WALL FLASHING	
(2) LAYERS ICE & WATER SHIELD 36" UP EACH SIDE OF VALLEY	EXTEND ICE & WATER SHIELD 2'-0" MIN. UP WALL	
8" X 8" MTL. FLASHING - OVERLAP W/ HOUSE WRAP	8" X 8" MTL. FLASHING - OVERLAP W/ HOUSE WRAP	

BUILDING THERMAL LEGEND		
KEYNOTE TAG	MIN R-VALUE	MATERIAL NOTES
1	R-60	BLOWN-IN INSUL. CONTINUOUS @ CEILING
2	R-49	SPRAY FOAM INSUL. @ SHALLOW TRUSS HEELS AS REQUIRED
3	R-20 + R-5ci	BATT INSULATION @ CAVITY CONTINUOUS RIGID INSULATION @ EXT. WALLS
4	R-20 + R-5ci	BATT INSULATION @ RIM CAVITY CONTINUOUS RIGID INSULATION @ EXTERIOR RIGID INSULATION @ SLAB EDGE, INSIDE FOUNDATION WALL, BEVELED PER ARCH DETAILS
5	R-5 + R-5	RIGID INSULATION @ SLAB EDGE, OUTSIDE FOUNDATION WALL
6	R-5	RIGID INSULATION CONTINUOUS UNDER SLAB
7	R-13 + R-5ci	CAVITY INSULATION @ FURR WALLS (INT) RIGID INSUL. @ FOUNDATION WALLS (EXT)
8	R-38	BATT INSULATION @ CANTILEVER FLOOR
9	R-20 + R-5ci	BATT INSULATION @ CAVITY CONTINUOUS RIGID INSULATION @ WALLS BETWEEN GARAGE AND LIVING SPACE
10	NA	ALL WINDOWS TO HAVE U-VALUE OF 0.32 MAX

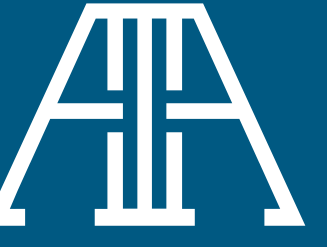


1 SECTION
SCALE: 1/4" = 1'-0"
0 2' 4' 8'



2 SECTION
SCALE: 1/4" = 1'-0"
0 2' 4' 8'

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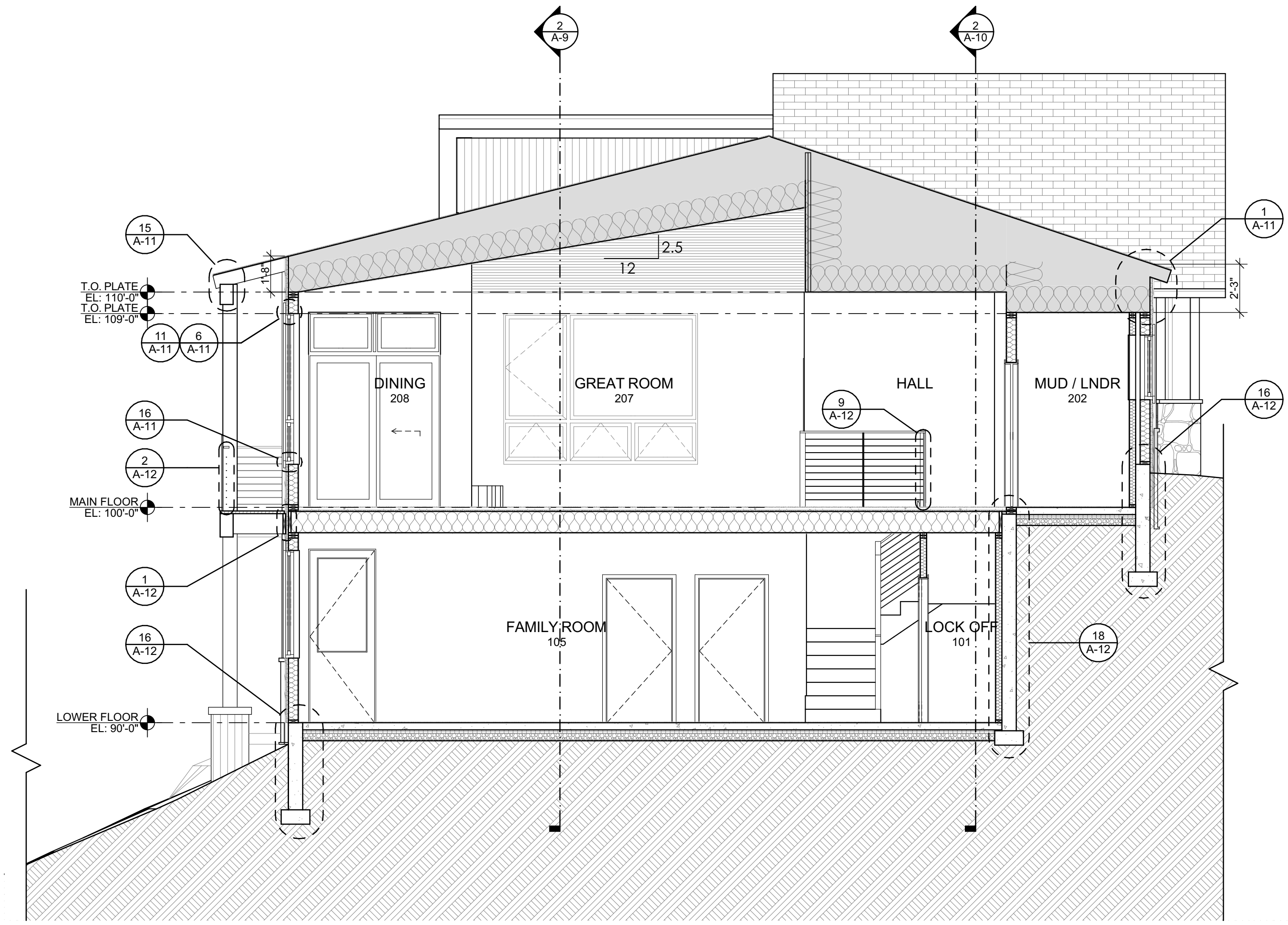
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BUILDING SECTIONS

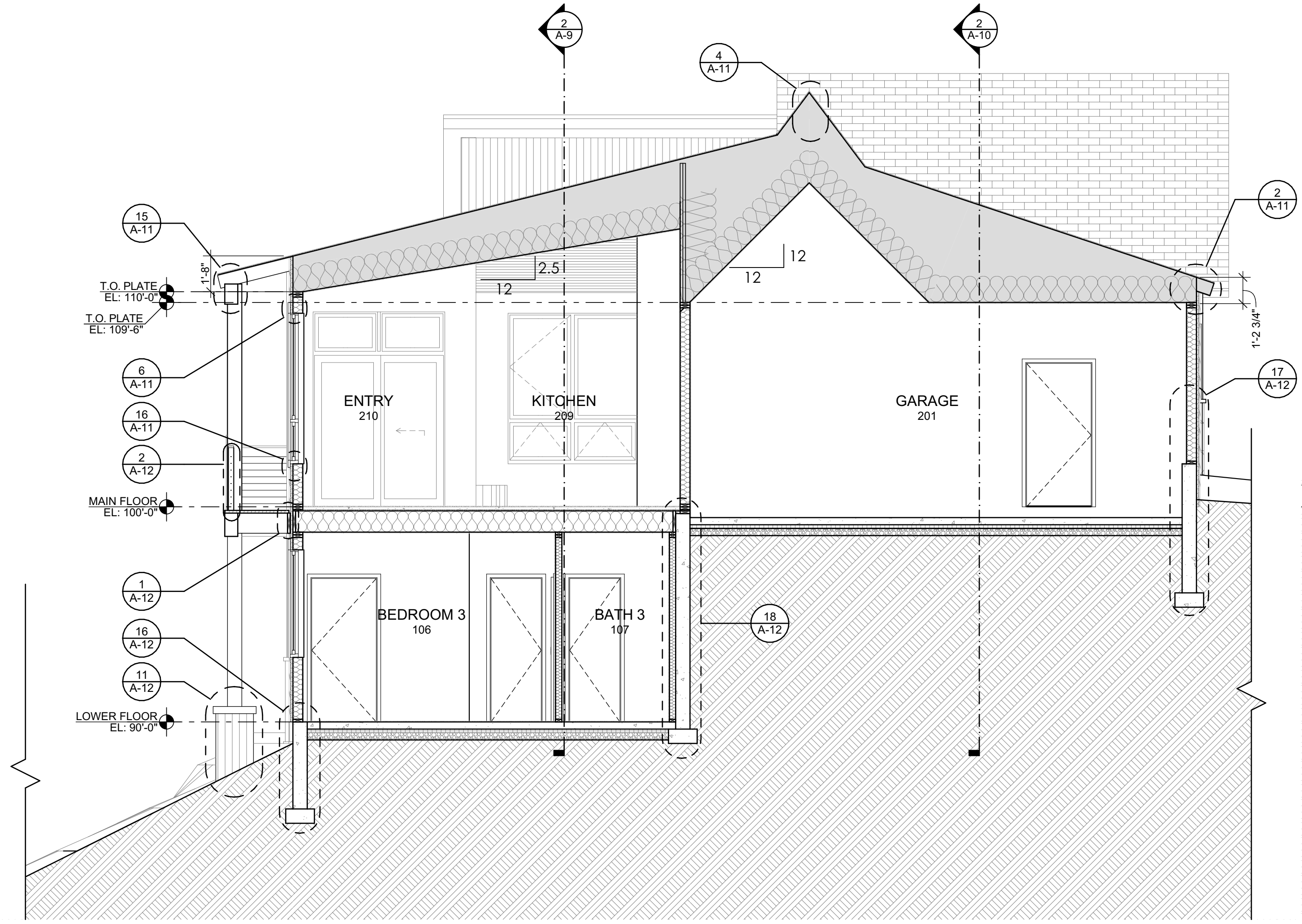
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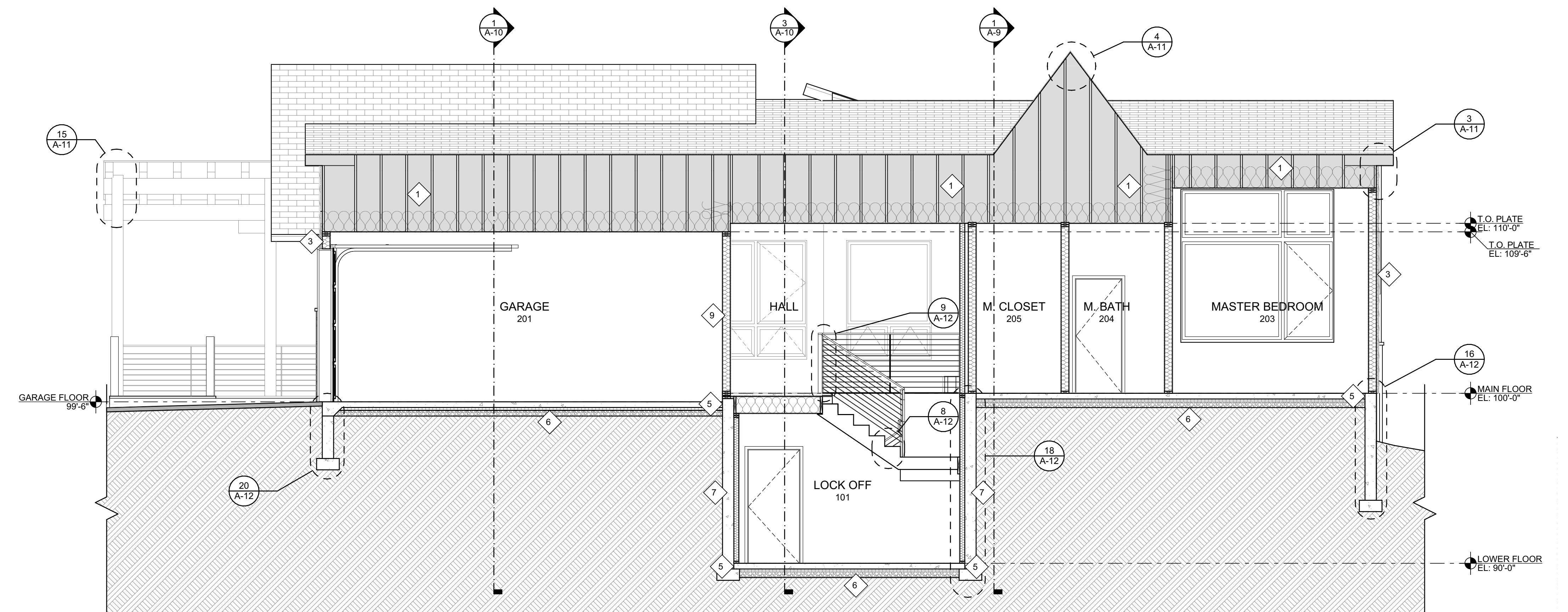
A-10



3 SECTION
A-10 SCALE: 1/4" = 1'-0" 0 2' 4' 8"

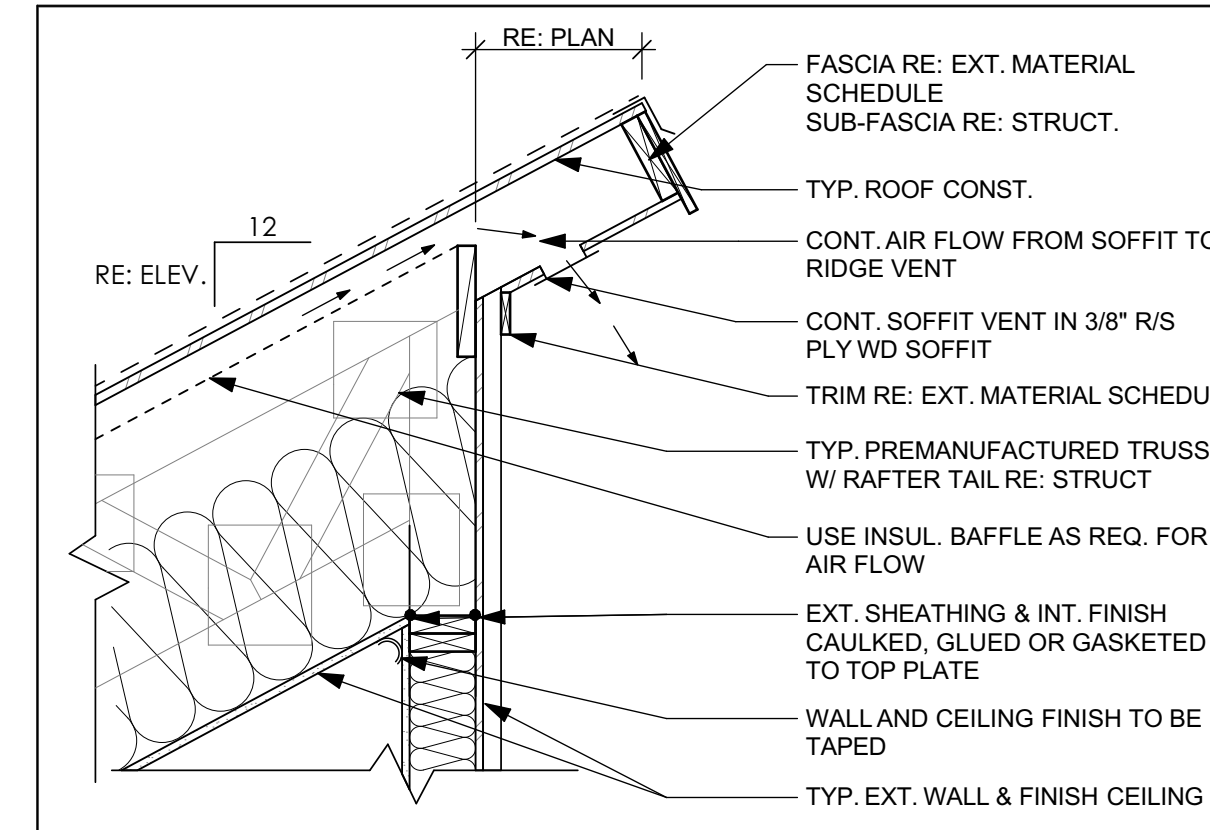


1 SECTION
A-10 SCALE: 1/4" = 1'-0" 0 2' 4' 8"

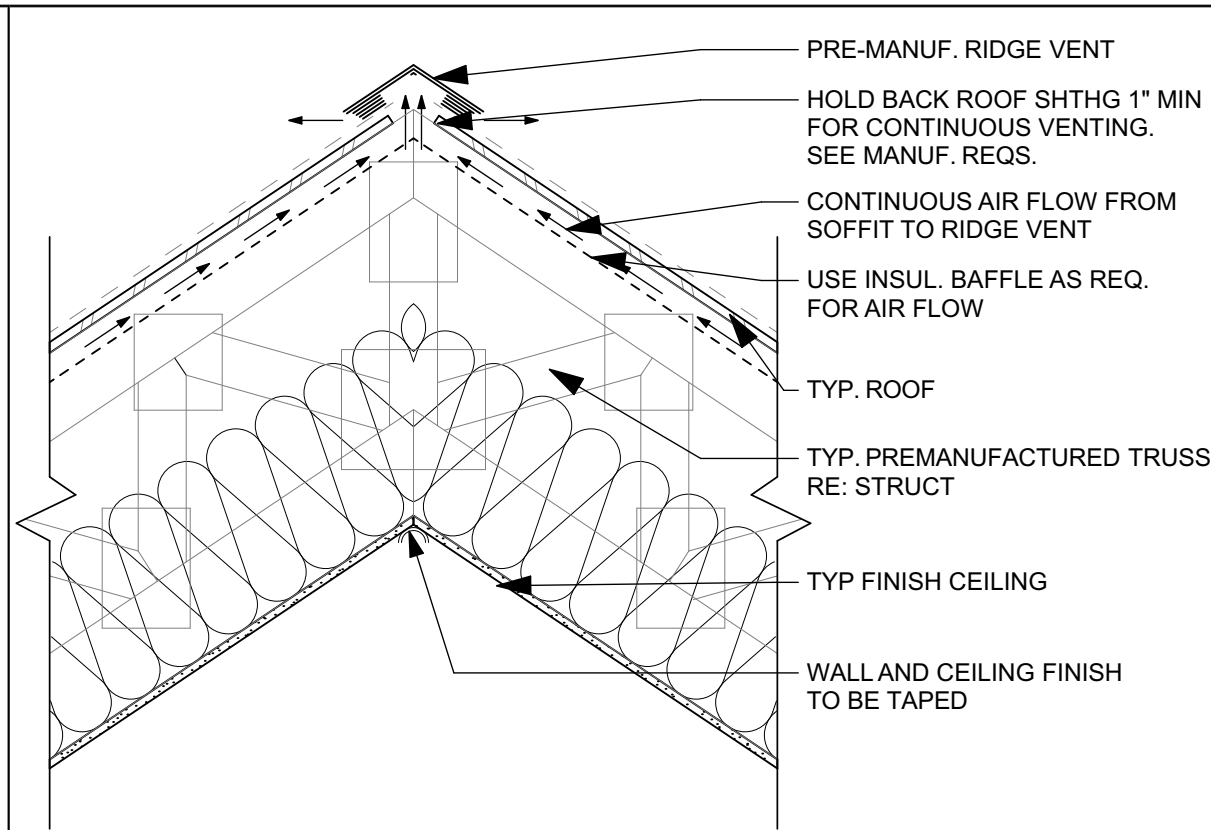


2 SECTION
A-10 SCALE: 1/4" = 1'-0" 0 2' 4' 8"

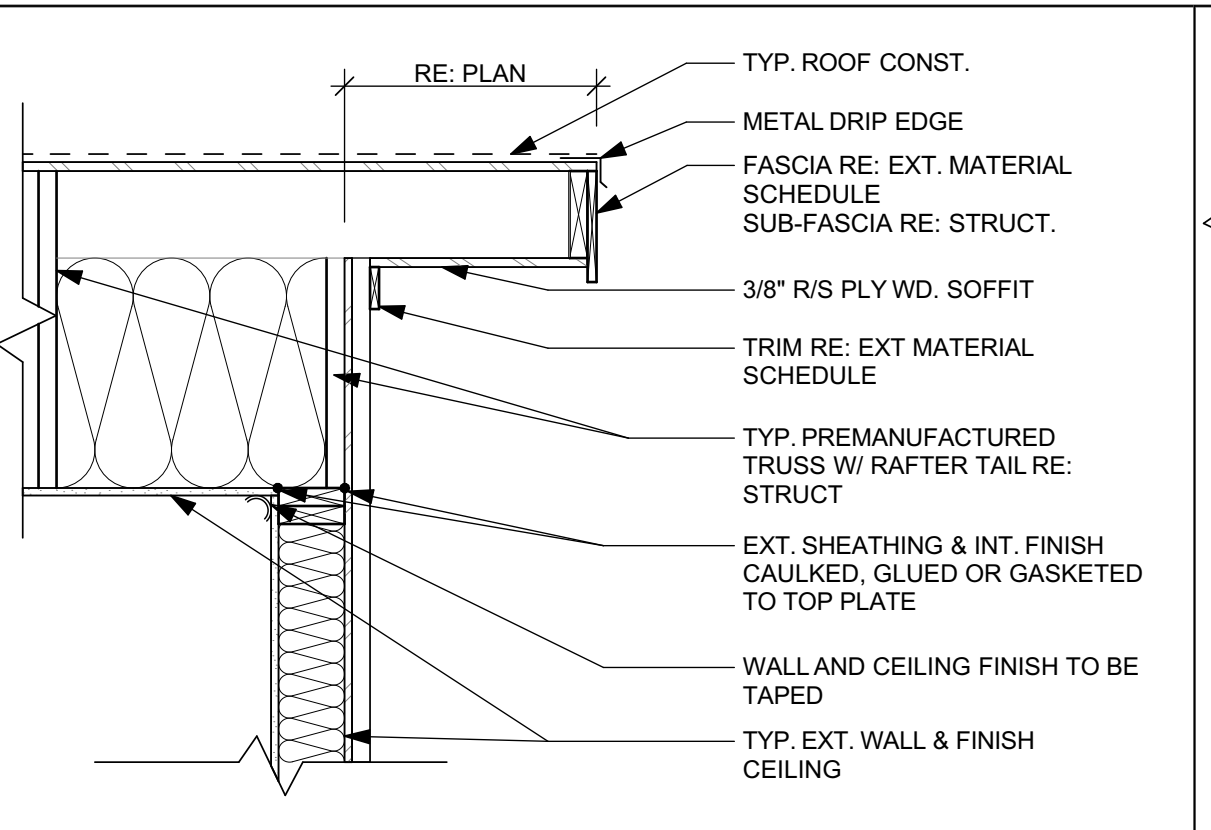
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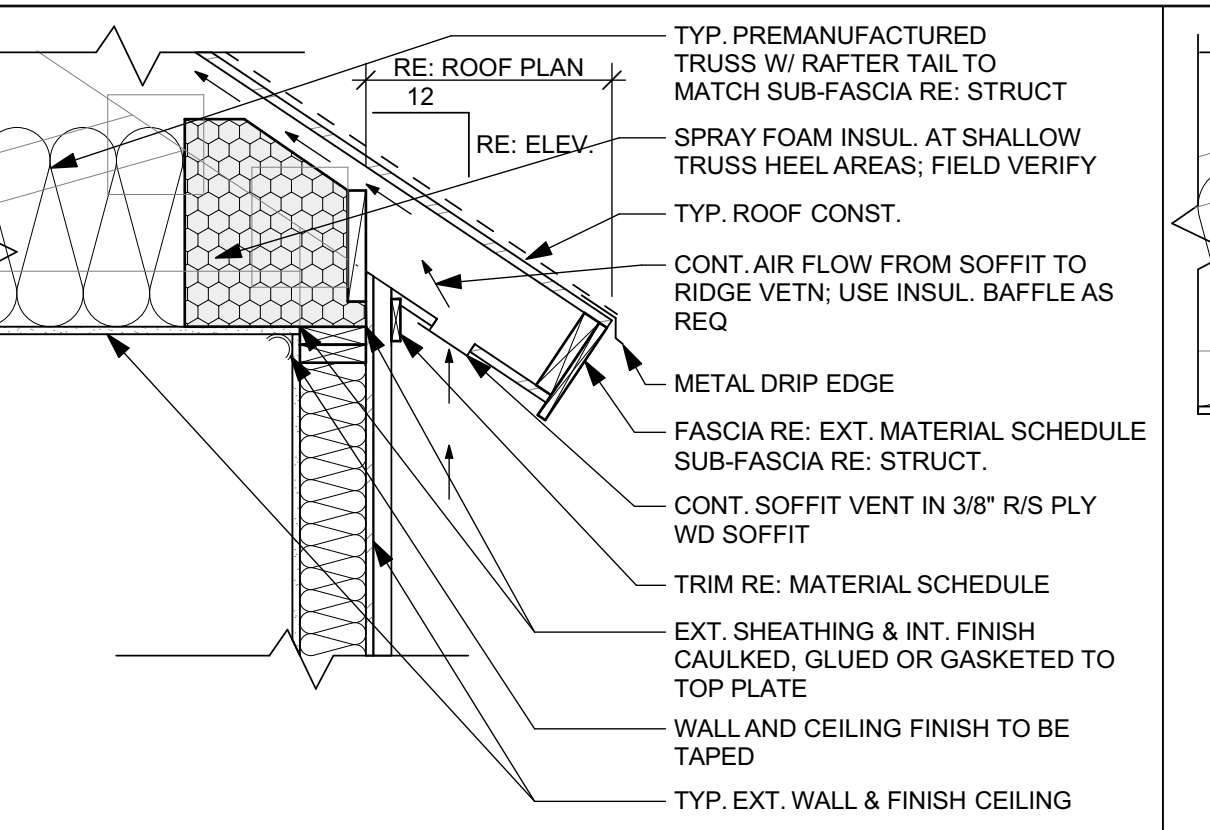
5 SHED ROOF VENT
SCALE: 3/4" = 1'-0"



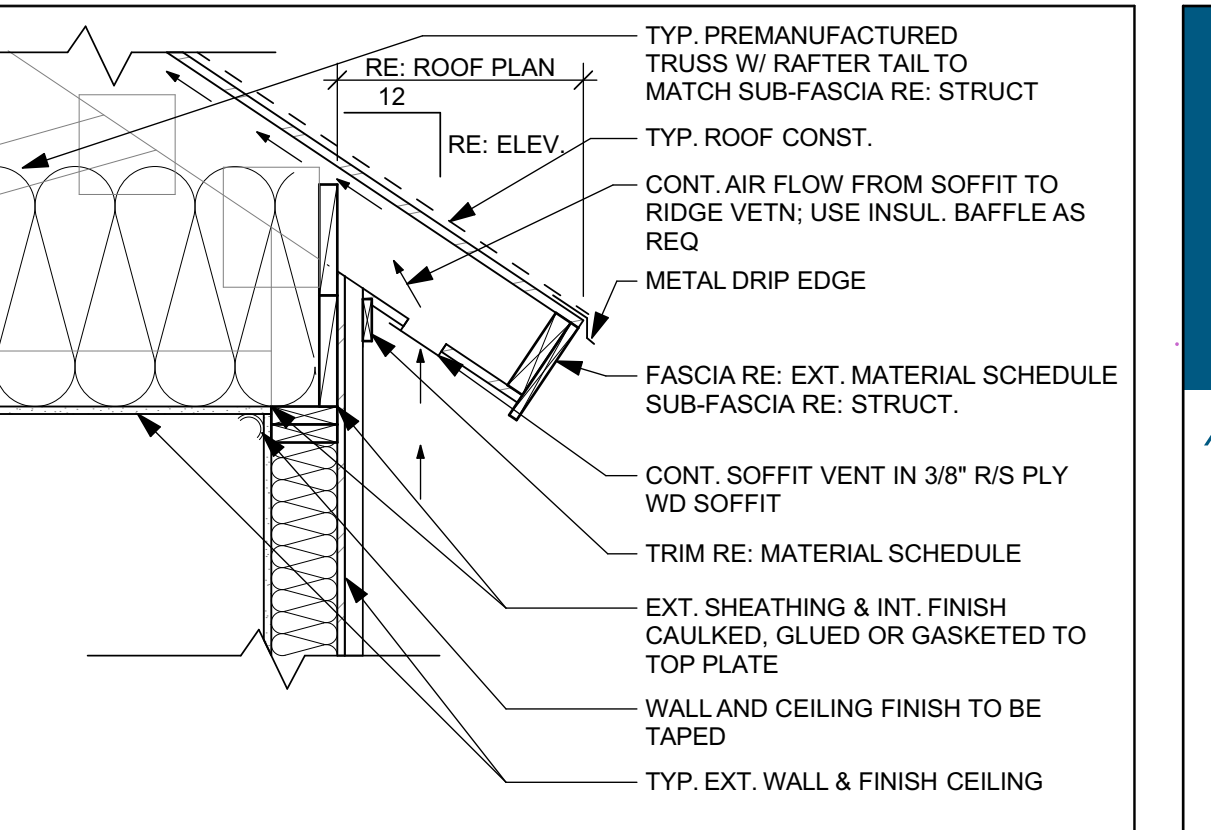
4 RIDGE TRUSS VENT
SCALE: 3/4" = 1'-0"



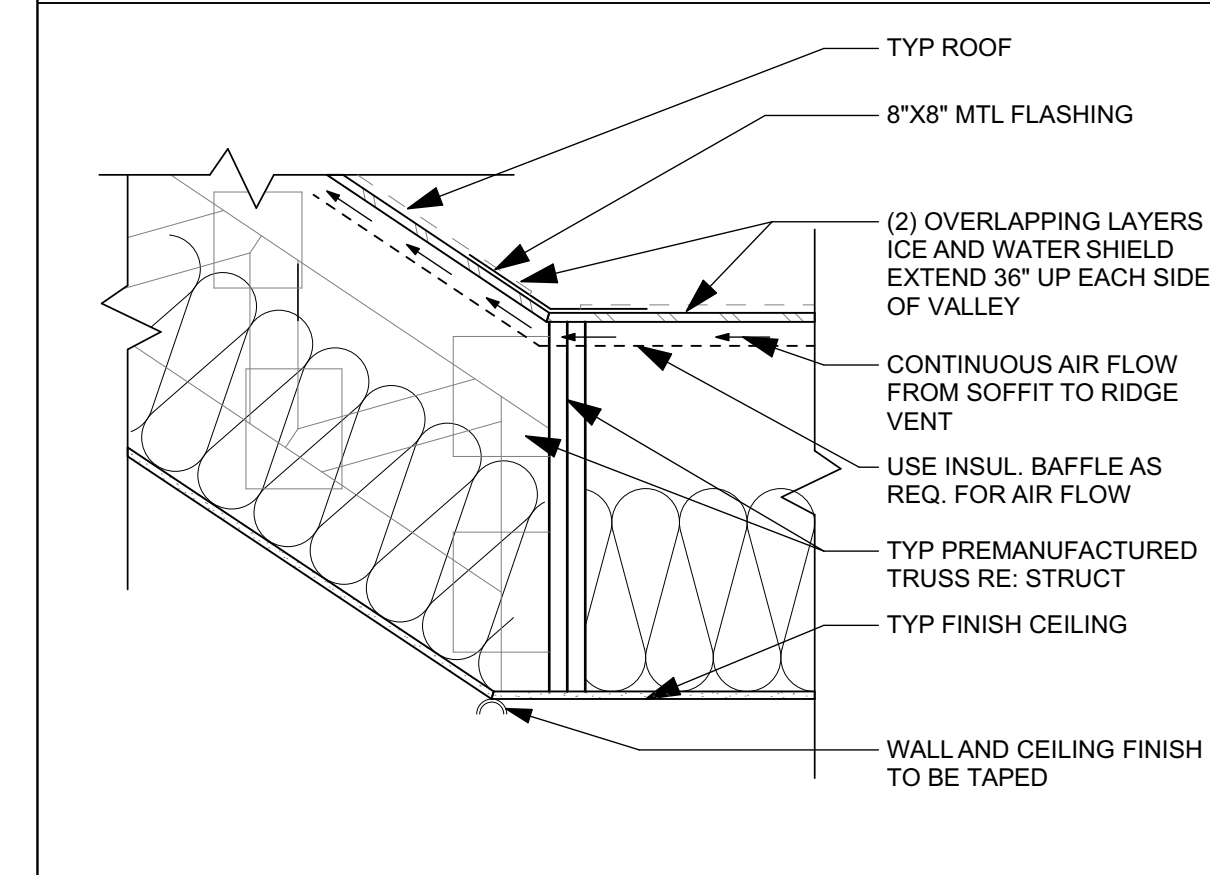
3 RAKE
SCALE: 3/4" = 1'-0"



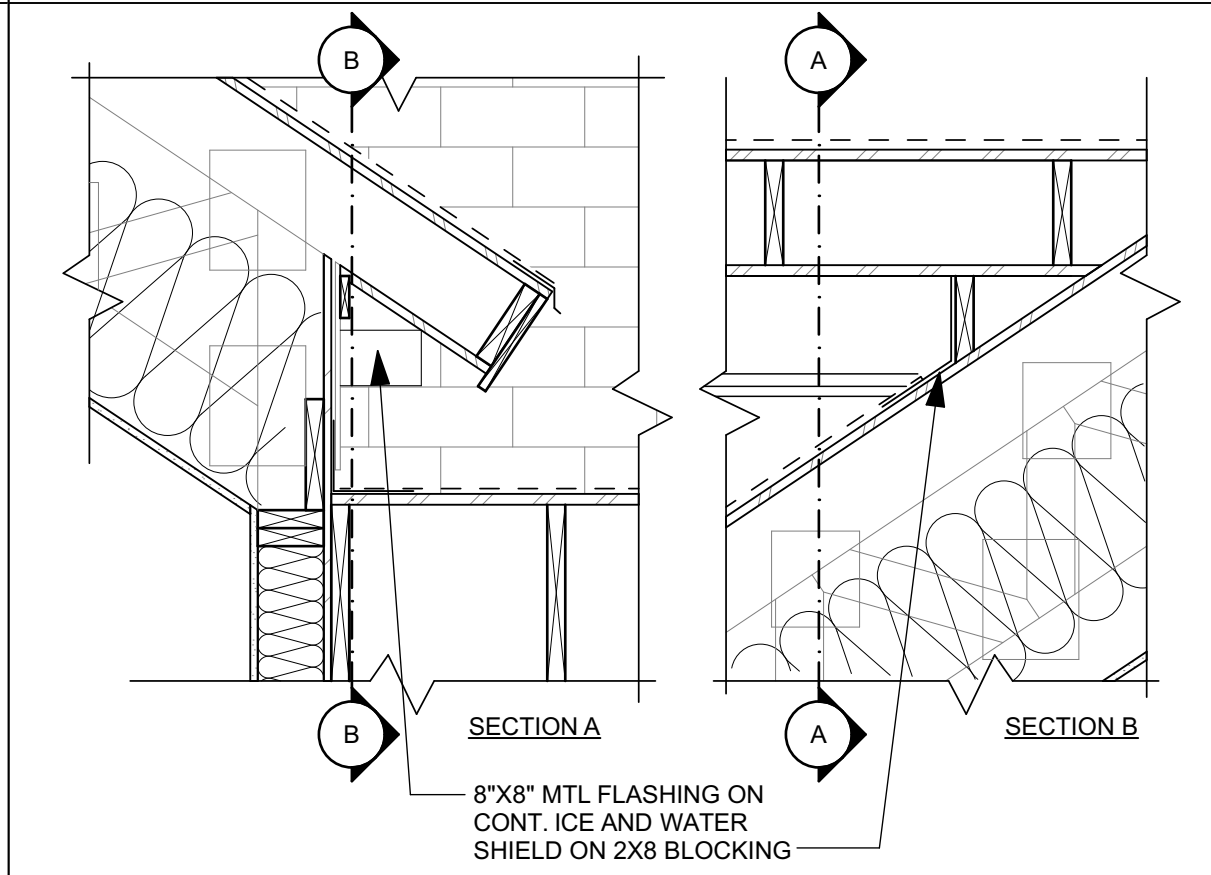
2 EAVE @ SHALLOW HEEL
SCALE: 3/4" = 1'-0"



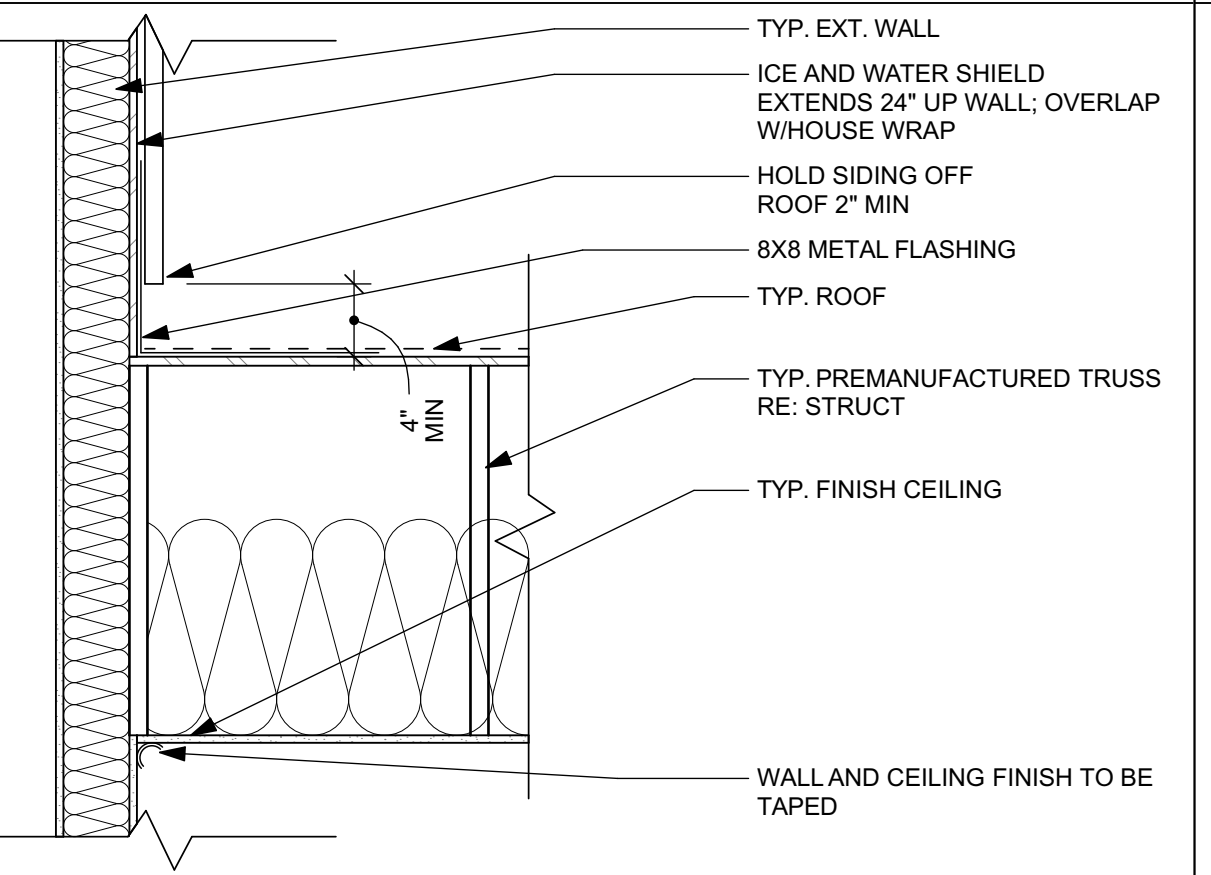
1 EAVE
SCALE: 3/4" = 1'-0"



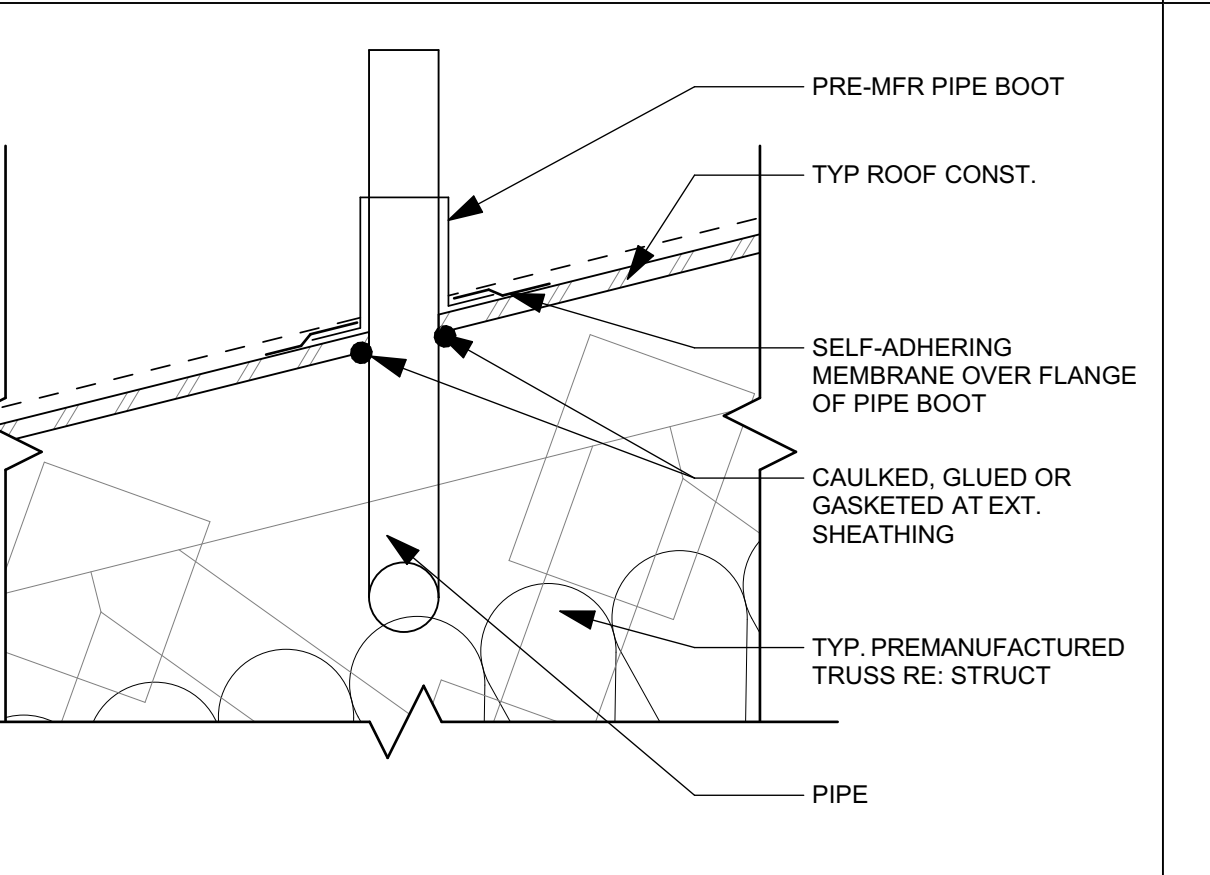
10 ROOF VALLEY
SCALE: 3/4" = 1'-0"



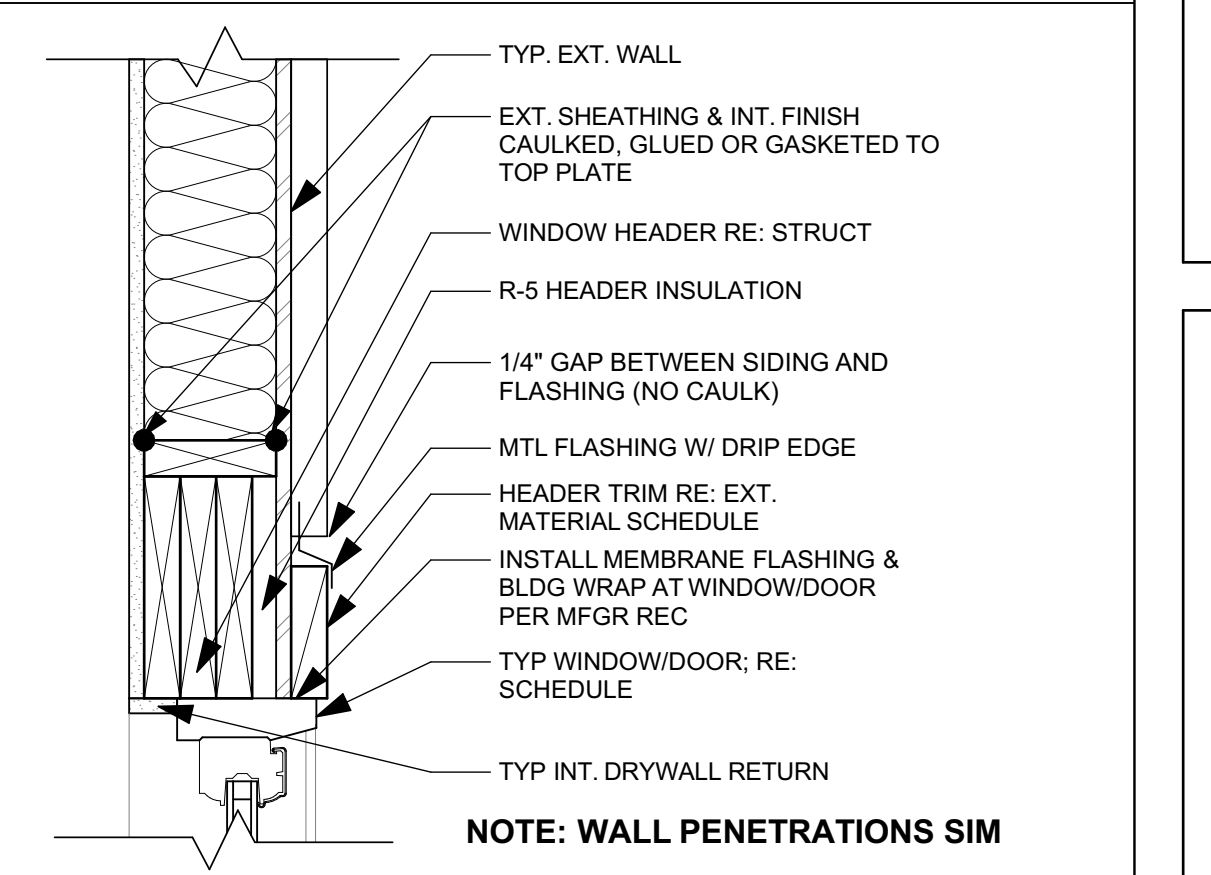
9 EAVE/ROOF INTERSECTION
SCALE: 3/4" = 1'-0"



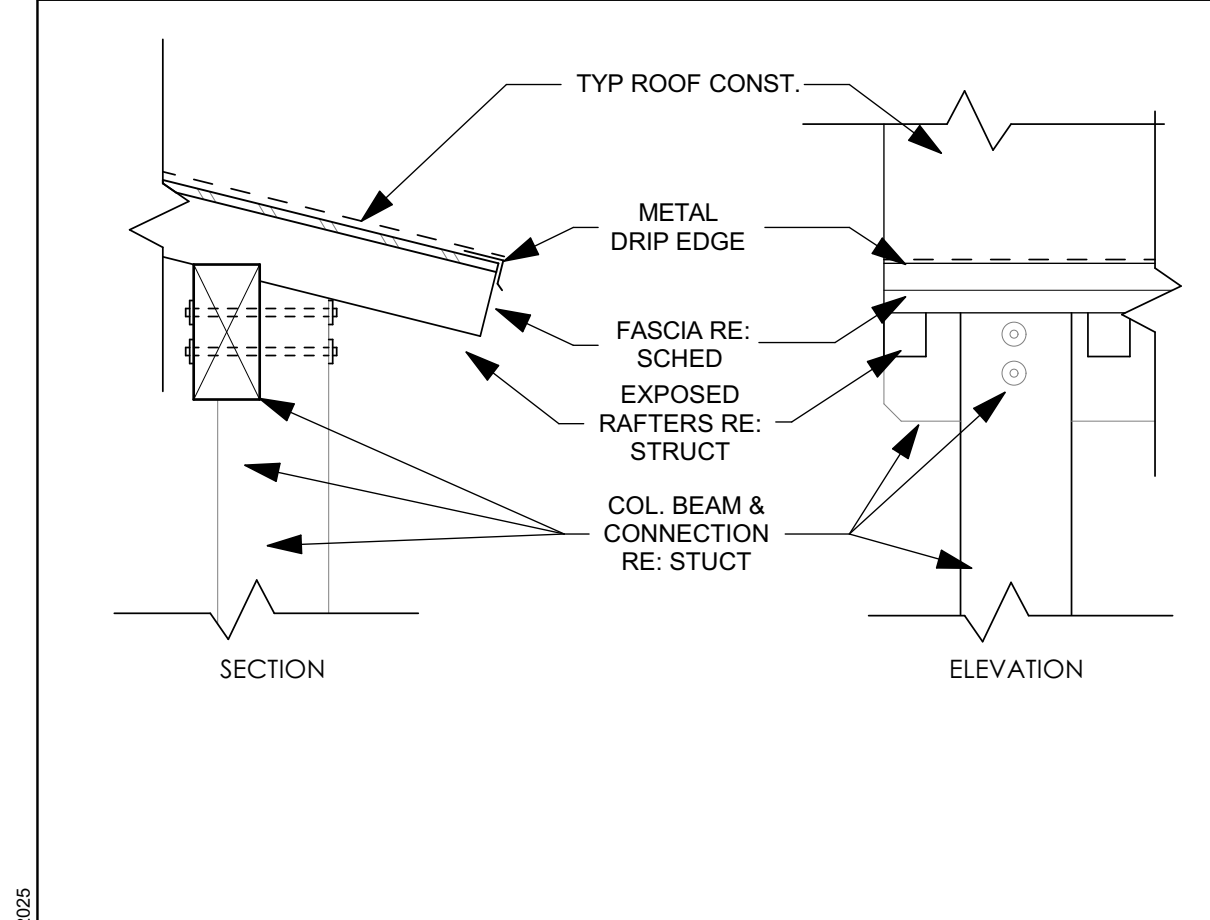
8 ROOF/WALL INTERSECTION
SCALE: 3/4" = 1'-0"



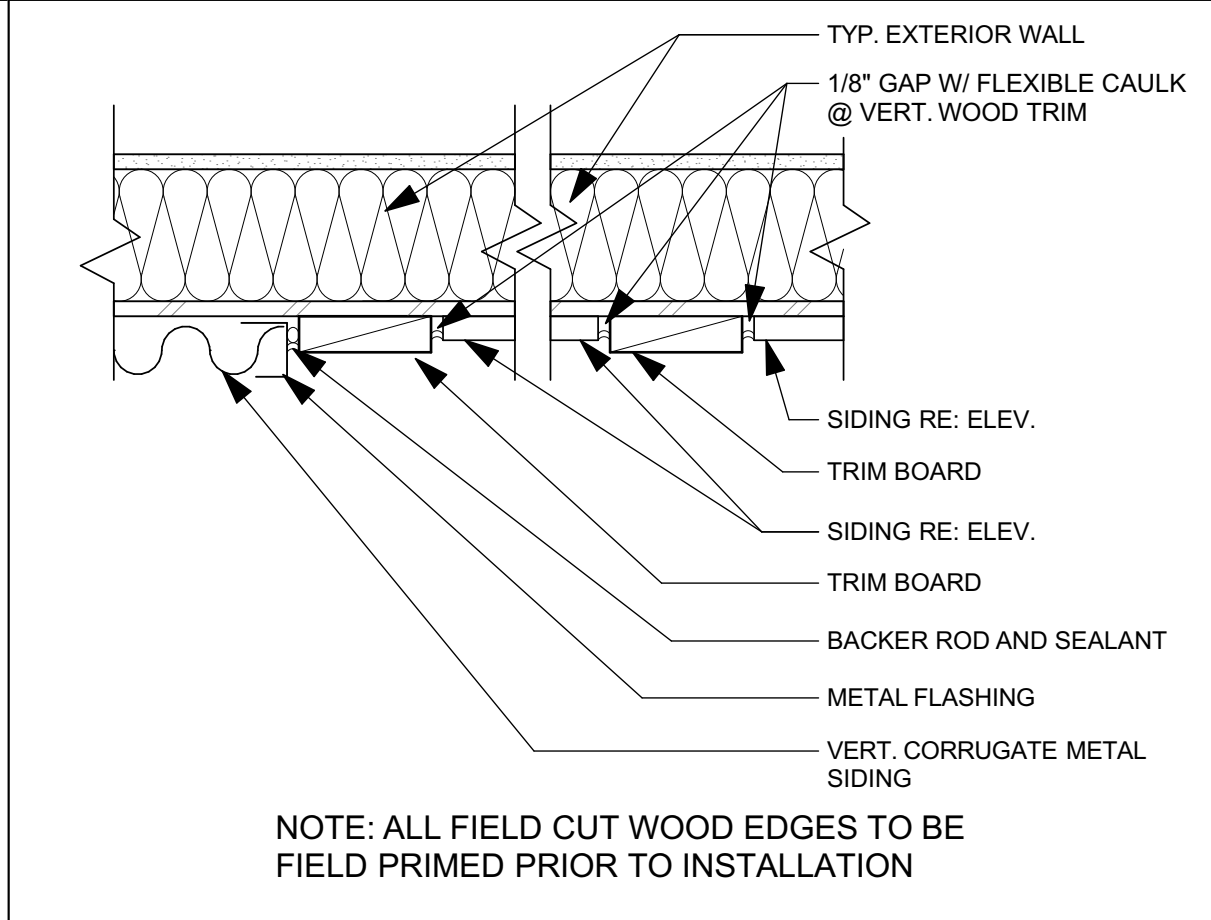
7 PIPE PENETRATION @ ROOF
SCALE: 1 1/2" = 1'-0"



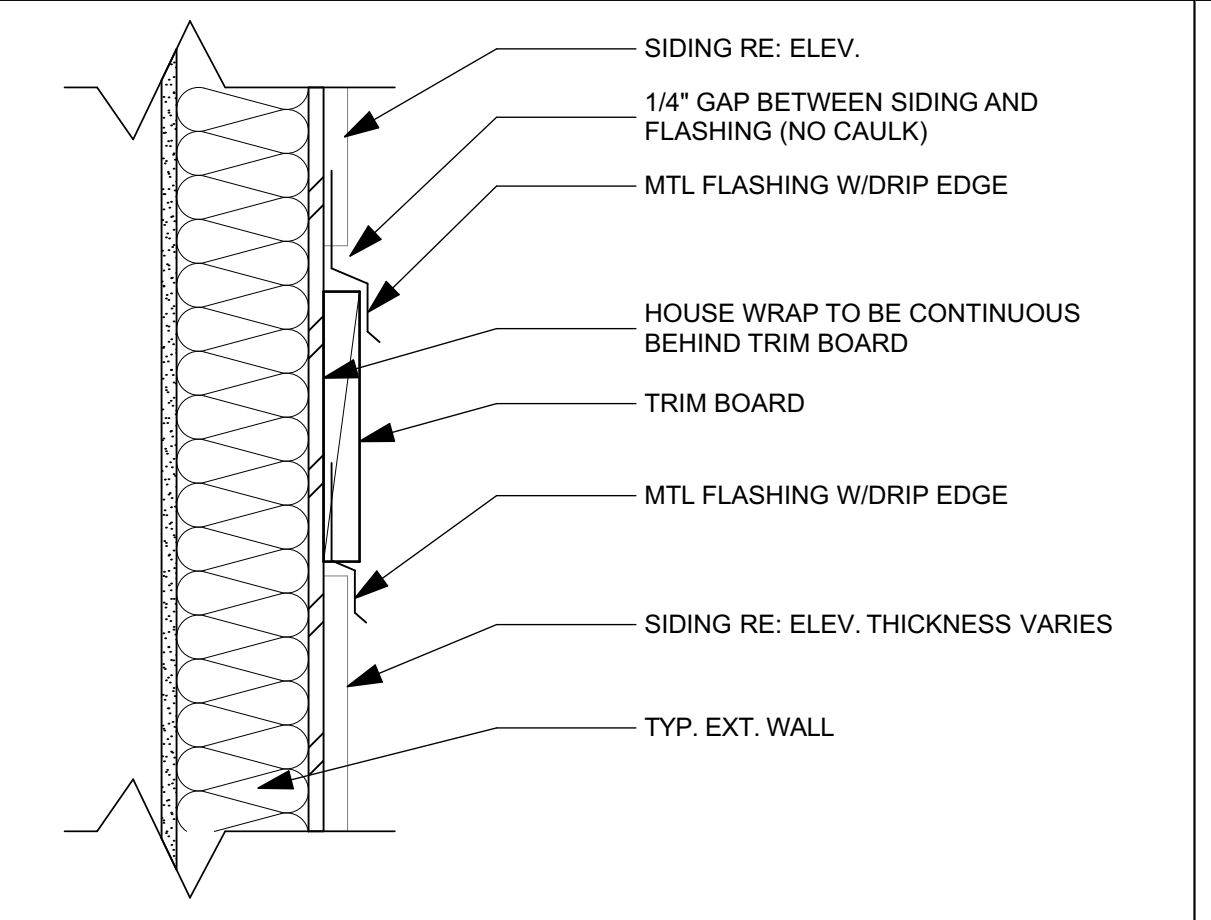
6 WINDOW/DOOR HEADER
SCALE: 1 1/2" = 1'-0"



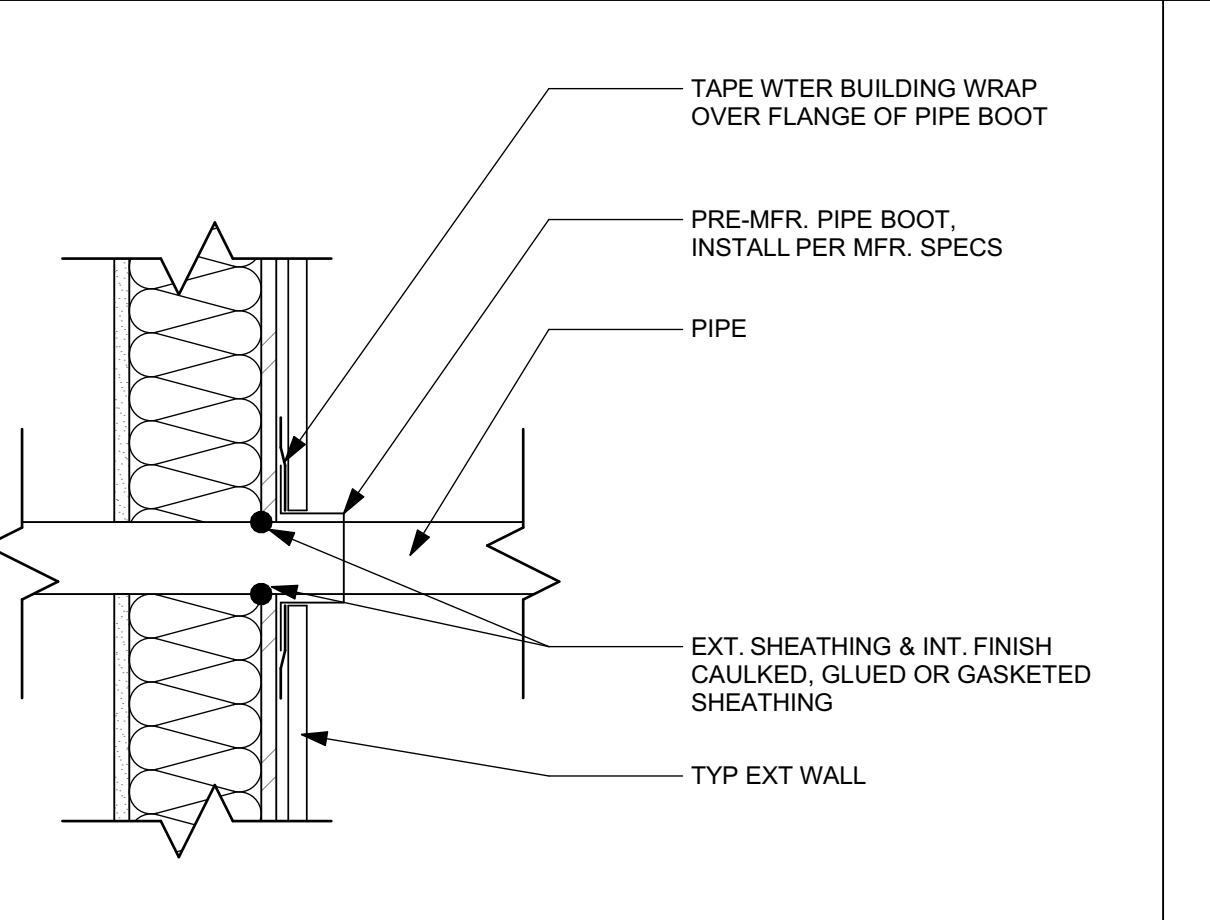
15 PORCH ROOF
SCALE: 3/4" = 1'-0"



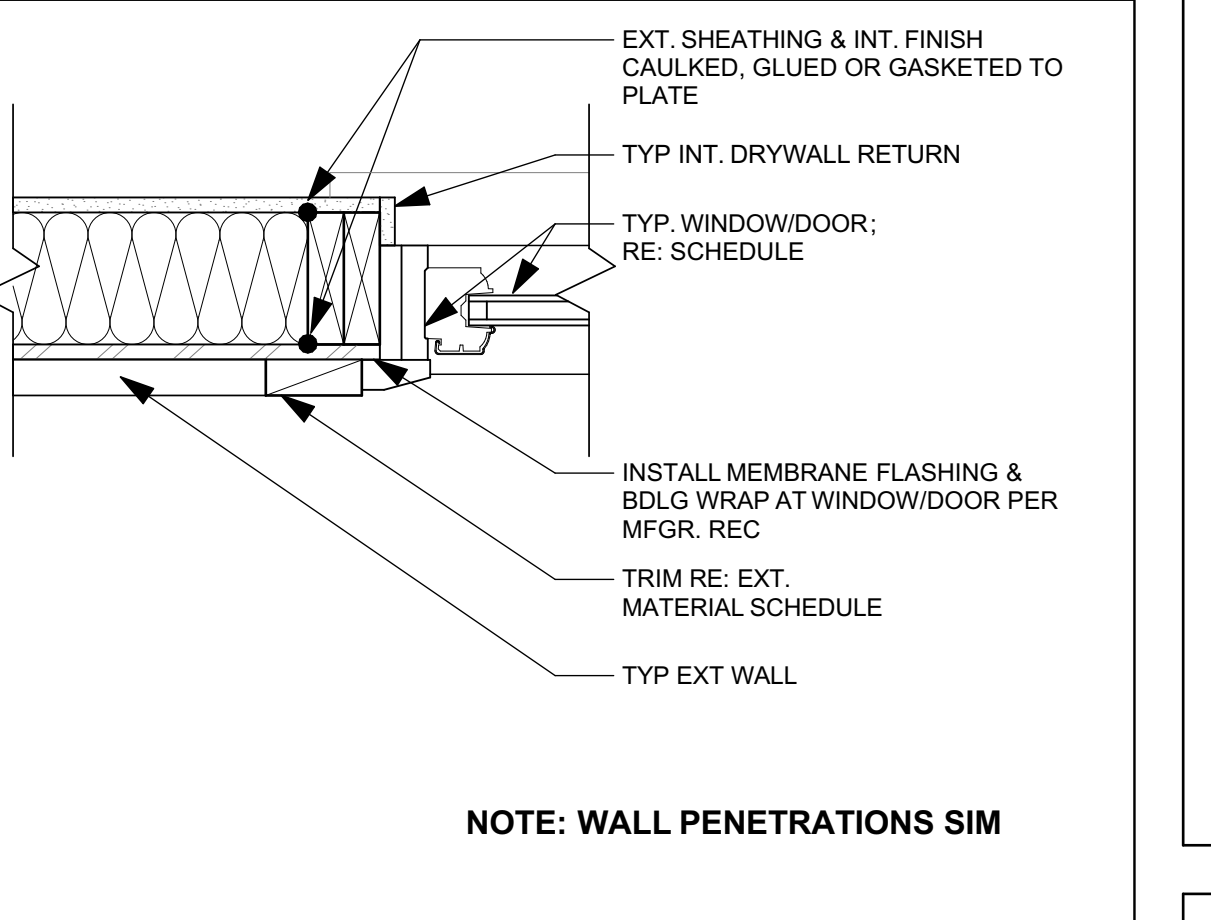
14 HORIZ MATERIAL TRANSITION
SCALE: 1 1/2" = 1'-0"



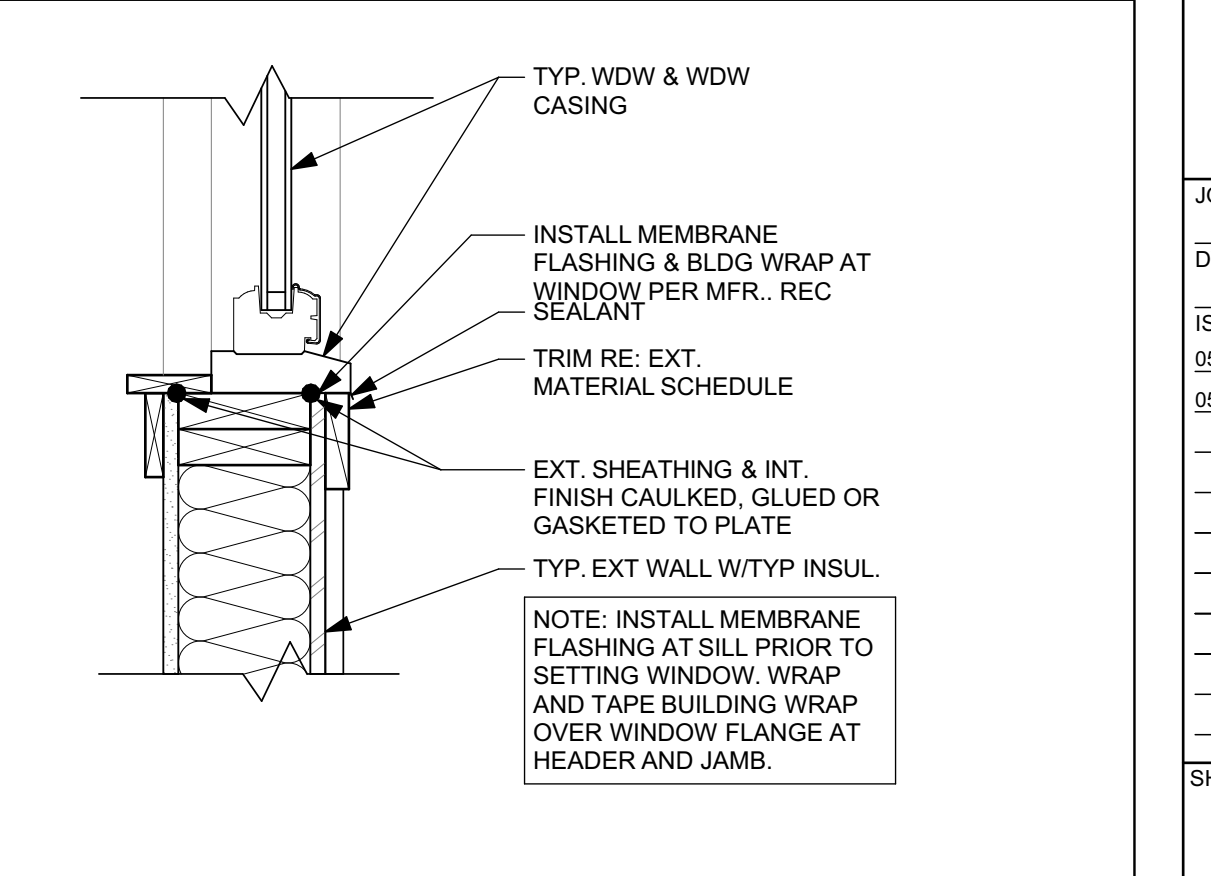
13 VERT. MATERIAL TRANSITION
SCALE: 1 1/2" = 1'-0"



11 PIPE PENETRATION @ WALL
SCALE: 1 1/2" = 1'-0"

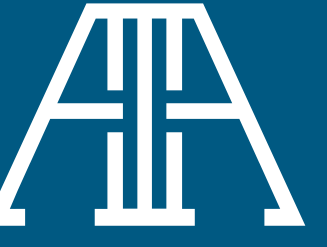


11 WINDOW/DOOR JAMB
SCALE: 1 1/2" = 1'-0"



16 WINDOW SILL
SCALE: 1 1/2" = 1'-0"

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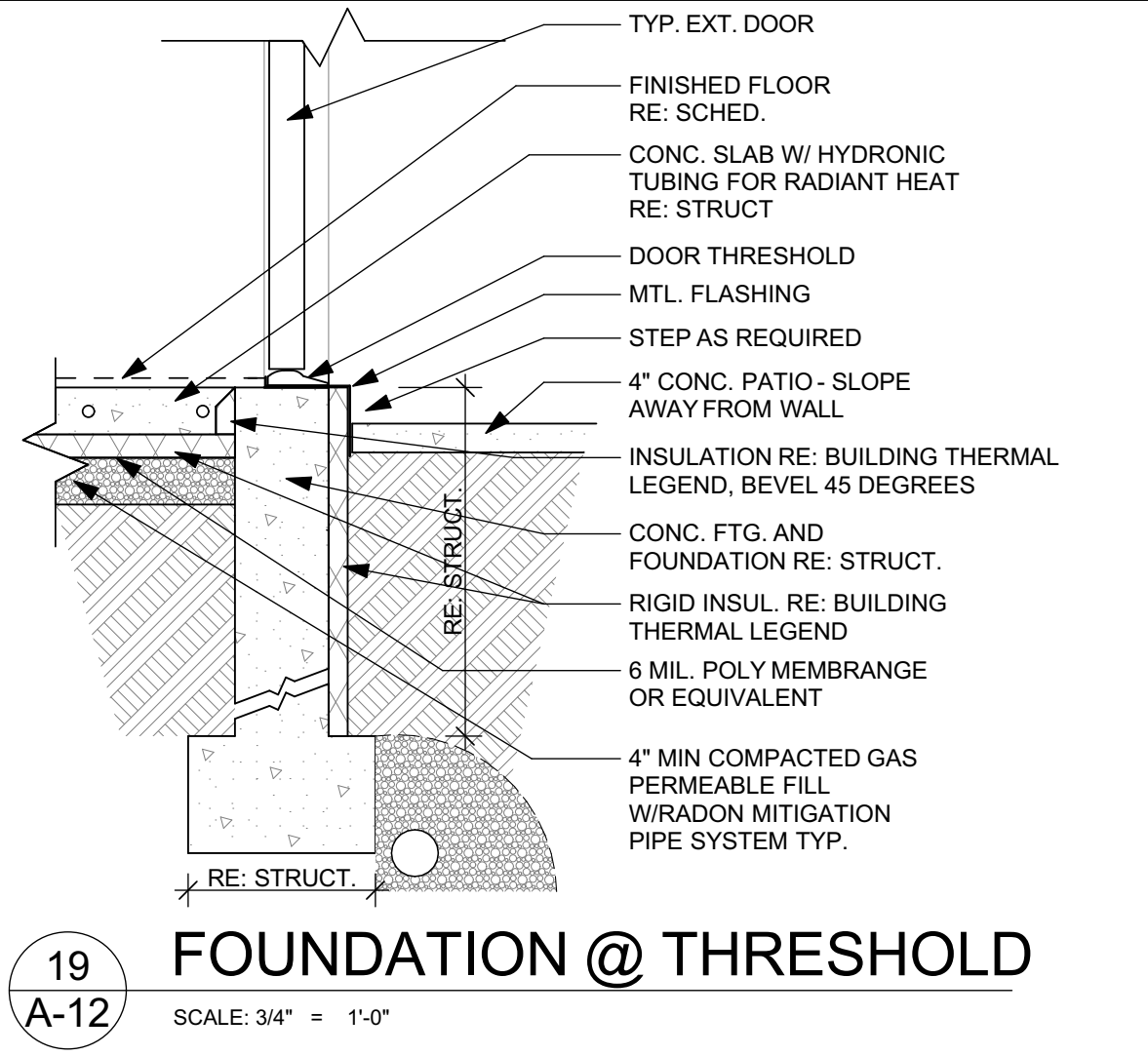
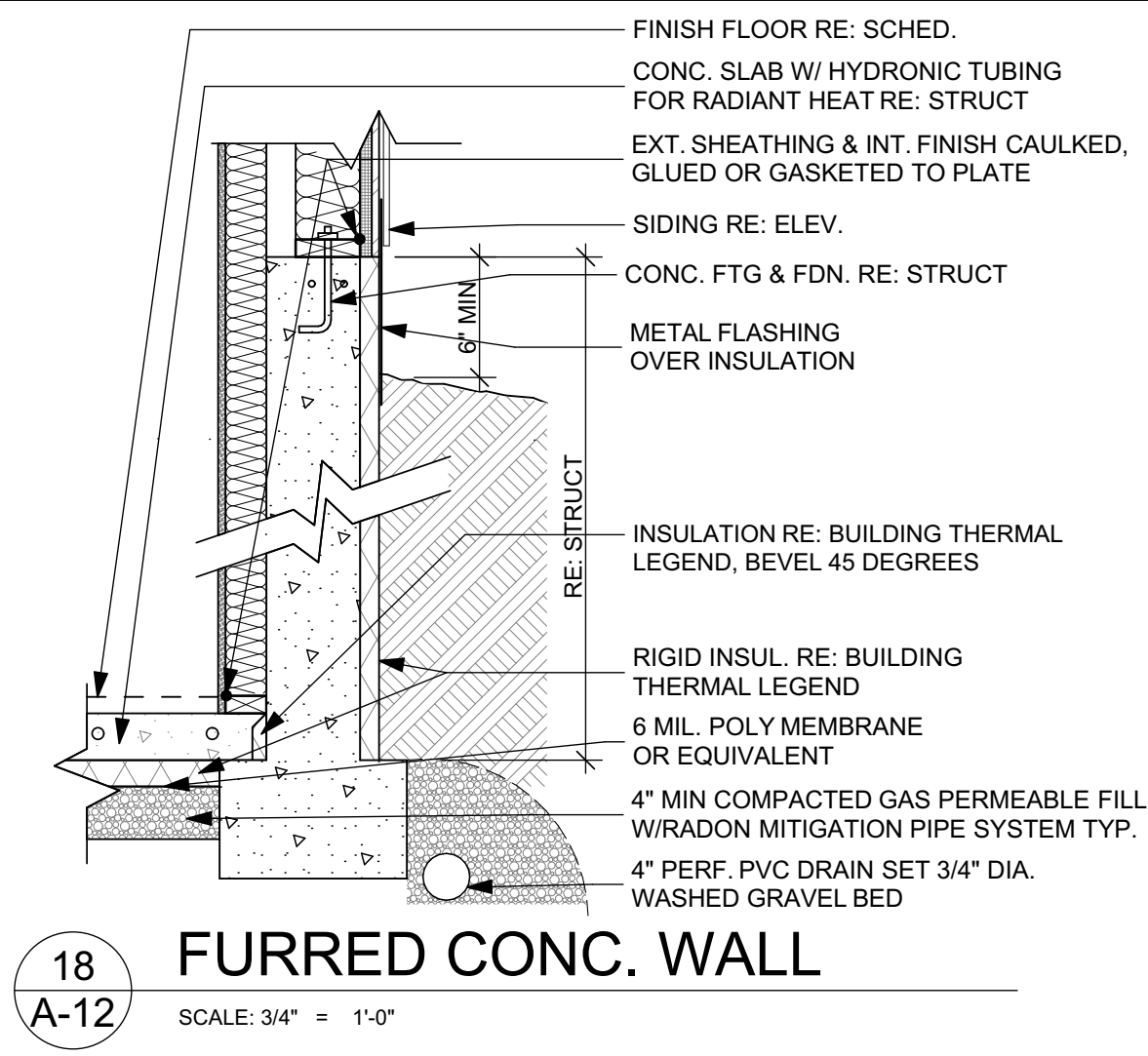
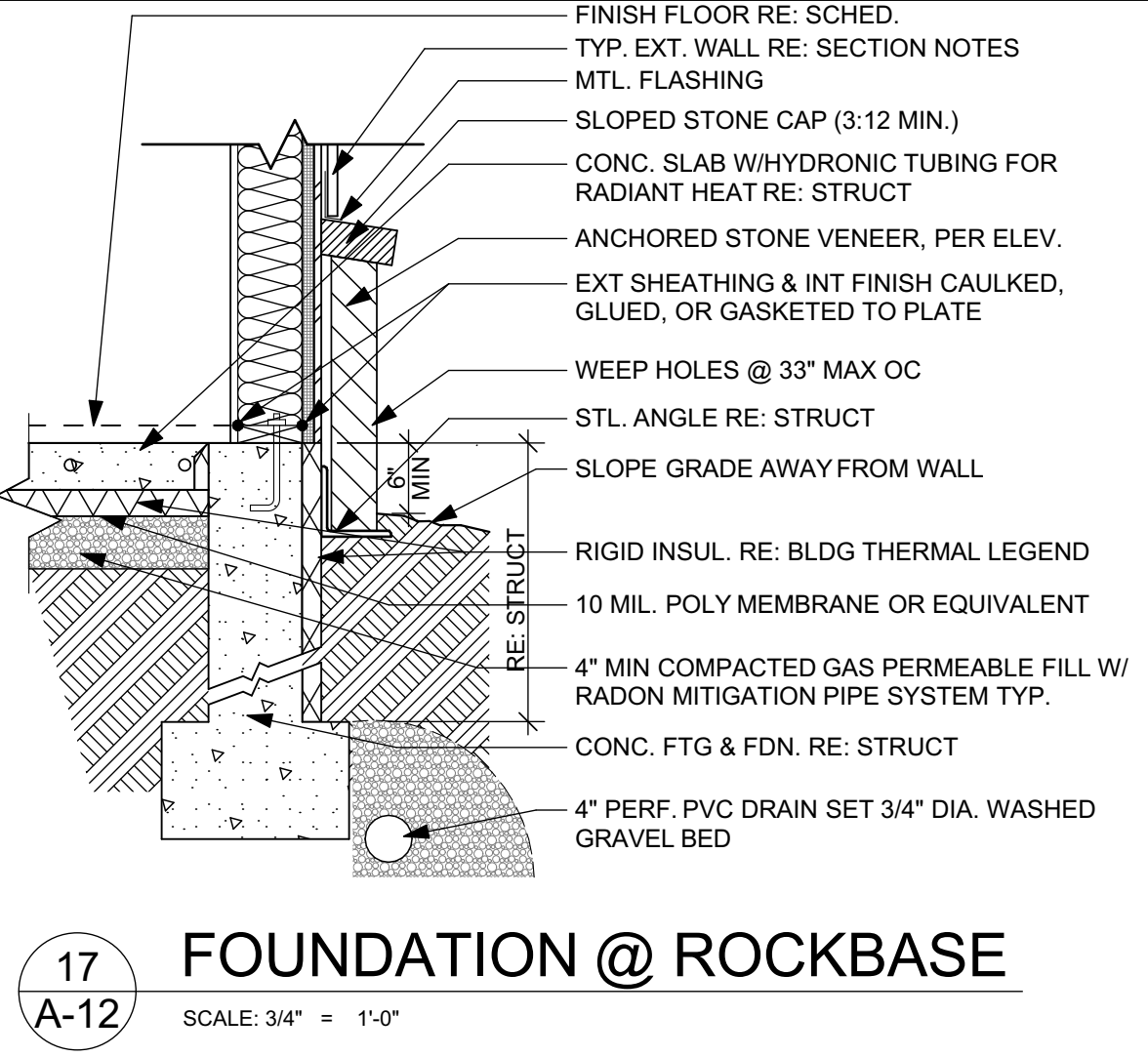
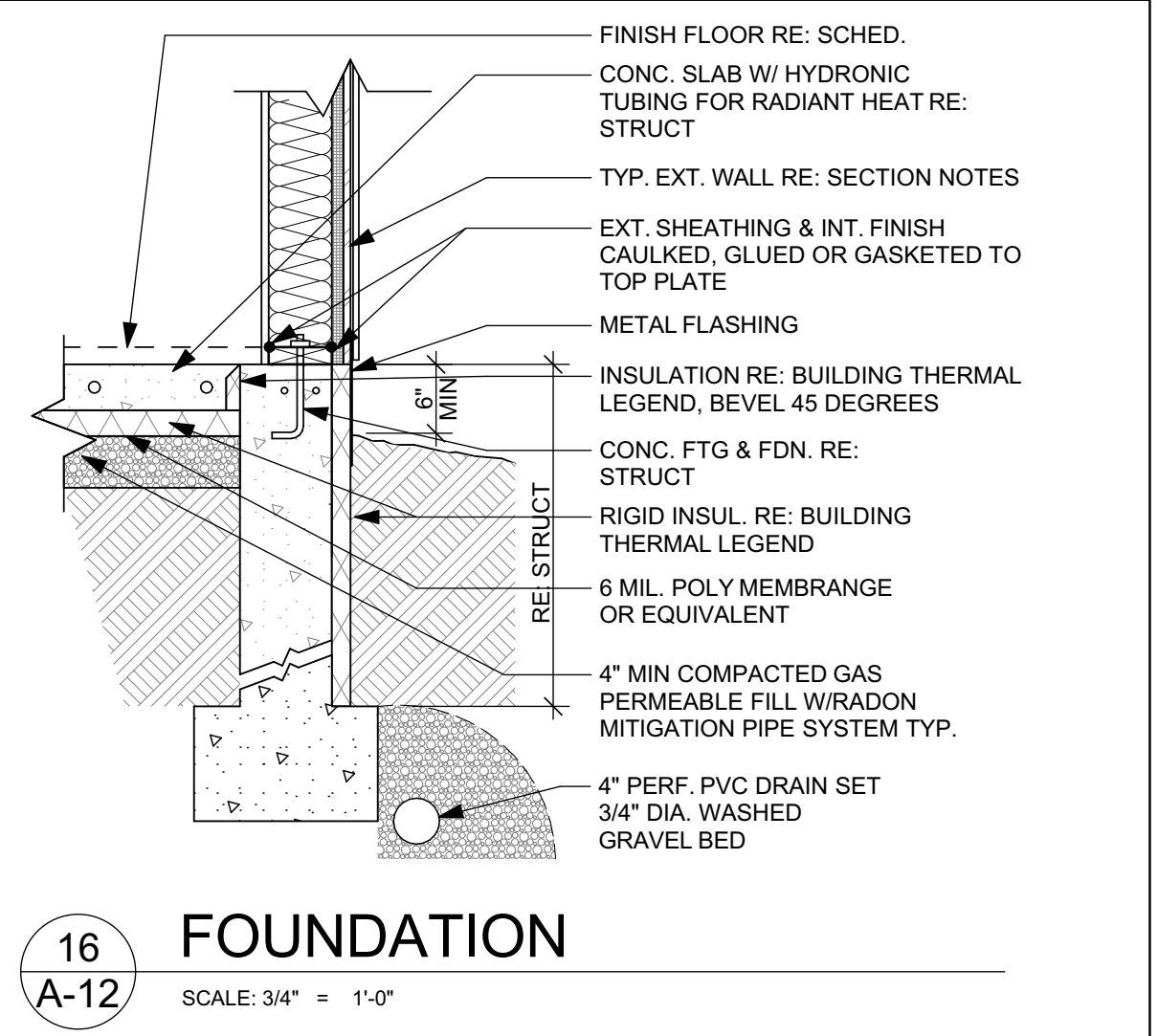
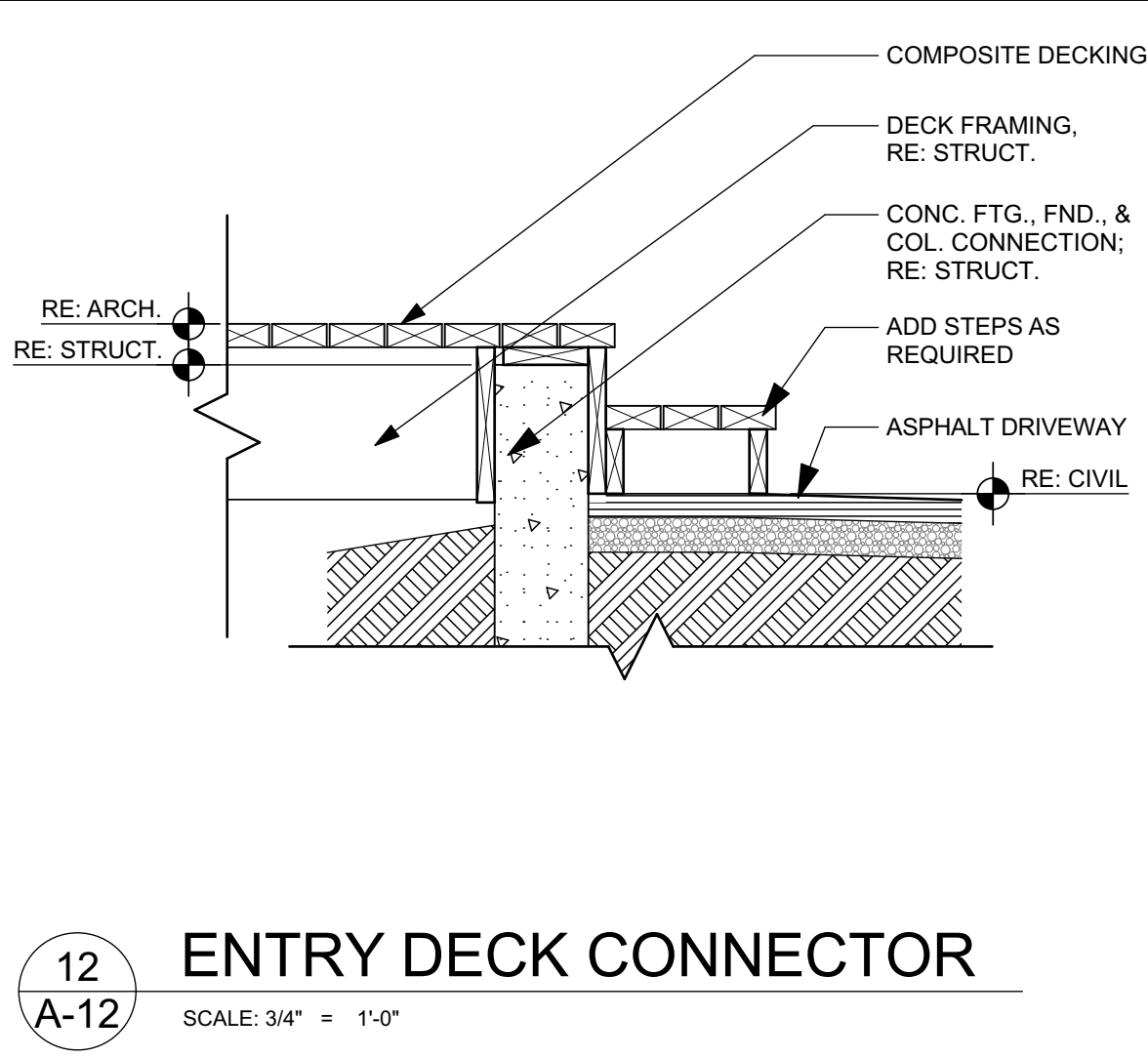
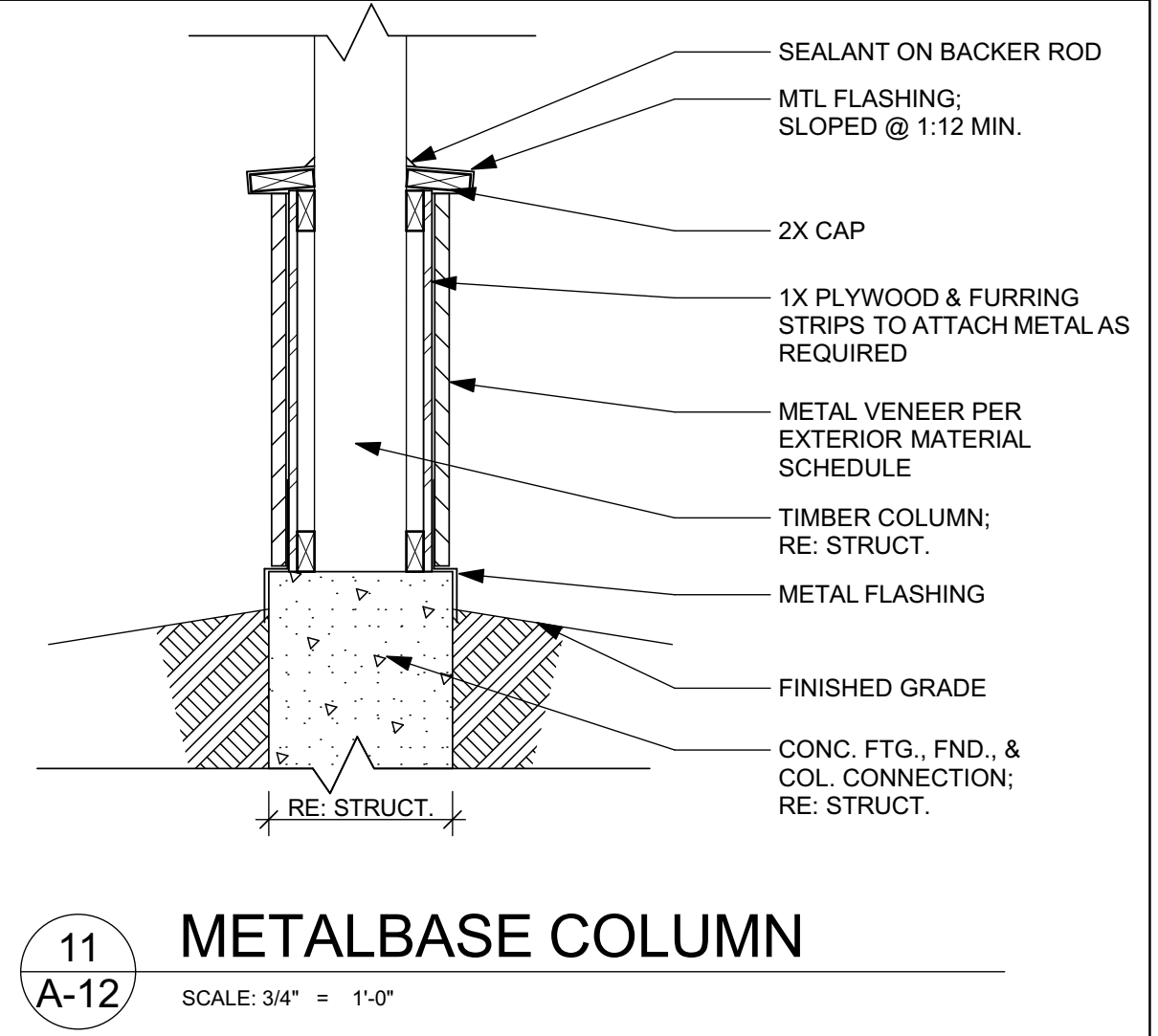
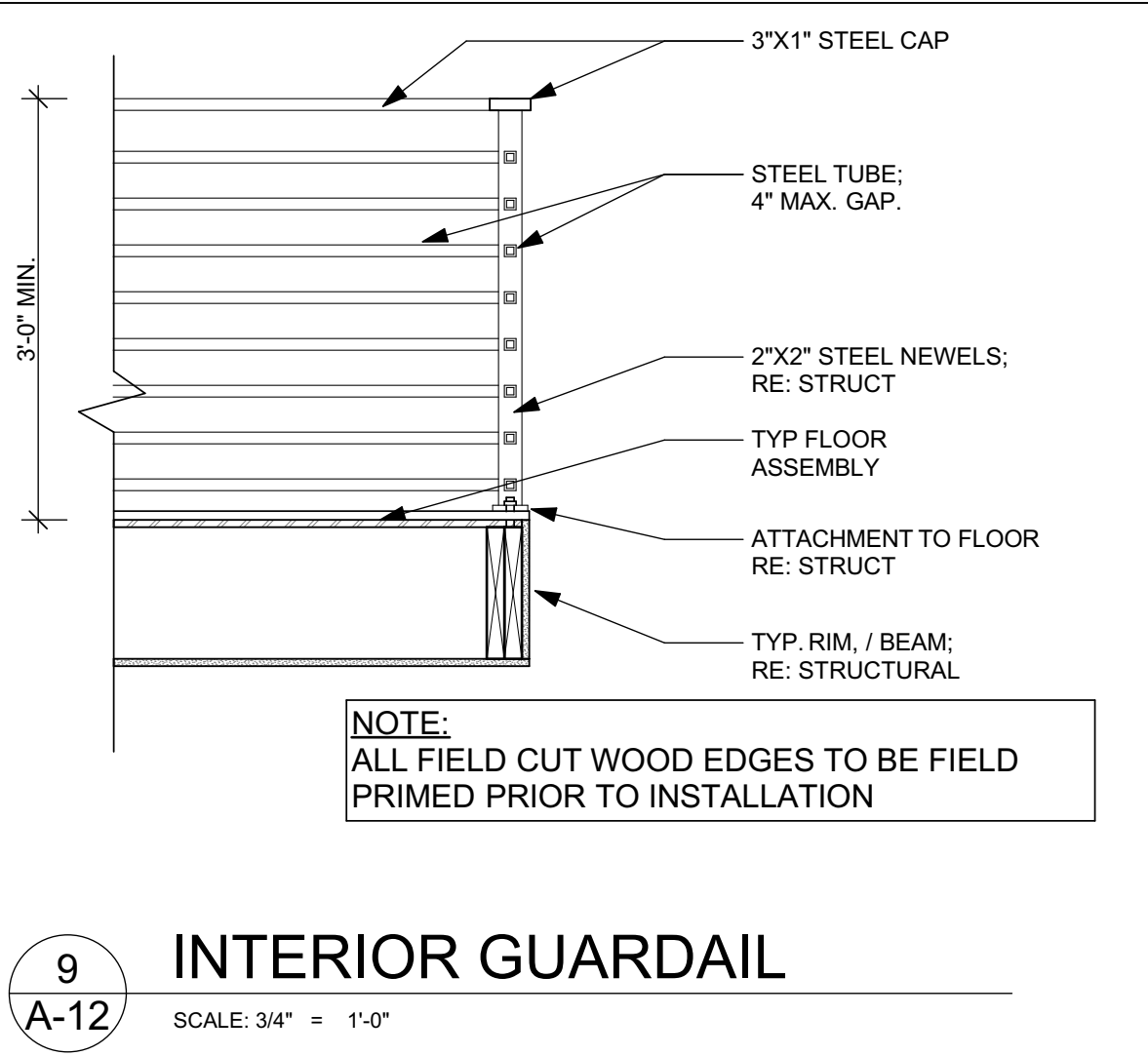
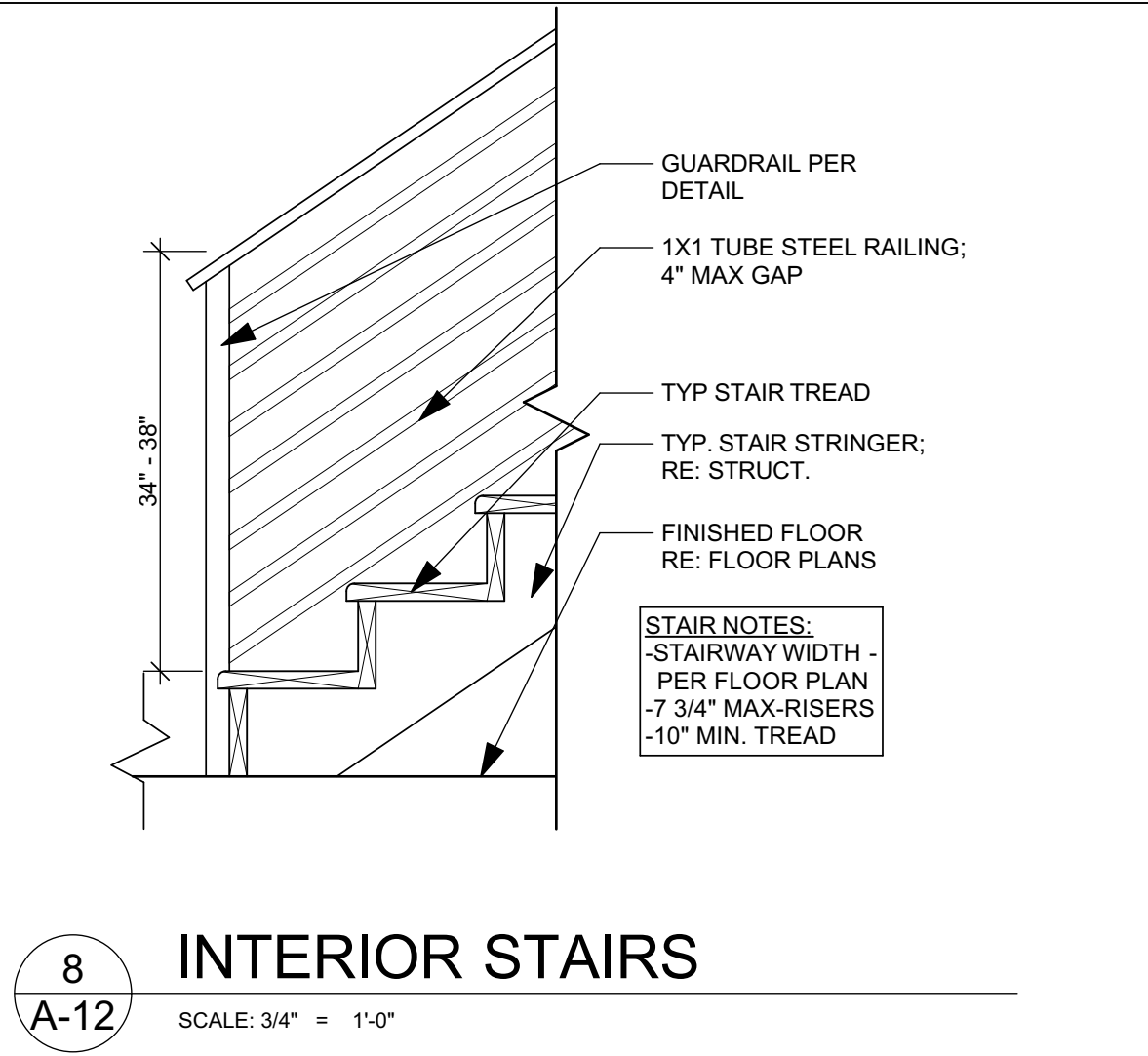
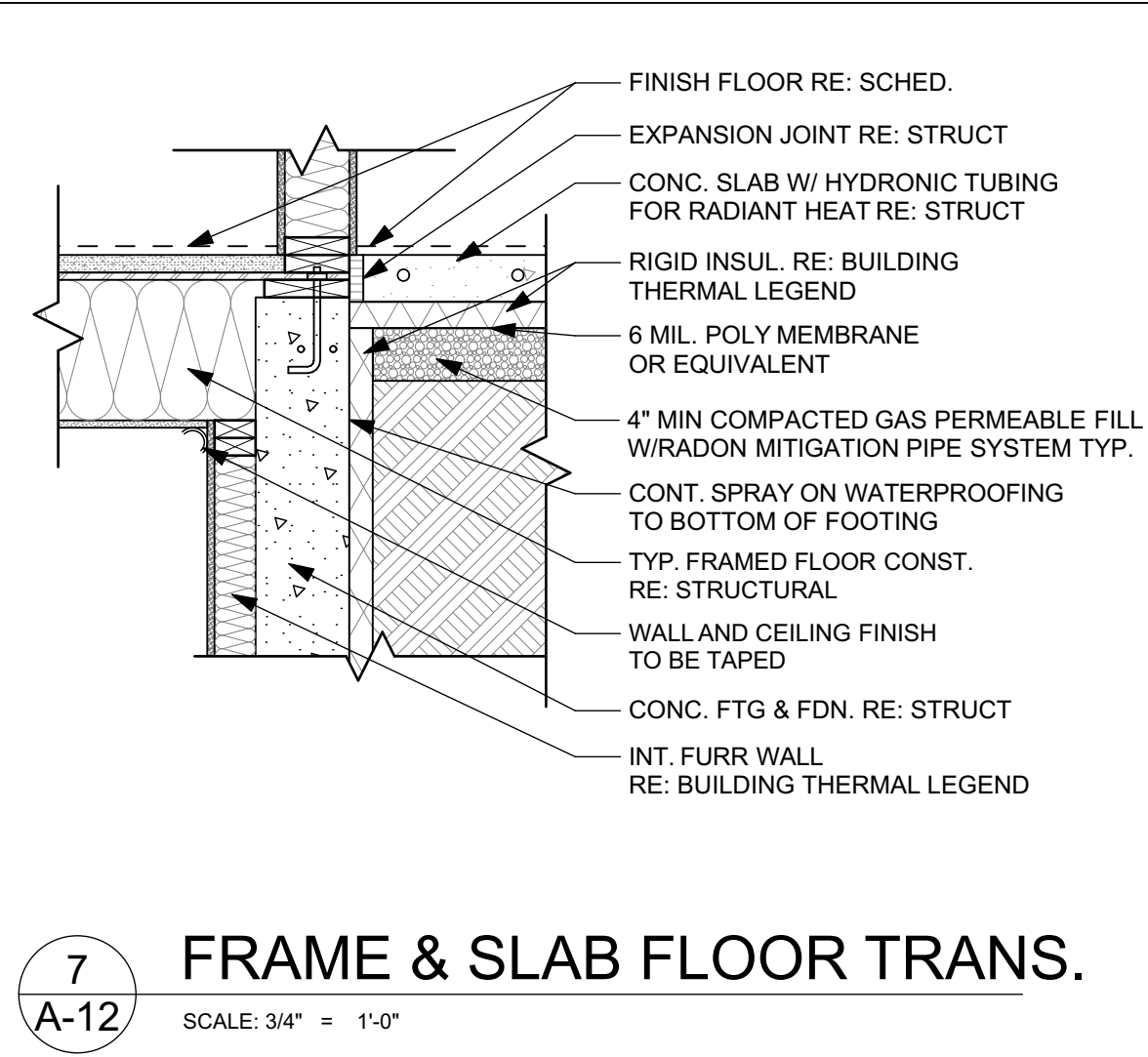
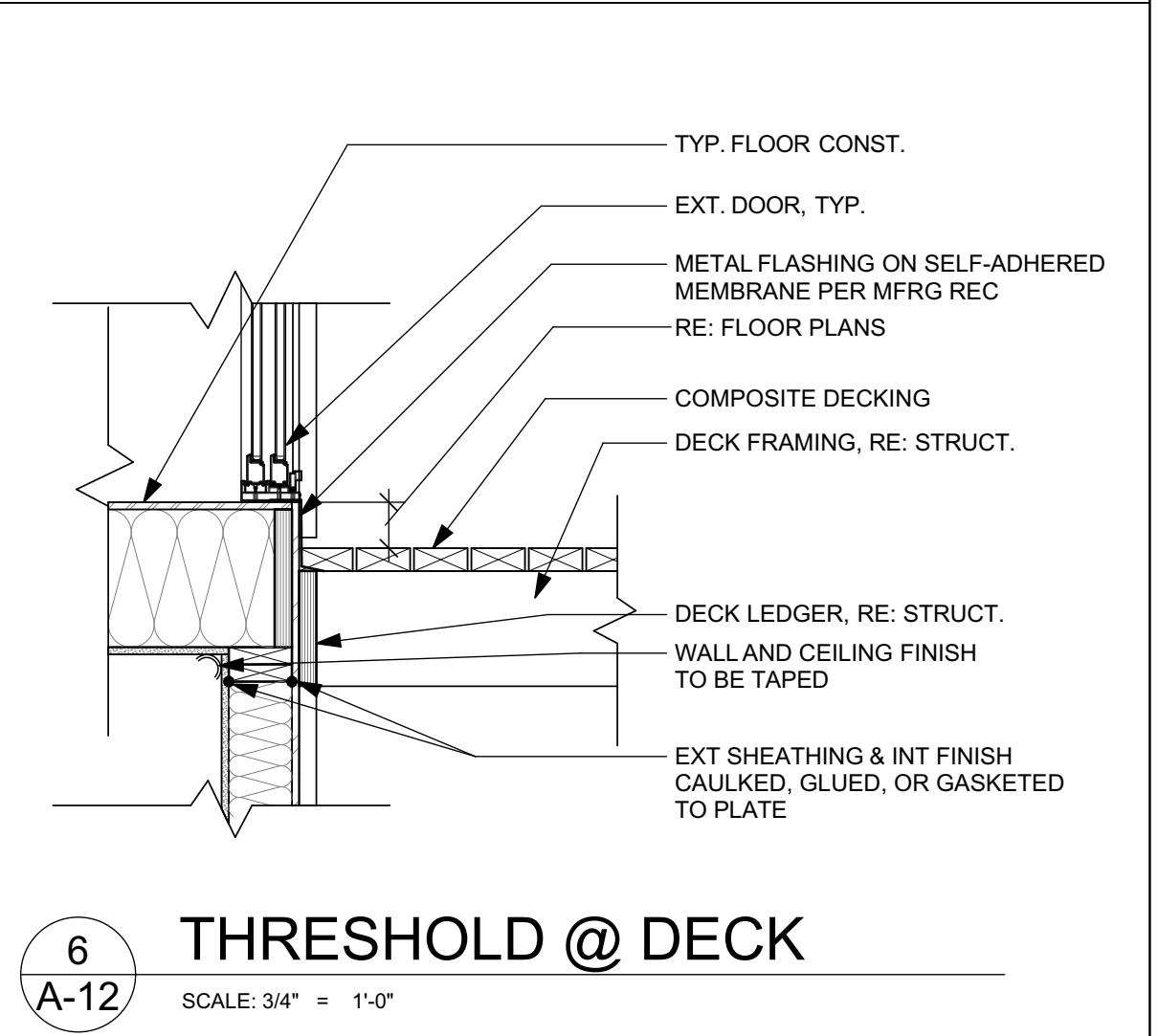
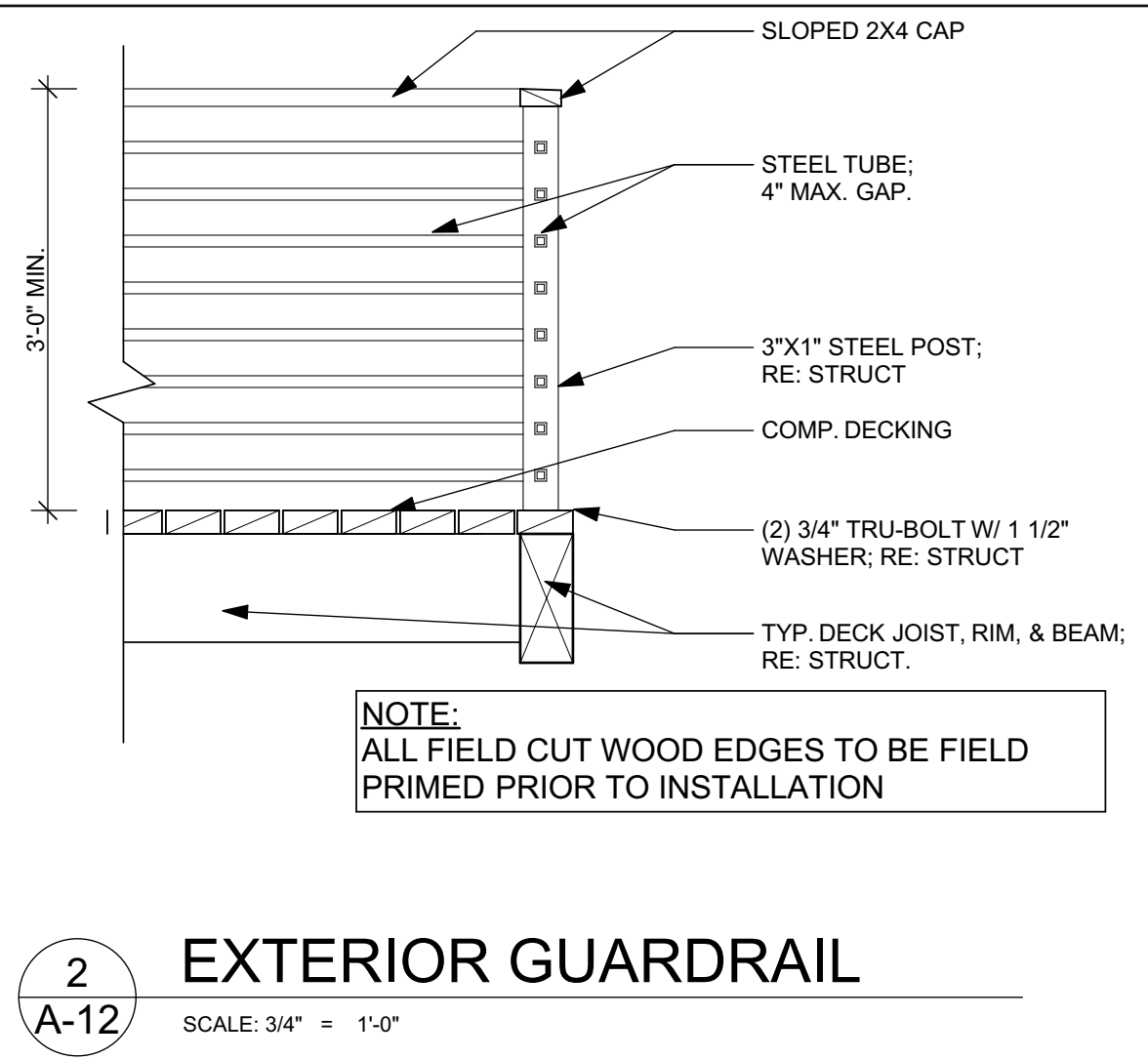
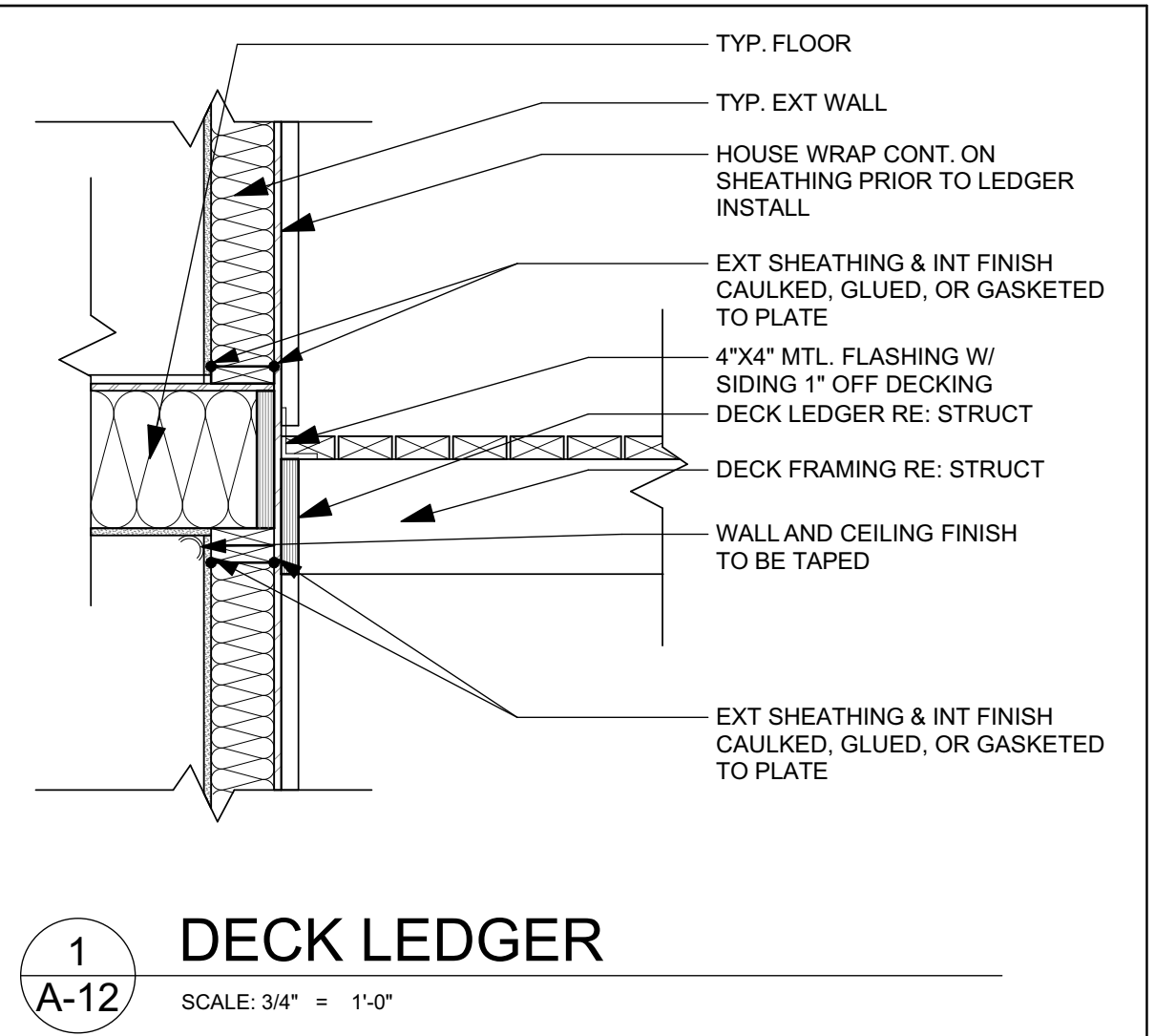
POWERS BETZ RESIDENCE
194 GOLD CROWN LANE
BLUE RIVER, CO

DETAILS

JOB 2419
DWN BY GP
ISSUE 05/01/2025 - PERMIT
05/12/2025 - PLANNING

SHEET

A-12



FILE: G:\A\Architects\2024-2025\2419 - Powers Betz Residence\Drawings\Arch Drawings\2419 - POWERS BETZ RESIDENCE.dwg PLOT DATE: 01/13/2025

General Notes:

1. Codes:
This plan was prepared based on the 2018 International Residential Code (IRC) with local amendments and portions of the most recent versions of ACI 318, ACI 332R, AISI Allowable Stress Design thirteenth edition, and the NDS for wood construction.

2. Loads:
This plan is based upon the following load parameters:
Roof: Snow Load = 100 psf
Floor: Live Load = 40 psf
Deck: Live Load = 125 psf
Wind: Speed = 115 mph (Ultimate, 3 second gust), Exposure C
Seismic: Category B

Soils report by: 285 Engineering, Inc. Project No. 2024695, dated December 18, 2024
Recommended footing design requirements:
Max. Bearing: 2500 psf
Min. Dead Load: None Specified

3. Materials:
This plan is based upon the following material properties:
Concrete: At a minimum, concrete shall meet ACI exposure class RS2, have a maximum water-cement ratio = 0.45, 6% w/w air entrainment, contain ASTM C150 Type V cement, or an ASTM C955 or C151 hydraulic cement meeting high sulfate-resistant hydraulic cement (HS) and a minimum 28 day compressive strength of 3000 psi for structural concrete, and 3500 psi for interior or exterior slabs on grade. See the geotechnical report for additional specifications.
Reinforcing: Reinforcing shall be deformed grade 60 steel unless noted otherwise (UNO) on the plan and shall conform to ASTM A615. Minimum concrete cover shall be 2" (in) UNO on the plan. Overlaps shall be 48 bar diameters but not less than 24" (in). Detail reinforcing bars in accordance to the ACI detailing manual and ACI code, latest edition. All foundation wall reinforcement should be wired in place. Slab and footing reinforcement shall utilize chairs or other acceptable methods to achieve the required cross section location.
Steel: Structural steel beams shall conform to ASTM A992 (fy = 50 ksi), 3" (in) adjustable steel columns shall be schedule 40 or better and rated for a safe allowable load of not less than 28 kips for columns up to 9'-0" in height, and 25 kips for columns up to 10'-0" in height. 3/4" (in) adjustable steel columns shall be schedule 40 or better and rated for a safe allowable load of not less than 36 kips for columns up to 9'-0" in height, and 34 kips for columns up to 10'-0" in height. All adjustable steel columns shall have 1" to 3" (in) of thread exposed.
Anchor Bolts: Foundation anchor bolts shall conform to ASTM F1554 Gr36 and be 1/2" (in) diameter by 12" (in) long (1" min. embedment) spaced at 4'-0" maximum (unless noted otherwise on plan) and 12" (in) from corners and splices. Anchor bolts shall be located within the middle third of the sill plate.
Wood: All dimensional lumber shall be Hem Fir #2 or better unless noted on the plan. All Laminated Veneer Lumber shall have an allowable flexural stress Fb = 2600 psi and Modulus of Elasticity of E = 2,000,000 psi or better. Glued Laminated Lumber shall have an allowable flexural stress Fb = 2400 psi and Modulus of Elasticity of E = 1,800,000 psi or better.
Fasteners and connectors: All fasteners and connectors in contact with pressure treated lumber shall be G185 hot-dip galvanized (HDG) type 304 stainless steel or type 316 stainless steel. Do not mix HDG and stainless hardware and fasteners. All expansion bolts and connectors shall be as manufactured by Simpson Strong Tie or equivalent.

4. Soils:
CTL I THOMPSON recommends an open-hole observation be performed by a qualified geotechnical engineer. Open-hole observations are to verify that the soil conditions are as described in the above referenced soils report. Soils conditions inconsistent with the soils report may require additional evaluation or a foundation redesign, and should be brought to the attention of CTL I THOMPSON. All footings, pads, or piles shall be a minimum of 40" (in) below grade, or per local code, and shall bear upon undisturbed native soils or structural fill acceptable to the geotechnical engineer. All other recommendations contained in the soils report pertaining to backfill, drainage, etc. should be incorporated into the design of this project.

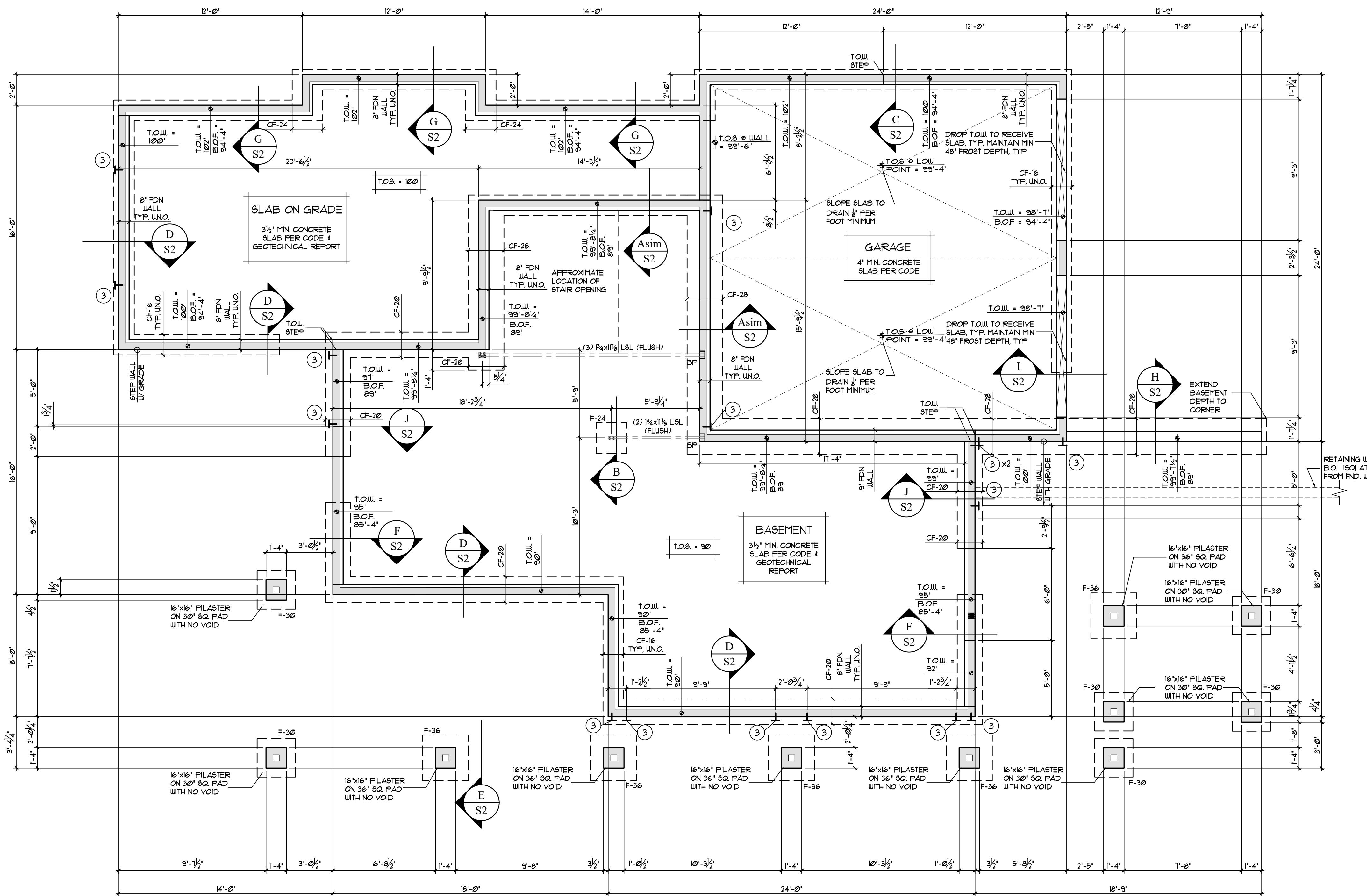
5. Slabs-on-grade:
The type of floor construction and potential risks should be discussed between the contractor/owner and the appropriate geotechnical engineer. See the geotechnical report for a discussion about slab performance risk evaluation, as well as slab installation and maintenance recommendations. Slabs-on-grade where utilized should be isolated from grade beams, columns, plumbing, or other support structures by use of 1/2" (in) minimum isolation joint material. Provide a void space (minimum height per the geotechnical report) between all interior partitions and floor slabs-on-grade. The partition void space should be monitored and maintained throughout the life of the structure. CTL I THOMPSON recommends slabs-on-grade be reinforced with 6x6 WLL44 welded wire fabric. Provide control joints at 10'-0" on center maximum. Exterior slabs such as patios, porches, driveways, etc. should not be coupled to the foundation unless noted otherwise.

6. Backfill:
CTL I THOMPSON recommends foundation walls not be backfilled for a minimum of eight days after placement of concrete. Prior to backfilling CTL I THOMPSON recommends damp-proofing for all below grade walls in contact with subsoils. All floor systems should be in place before backfilling against any foundation wall, or as an alternative adequately brace the foundation. CTL I THOMPSON recommends imported non-expansive structural fill be used for backfilling around all foundation walls and beneath all slab-on-grade areas for sites where expansive soils are prevalent. In lieu of imported fill, the native soils could be used for backfill if the material and compaction process is acceptable to the geotechnical engineer. Backfill should be adequately compacted and graded to provide adequate drainage away from the foundation. Backfill adjacent to the foundation may settle over time. The backfill must be dewatered and maintained to provide adequate drainage away from the foundation.

7. Framing:
See notes on framing sheets, S3 to S5

8. Drainage:
Adequate drainage shall be provided around the structure. This drainage should be monitored and maintained throughout the life of the structure. At a minimum CTL I THOMPSON recommends a minimum slope of 1" (in) in the first ten feet, and a minimum 2% slope from that point to the property line for landscaped areas. For all below grade habitable areas CTL I THOMPSON recommends a perimeter drain. The perimeter drain shall be installed per the geotechnical engineer's recommendations. At a minimum it should consist of drainage fabric over 12" (in) of clean gravel over a 4" (in) perforated pipe sloped at 1/8" (in) minimum to daylight well beyond the foundation system or to a sump pit with pump. Perforated rigid pipe is preferable where the drain pipe may be crushed or damaged such as around the exterior of the home in the backfill zone. For interior drains in basement areas, we recommend placing a 4" thick, 8' wide section of void form perpendicular to the footing about every 10' to 15 feet and at window wells, to allow water in wall backfill to pass beneath the footing into the interior drain. This can also be accomplished by "tunneling" under footings at the time of drain installation. Alternatively, an exterior foundation drain can be used.

9. Limitations:
It is the contractor/owner's responsibility to verify and coordinate all dimensions prior to construction. Brick ledges, foundation steps, insets, beam pockets, haunches, and basement windows, etc. may or may not be shown. All temporary bracing, if needed, is by others. This foundation plan is based on the contractor/owner furnished plans and the above referenced specifications. Any discrepancies or changes should be brought to the attention of CTL I THOMPSON. We recommend a copy of "A Guide to Sinking Soils for Colorado Home Buyers and Home Owners, Colorado Geological Survey Special Publication #43 be provided to any new or future owners of this property.



HD #	MANUF. / MODEL	NOTES
1	SIMPSON SHD10	HD'S AS SHOWN ARE IN APPROXIMATE LOCATIONS. FIELD LOCATE HD'S AT CORNERS, EDGE OF OPENINGS ABOVE, OR ENDS OF REQUIRED SHEAR WALLS (SEE ARCH PLANS FOR DIMENSIONS)
2	SIMPSON SHD10RJ	LOCATE HD'S SHOWN AT CORNERS OR T.O.W. STEPS IN FOUNDATION 1/2" (IN) FROM CORNERS OR TOP OF WALL STEPS
3	SIMPSON SHD14RJ	INSTALL ALL HOLD-DOWNS PER MANUF. SPECS.
4	(2) SIMPSON CS16	CS16'S TO HAVE MIN. END LENGTH OF 12" AND (22) 10d NAILS TOTAL (24" MIN TOTAL LENGTH, 11 NAILS MIN EACH CONNECTED MEMBER)
5	(3) SIMPSON CS16	SOME STRAPS SHOWN ON THIS SCHEDULE MAY NOT BE USED IN THE DESIGN.
6		
7		
8		
9		

FTG.	SIZE (in x in)	REBAR	NOTES
CF-16	16"W x 8"D	PROVIDE 1" DOUELS TO MATCH WALL REINFORCEMENT ABOVE	ALL FTGS/PADS TO BEAR UPON UNDISTURBED NATIVE SOIL OR STRUCTURAL FILL APPROVED BY THE GEOTECHNICAL ENGINEER.
CF-20	20"W x 8"D		
CF-24	24"W x 8"D		
CF-28	28"W x 8"D	4 # 12" o/c EW	

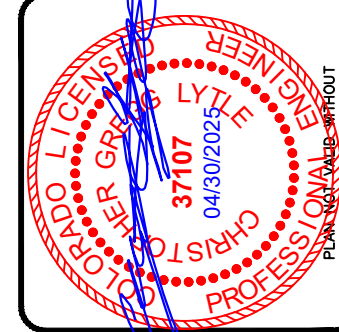
BEAM SIZE	APPROX. DEPTH, D	APPROX. WIDTH, W	NOTES
(2) 1 1/2" x 1 1/2" LBL	11.875"	3.5"	
(3) 1 1/2" x 1 1/2" LBL	11.875"	5.25"	

FTG.	SIZE	REBAR	NOTES
F-24	24" SQ x 2'D	4 # 12" o/c EW	TOP OF PAD EQUALS BOTTOM OF SLAB
F-30	30" SQ x 2'D	4 # 12" o/c EW	
F-36	36" SQ x 2'D	4 # 12" o/c EW	

NOTE:
T.O.W. = TOP OF WALL
B.O.F. = BOTTOM OF FOOTING
T.O.S. = TOP OF SLAB

FOUNDATION PLAN

CTL | THOMPSON
Founded in 1971
CTL I THOMPSON, INC. P. 970-453-2047
500 Brian Avenue, Unit A
Silverthorne, Co 80498
www.ctlthompson.com



ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES. DIMENSIONS IN PARENTHESES ARE FOR INFORMATION ONLY. THIS PLAN IS THE PROPERTY OF CTL I THOMPSON, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR REPRODUCTION OF THIS PLAN WITHOUT THE WRITTEN PERMISSION OF CTL I THOMPSON, INC. IS STRICTLY PROHIBITED. ALL RIGHTS RESERVED.

PROJECT LOCATION:

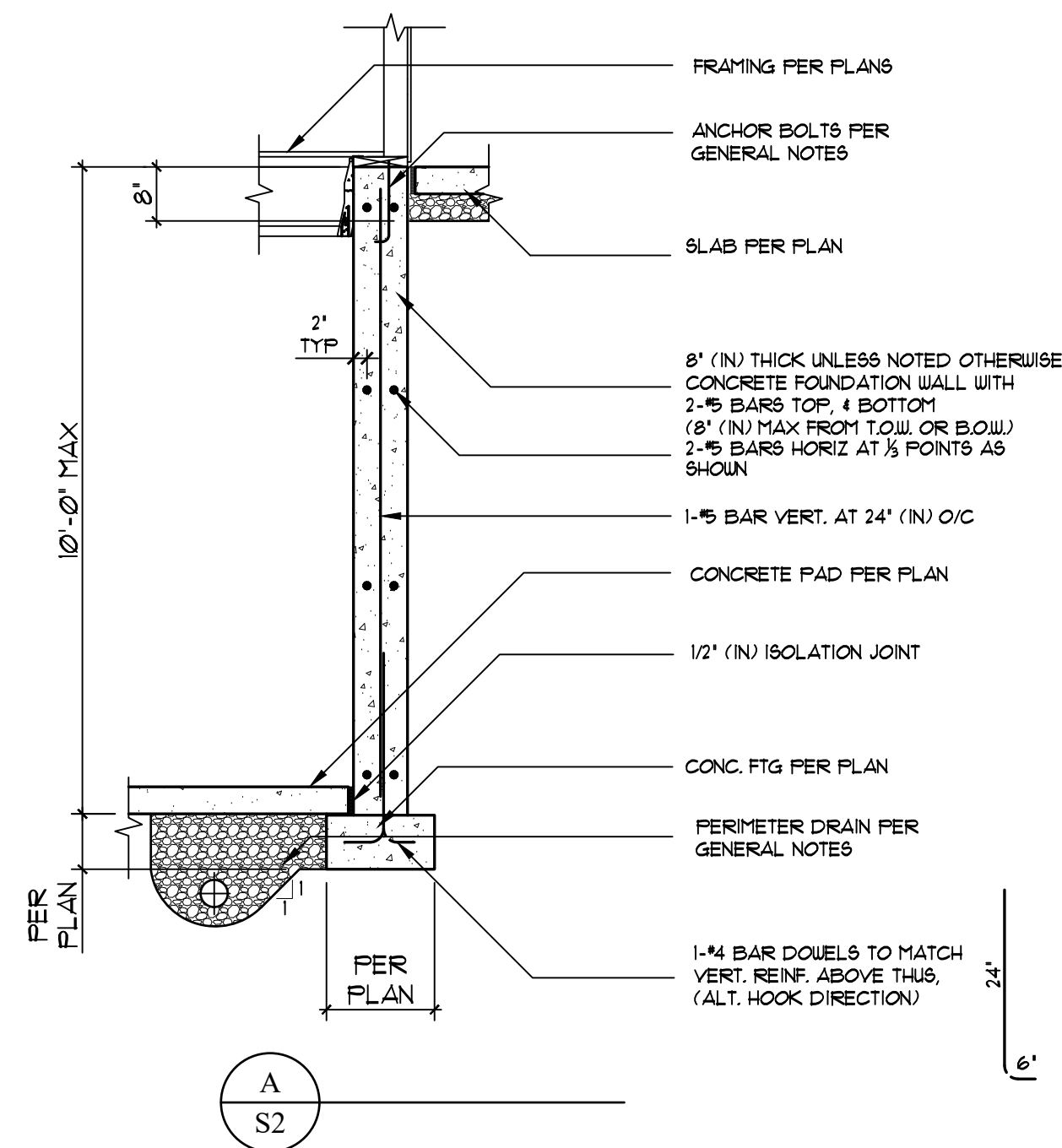
Powers Betz Residence
Lot 538, Golden Crown Subdivision
194 Golden Crown Lane
Blue River, Colorado

FOUNDATION PLAN

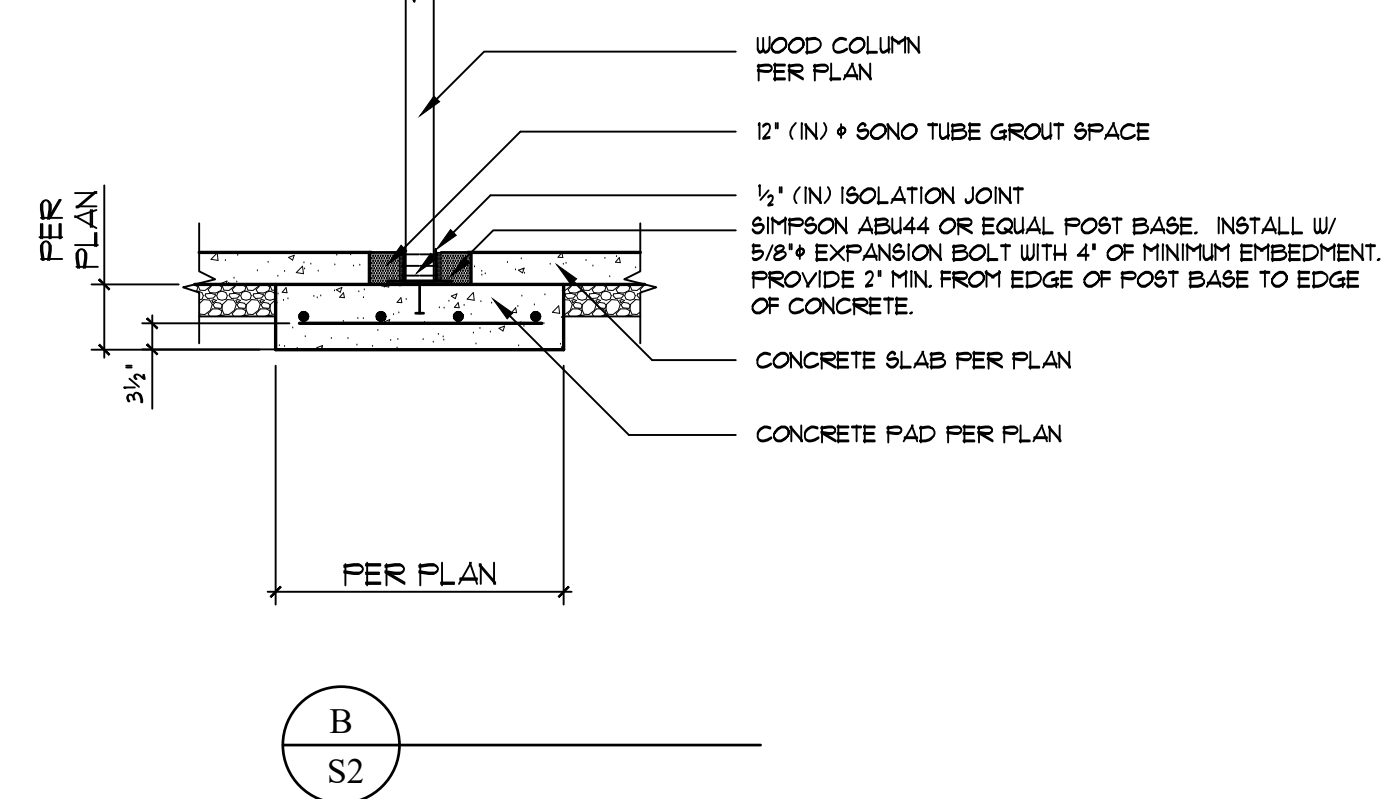
NO.	DATE	REVISION/ISSUE	WALL ELEVATIONS FROM DECIMAL FEET TO FEET/INCHES
1	04-28-2025	REVISE FOUNDATION PLAN PER COMMENTS	

CLIENT:
Carolyn Powers & Morgan Betz
400 North Park Avenue, Unit 12B
Breckenridge, Co 80424
Contact: Bobby Craig, AIA
Arapahoe Architects, P.C.
970-453-8474

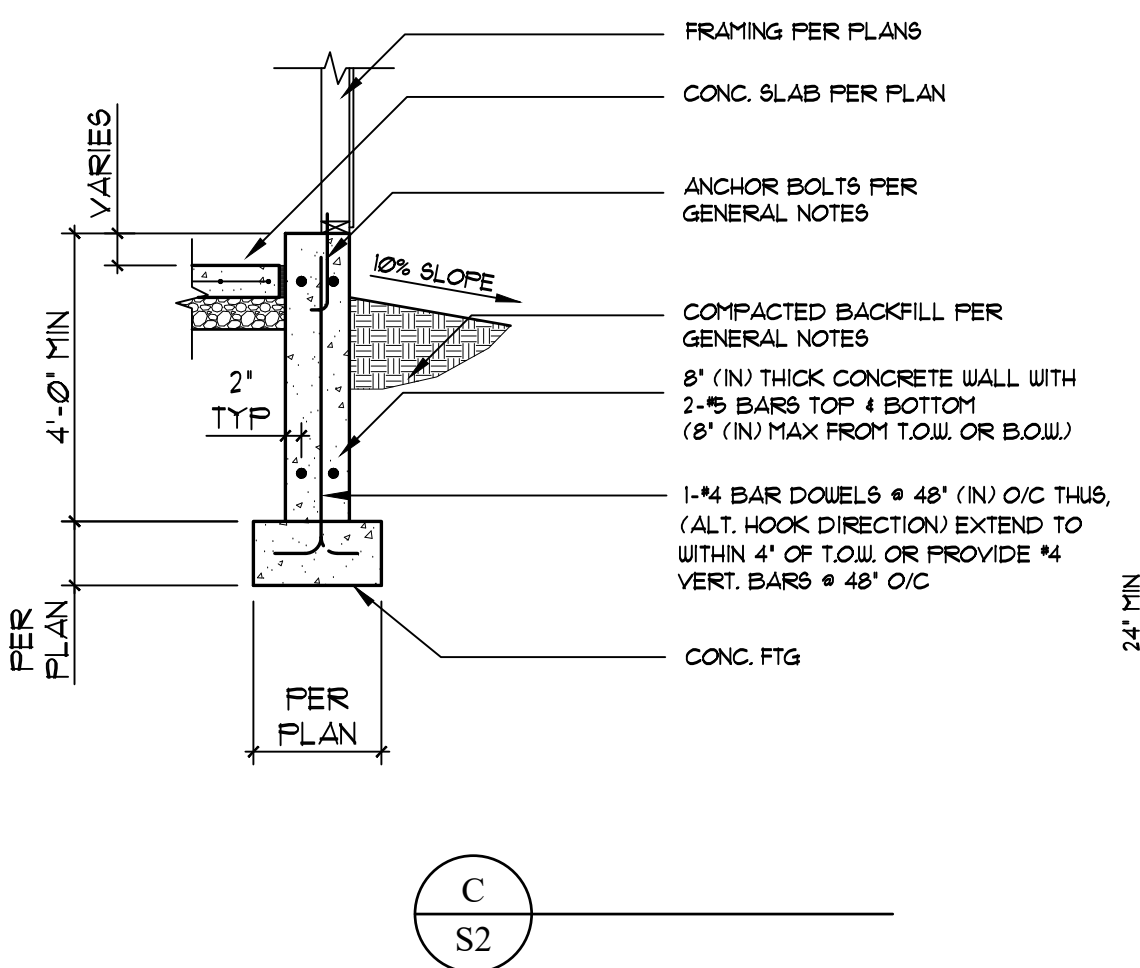
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ALP / CCL ALP	S1
SU02639.000	S5.2
04-28-2025	
1/4"=1'-0"	



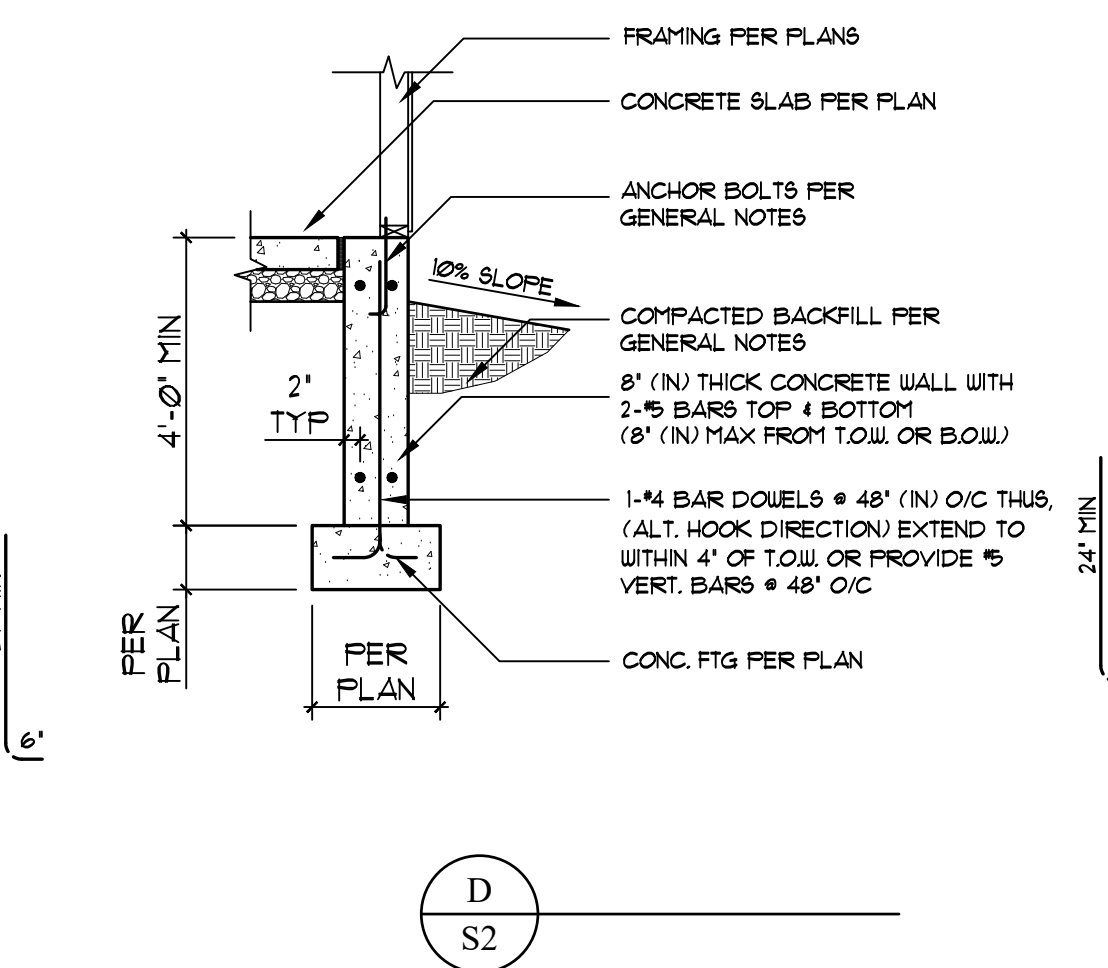
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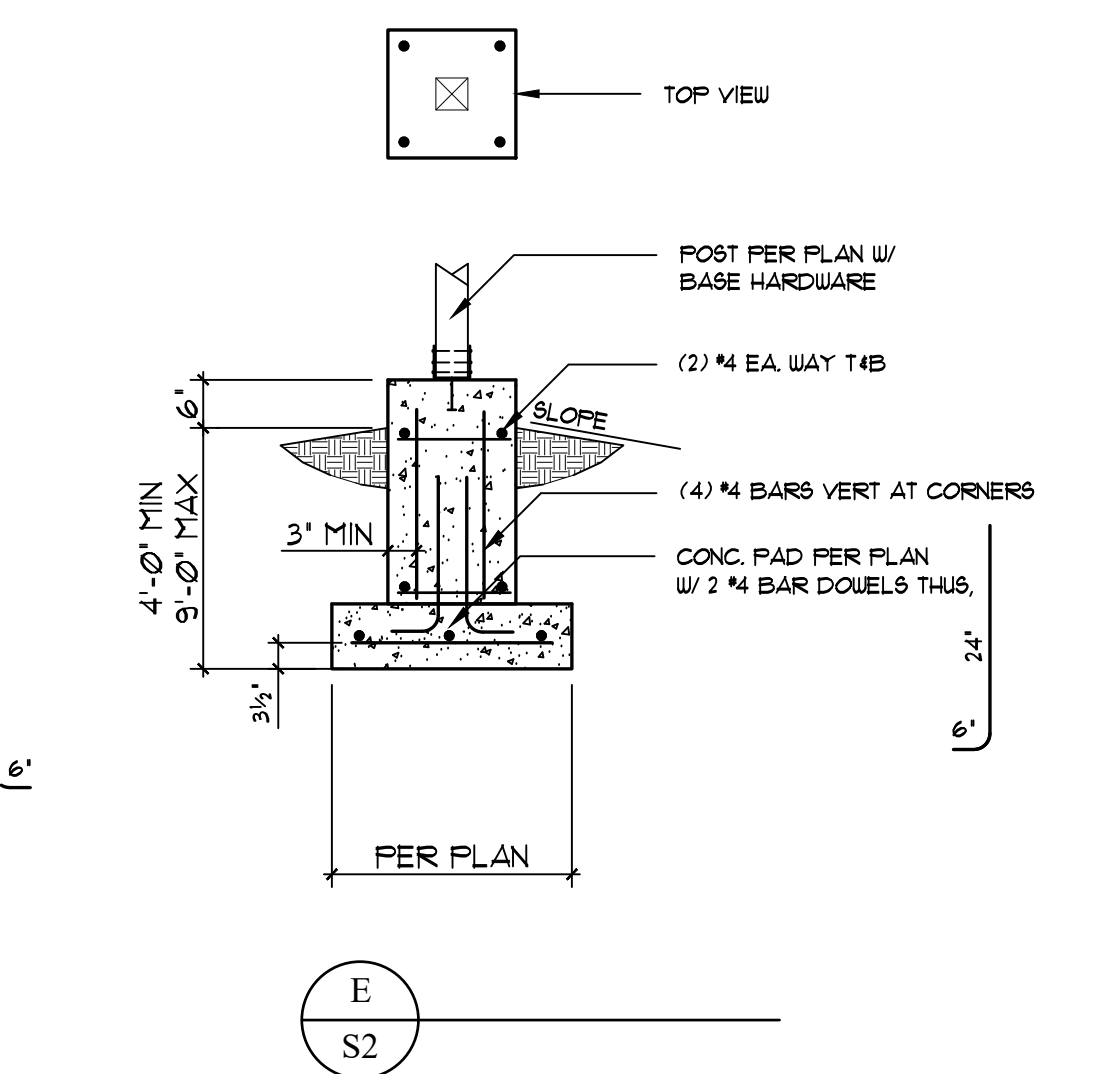
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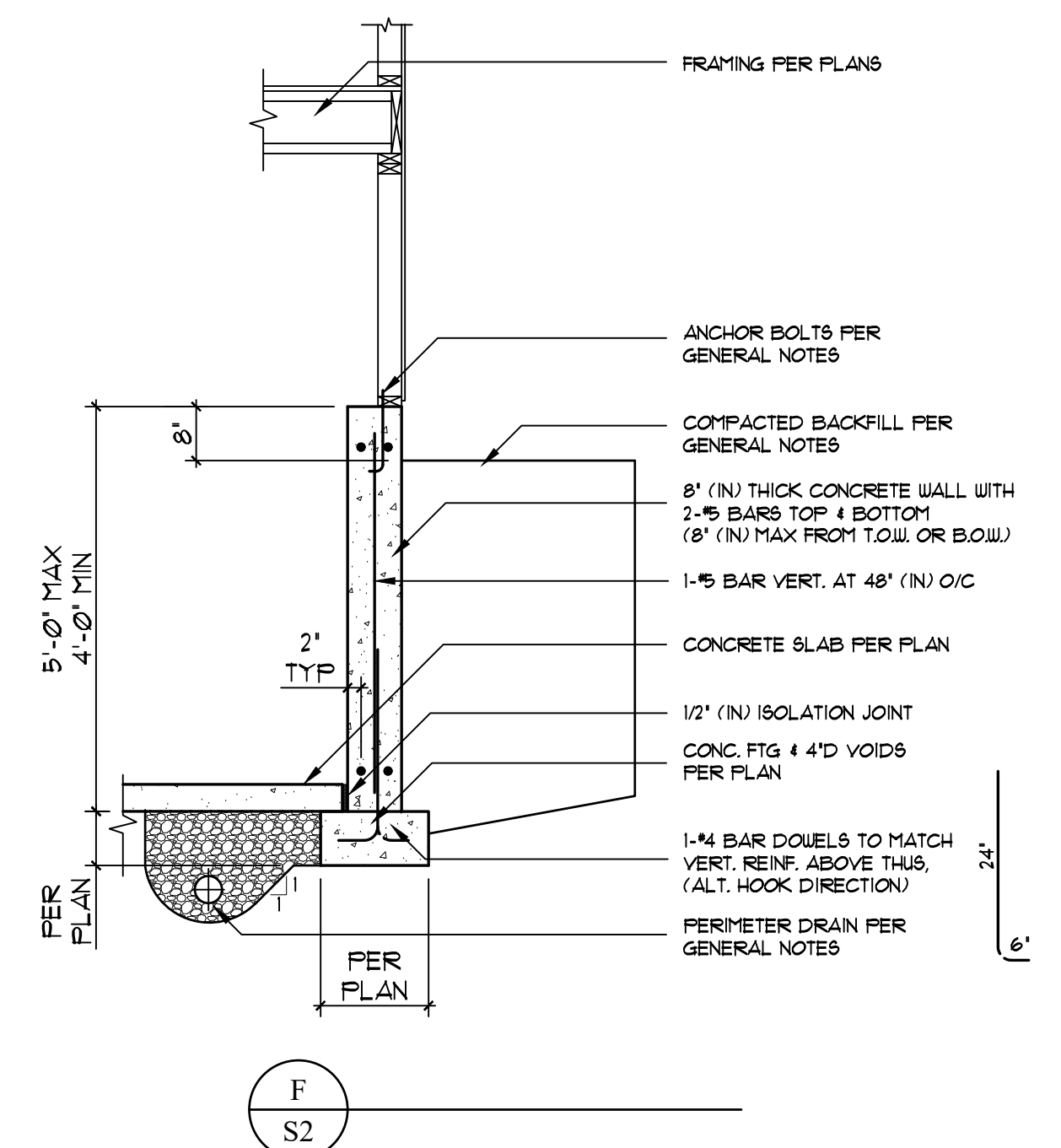
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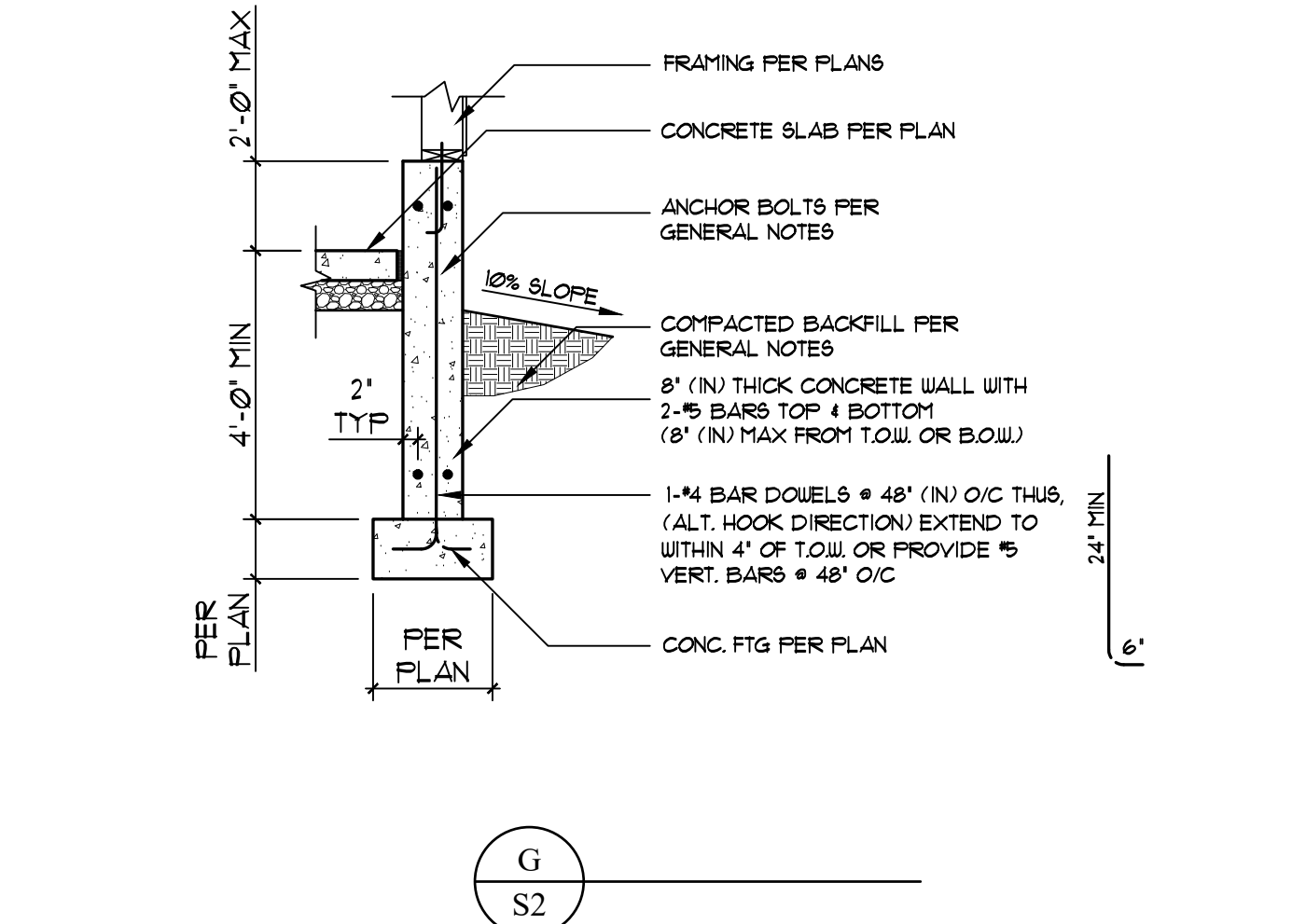
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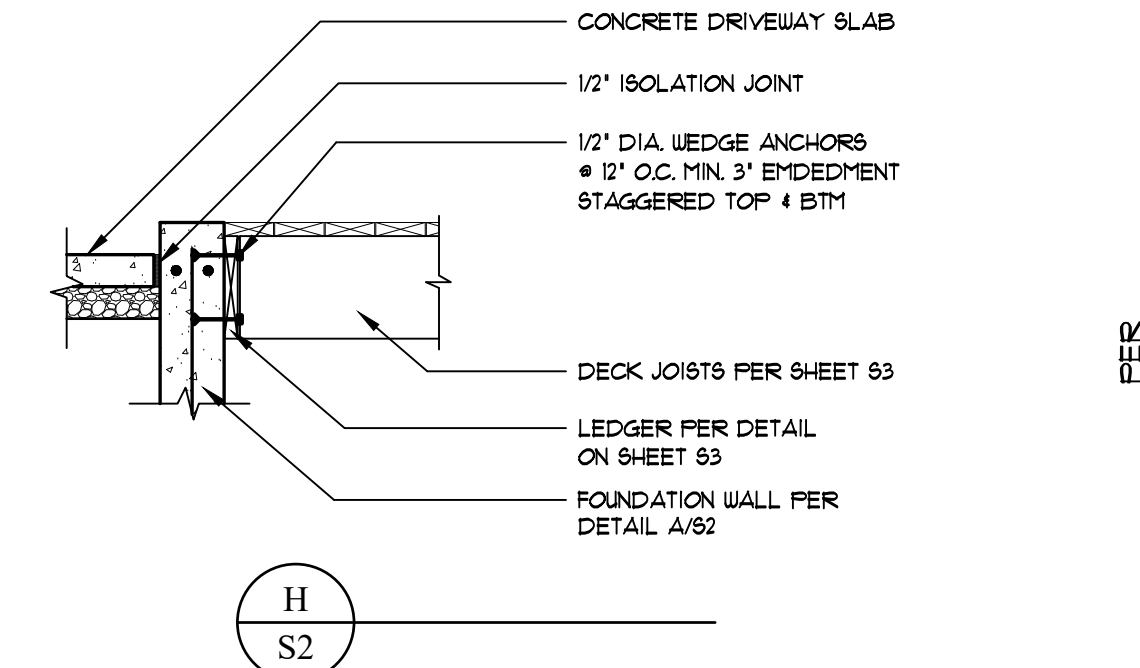
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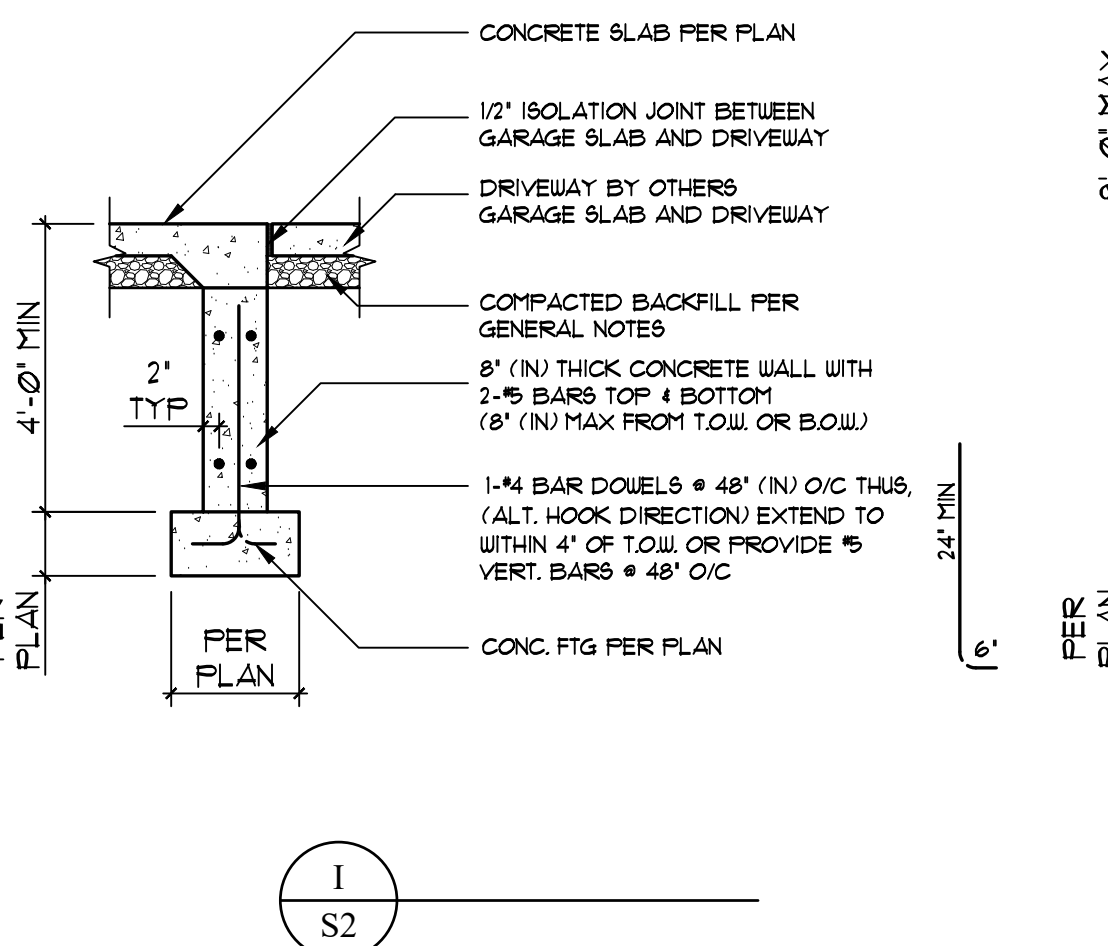
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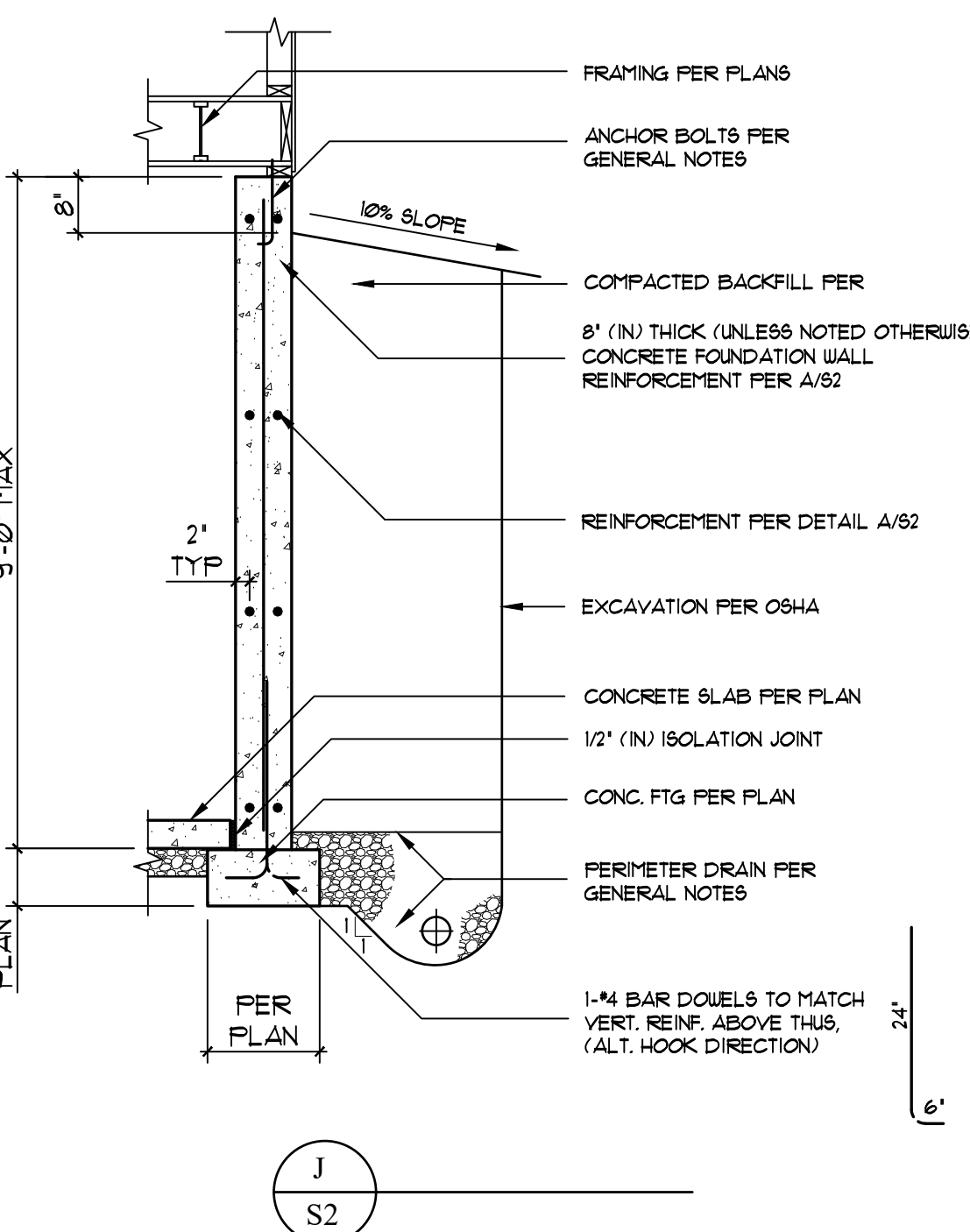
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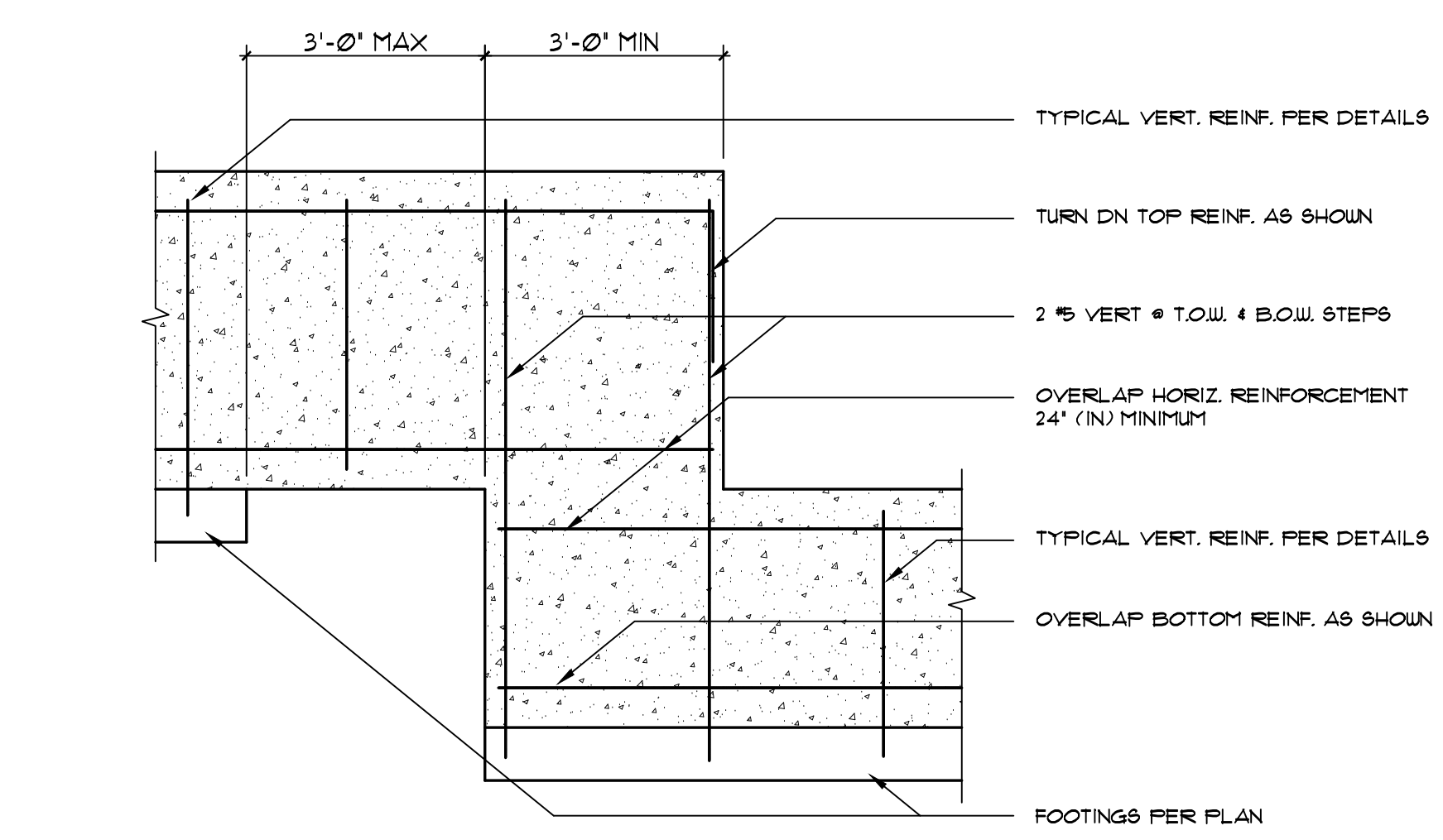
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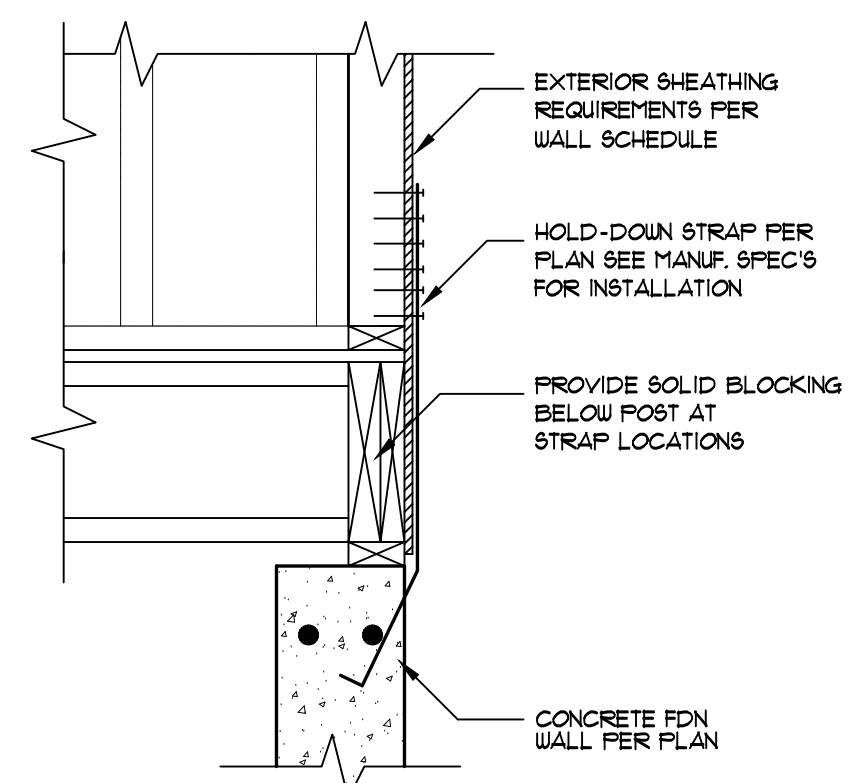
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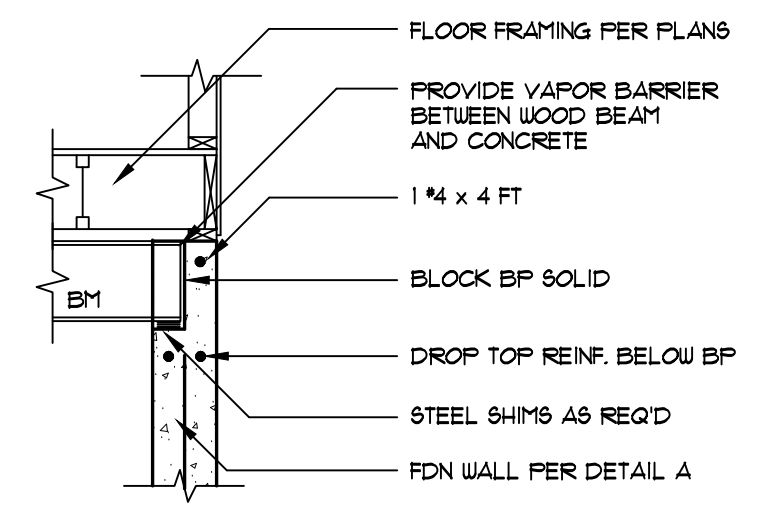
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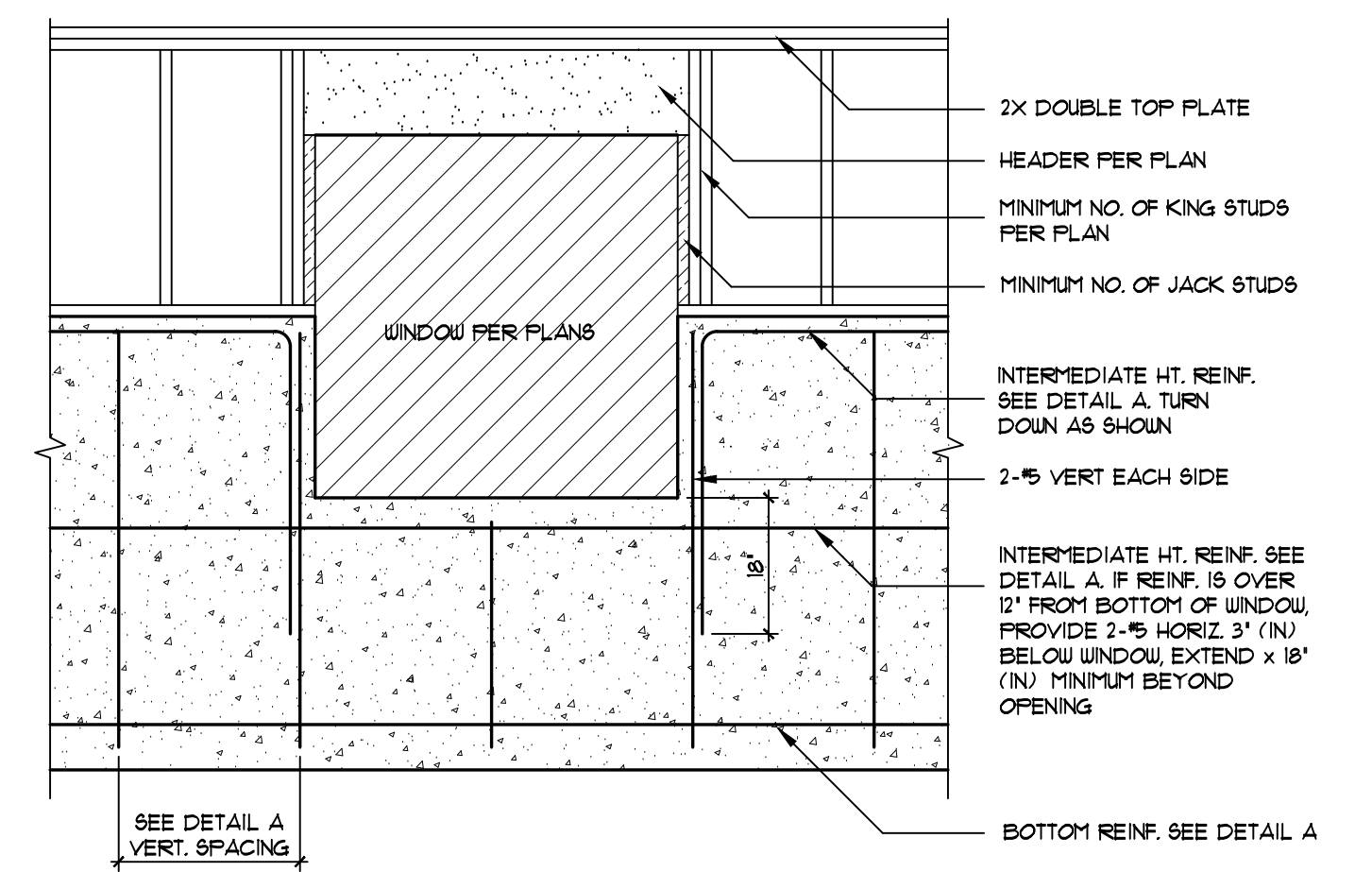
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TYPICAL HOLD-DOWN STRAP DETAIL



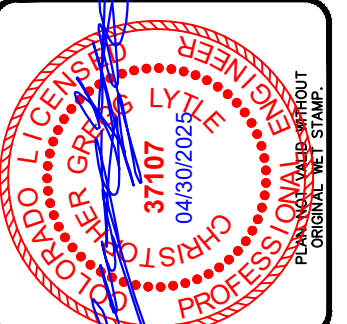
BEAM POCKET DETAIL



TYPICAL REINFORCING AT GARDEN LEVEL WINDOW OPENINGS

FOUNDATION DETAILS

CTL | THOMPSON
 Founded in 1971
 CTL | THOMPSON, INC. P. 970-453-2047
 500 Brian Avenue, Unit A
 Silverthorne, Co 80498
 www.ctlthompson.com



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PROJECT LOCATION:
 Powers, Betz Residence
 Lot 538, Golden Crown Subdivision
 194 Golden Crown Lane
 Blue River, Colorado

NO.	DATE	REVISION/ISSUE
1	04-28-2025	REVISE FOUNDATION WALL ELEVATIONS FROM DECIMAL FEET TO FEET-INCHES

CLIENT:
 Carolyn Powers & Morgan Betz
 400 North Park Avenue, Unit 12B
 Breckenridge, Co 80424
 Contact: Bobby Craig, AIA
 Arapahoe Architects, P.C.
 970-453-8474

ALP/CGL	ALP	S2
SU02639.000	04-28-2025	S5.2
N.T.S.		

1. Framing:

All framing shall be in accordance with the provisions of the 2018 International Residential Code, and the most recent versions of AISC Allowable Stress Design thirteenth edition and the NDS for wood construction. All connections or members not shown are per code or the general contractor/owner. All manufactured wood products shall be installed per the manufacturer's specifications. Framing schematic shown do not constitute complete gravity or lateral force resisting systems. Refer to the code for additional requirements. The floor joist locations shown are for demonstration purposes. The actual joist locations may vary due to the location of utilities, block-outs, and other issues in the field. The contractor and/or sub-contractor are responsible for any framing members damaged by the installation of electrical lines, HVAC, plumbing lines, or any other items.

Loads: Roof: Snow Load = 120 psf
Floor: Live Load = 40 psf
Seismic: Category B
Deck: Live Load = 125 psf
Wind: Speed = 115 mph (Ultimate, 3 second gust), Exposure C

Materials: Wood - All dimensional lumber shall be Doug. Fir #2 or better unless noted on the plans. All dimensional redwood shall be Redwood #2 or better unless noted on the plans. All Laminated Strand Lumber (LSL) shall have an allowable flexural stress $F_b = 2325$ psi and Modulus of Elasticity of $E = 1.95 \times 10^6$ or better. All Laminated Veneer Lumber (LVL) shall have an allowable flexural stress $F_b = 2600$ psi and Modulus of Elasticity of $E = 2.0 \times 10^6$ or better. Alaskan Yellow Cedar Lumber shall have an allowable flexural stress $F_b = 2000$ psi and Modulus of Elasticity of $E = 1.5 \times 10^6$ or better. All laminated Parallel PSL shall have an allowable flexural stress $F_b = 1871$ psi and Modulus of Elasticity of $E = 1.46 \times 10^6$ or better.

Steel - Structural steel beams shall conform to ASTM A992 ($F_y = 50$ ksi). 3" (in) adjustable steel columns shall be schedule 40 or better and rated for a safe allowable load of not less than 28 kips for columns up to 9'-0" in height, and 25 kips for columns up to 10'-0" in height. 3 1/2" (in) adjustable steel columns shall be schedule 40 or better and rated for a safe allowable load of not less than 36 kips for columns up to 9'-0" in height and 34 kips for columns up to 10'-0" in height. All adjustable steel columns shall have 1" to 3" (in) of threads exposed.

Floors: Floor sheathing shall consist of 23/32" T & G glued and nailed w/ 8d nails @ 6" on-center edges, 12" on-center intermediate supports. Provide blocking at supports to transmit loads as necessary.

The floor joists shall be installed per the manufacturer specifications. Provide blocking at bearing locations per the manufacturer specifications.

Unless noted otherwise on the plan, hangers shall be the following or equivalent:
Single 1 1/8" TJ-210 Joist - Simpson IUS206/1188 (Top Flange), Simpson IUS206/1188 (Face Mount)
Double 1 1/8" TJ-210 Joist - Simpson IUS206/1188 (Top Flange), Simpson IUS206/1188 (Face Mount)
Single 1 1/8" LVL - Simpson HUS510/10 (Face Mount)
Double 1 1/8" LVL - Simpson HUS510/10 (Face Mount)
Triple 1 1/8" LVL - Simpson HUS510/10 (Face Mount)

Roof: Roof shall be 1932' OSB with 8d @ 6" on-center edges, 12" on-center field, over engineered trusses by others. For truss attachment, connections, and bracing refer to the truss manufacturer's recommendations. At a minimum, attach trusses to wall below with SIMPSON H25T clips at each truss (2) SIMPSON H25T clips at girder trusses. Solid block between rafters at bearing walls. Unless noted otherwise on plan, attach rafters to wall below with SIMPSON H25T clips or equal.

Walls: At a minimum, all exterior bearing and shear walls shall be constructed with 2x6 hem-fir studs spaced at 16" (in) on center unless noted otherwise on the plans. All interior bearing and shear walls shall be constructed with 2x4 hem-fir studs spaced at 16" (in) on center unless noted otherwise on the plans.

All columns specified on the plan are the minimum number of trimmer studs required for the header or beam unless noted otherwise on the plan. Provide minimum of one (1) king stud on each side of header or beam perpendicular to walls to create beam pocket. See typical wall opening detail for other king stud requirements.

Built up columns are 3-2xwall thickness HP#2 or better unless noted otherwise on the plans.

Misc: All wood in contact with concrete shall be pressure treated or redwood.

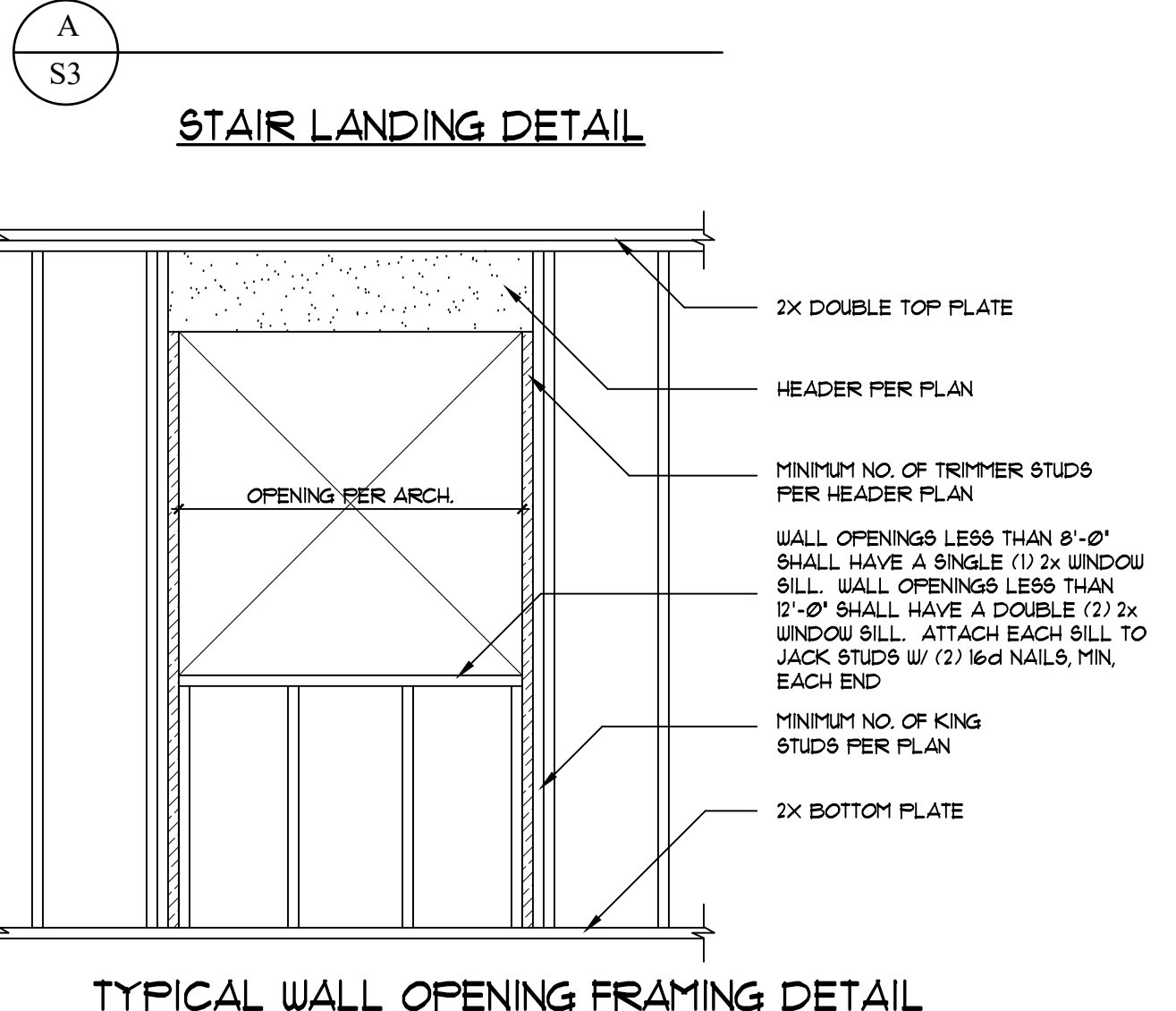
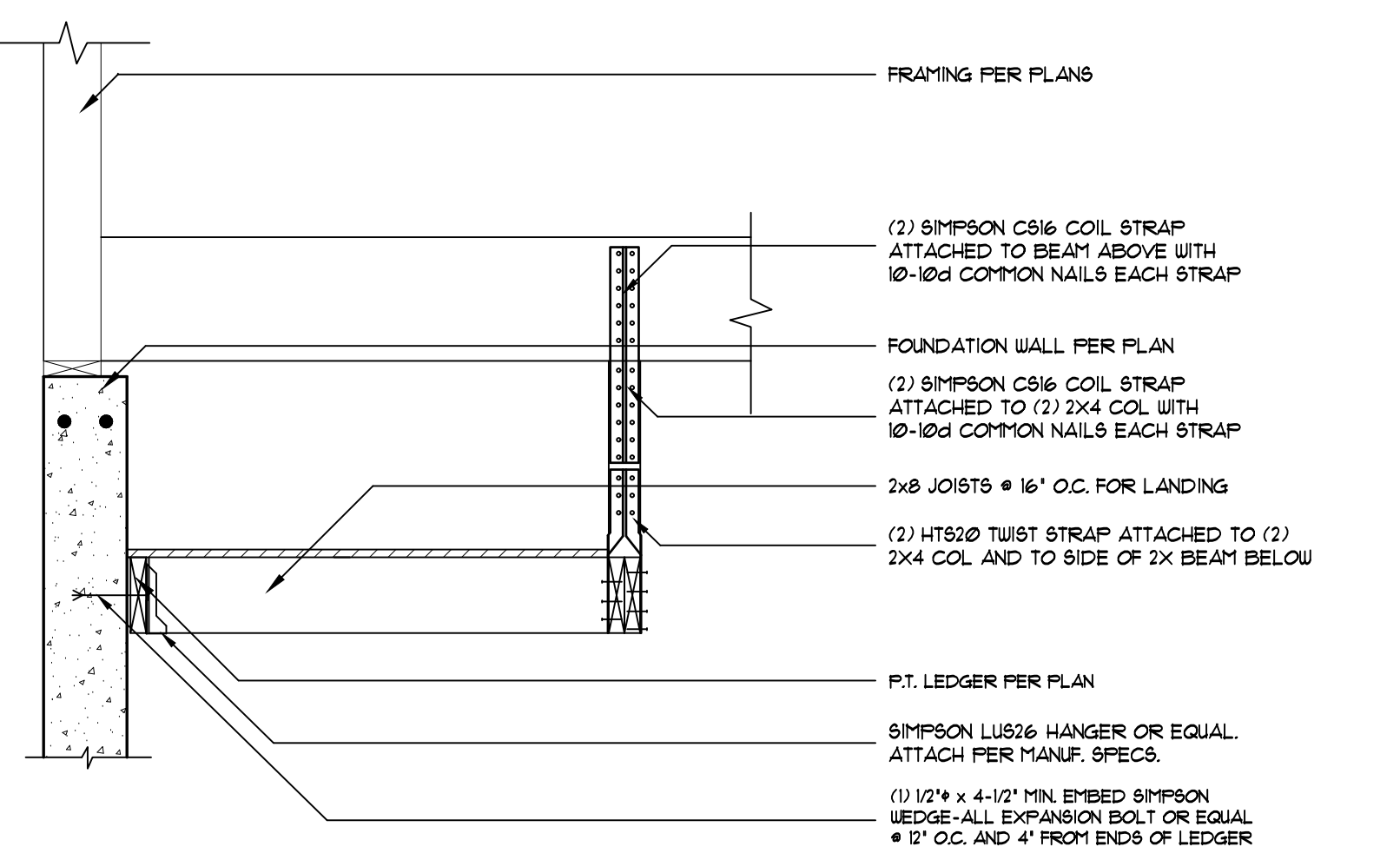
Provide solid blocking to transmit all point loads continuous to the foundation as necessary.

For decks with dropped beams and a maximum joist span of 15 feet and a joist spacing of 16" on center, one of the following SIMPSON fasteners (or equivalent) should be used to attach the end of each joist to the dropped beam: H, H25A, or H25T.

It is the contractor/owner's responsibility to verify and coordinate all dimensions prior to construction. Block-outs and other required openings may or may not be shown. This plan is based on the architect's plans and the above referenced specifications. Any discrepancies or changes should be brought to the attention of CTL | THOMPSON.

Anchor Bolts: Foundation anchor bolts shall conform to ASTM F1554 Gr36 and be 1/2" (in) diameter by 12" (in) long (1" min. embedment) spaced at 4'-0" maximum (unless noted otherwise on plan) and 12" (in) from corners and splices. Anchor bolts shall be located within the middle third of the sill plate.

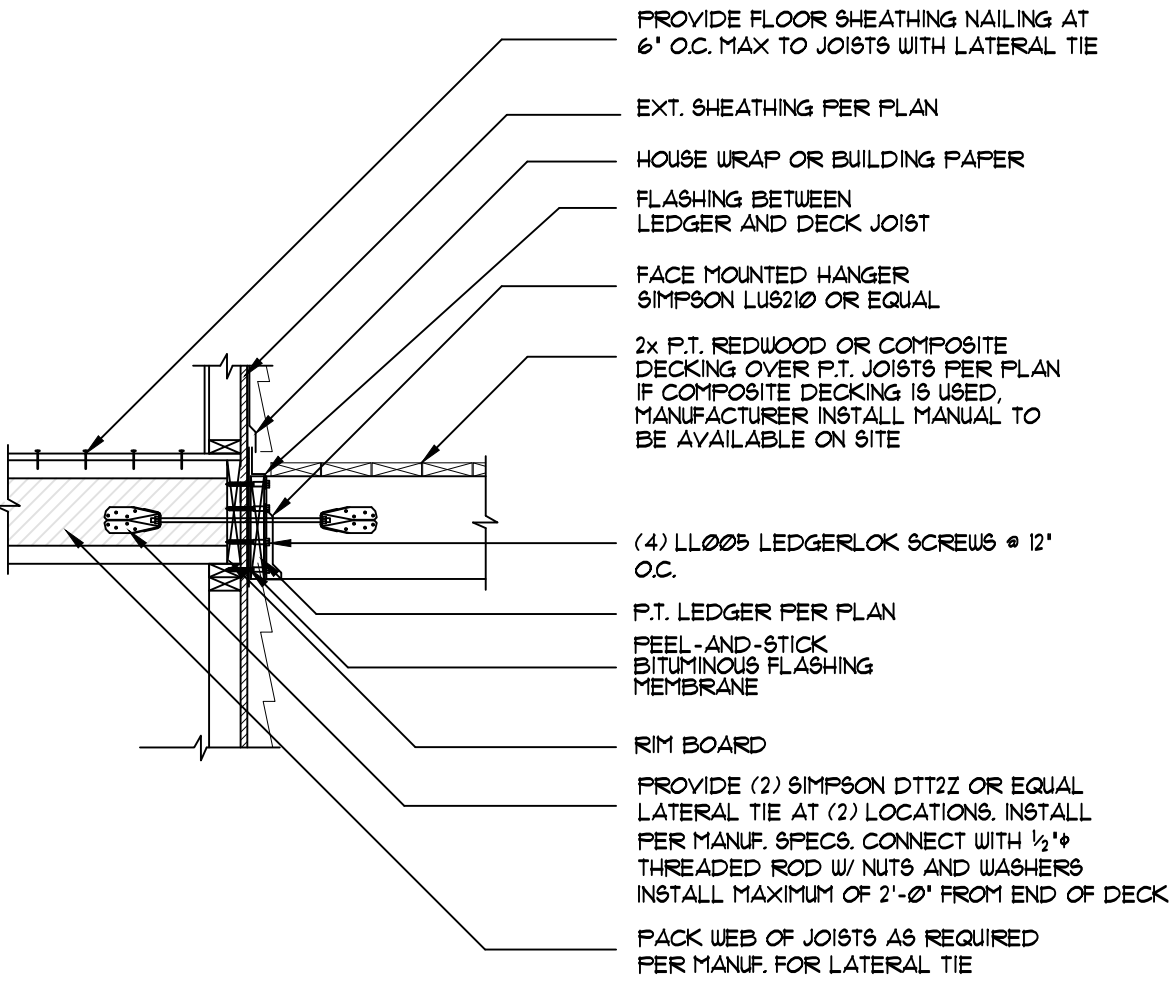
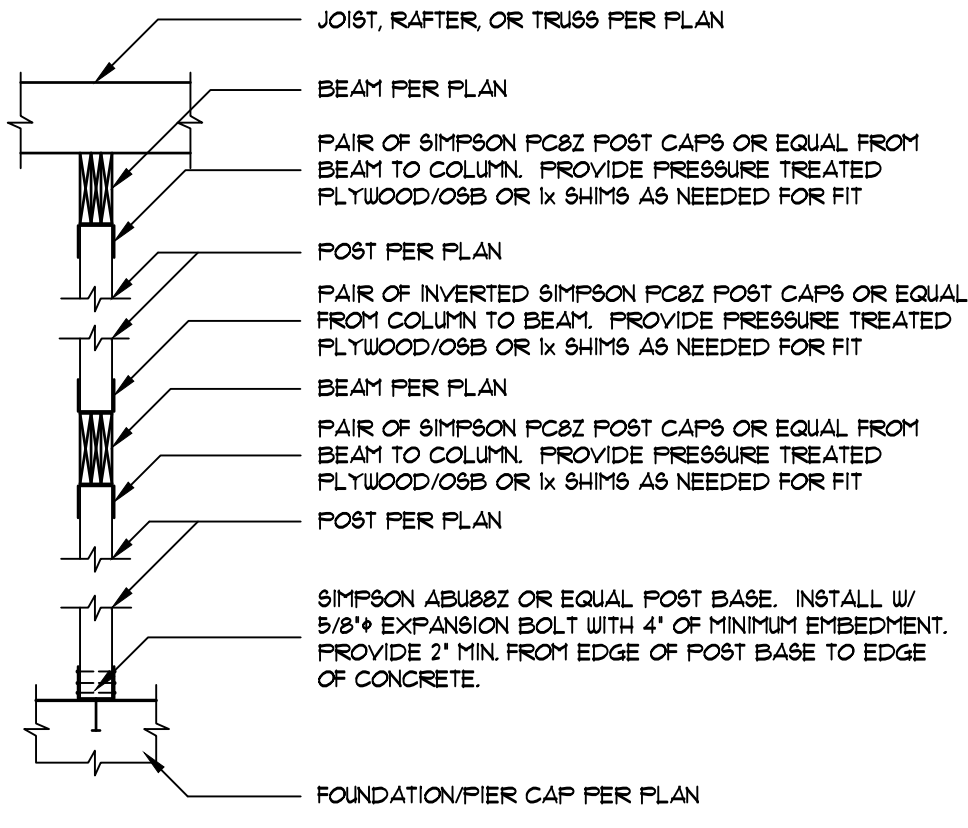
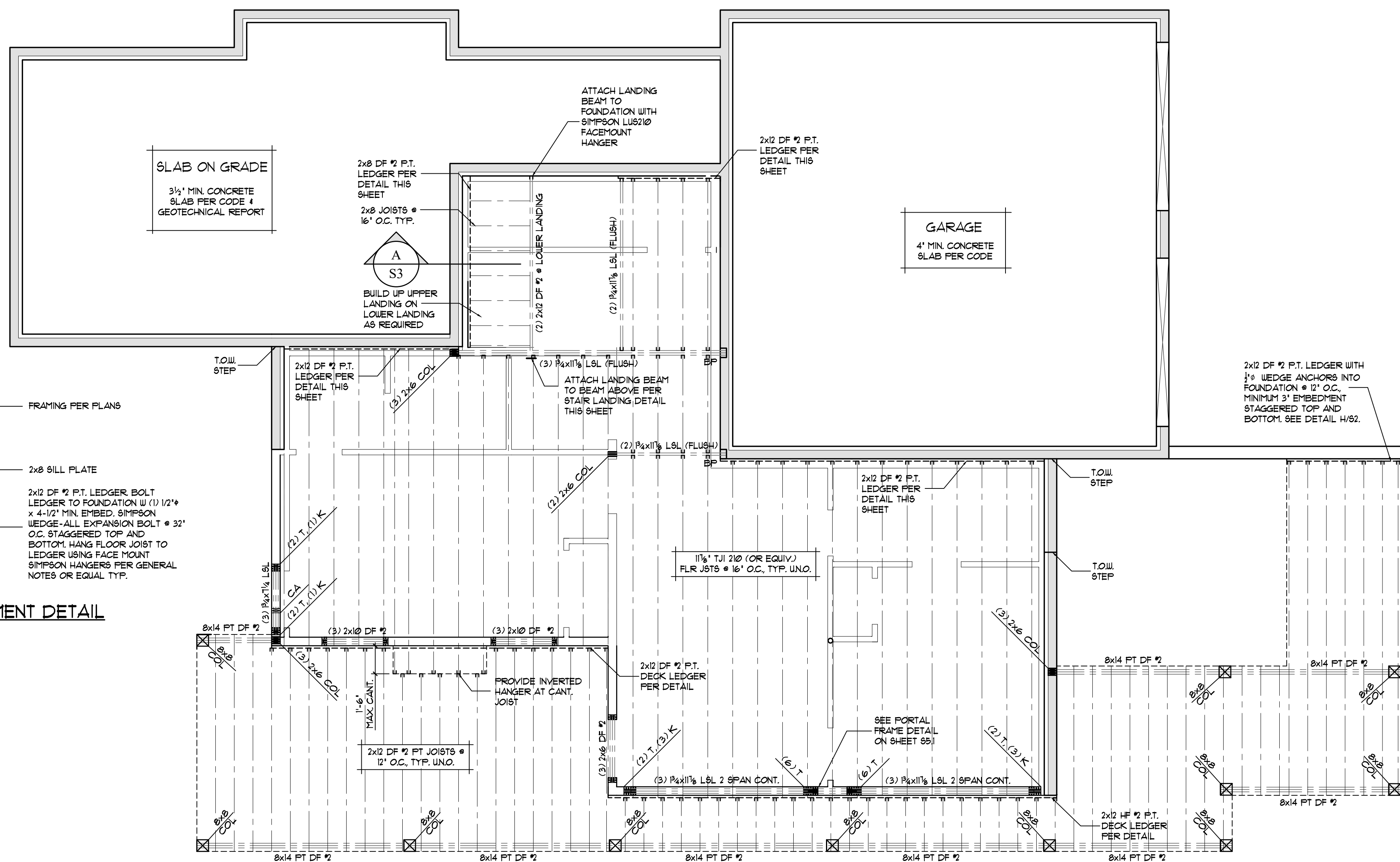
Fasteners and connectors: All fasteners and connectors in contact with pressure treated lumber shall be G95 hot-dip galvanized (HDG) type 304 stainless steel or type 316 stainless steel. Do not mix HDG and stainless hardware and fasteners.



NOTE:
K = KING STUDS
T = TRIMMER STUDS
CA = COLUMN ABOVE
(1) K, (1) T TYP. UNO.

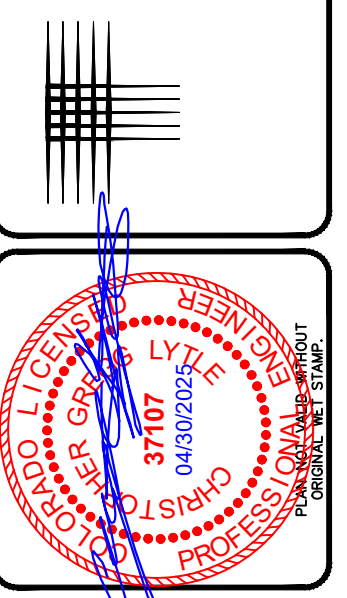
NOTE:
DO NOT SCALE THESE DRAWINGS. REFER TO ARCH PLANS FOR ALL DIMENSIONS

NOTE: FASTEN MULTI-PLY LSL/LVL'S TOGETHER WITH 3 ROWS OF 10d COMMON NAILS SPACED AT 12" ON CENTER. FOR 3-PLY BEAMS, THE FASTENERS SHOULD BE INSTALLED ON BOTH SIDES AND SHOULD BE STAGGERED 6" FROM THE FASTENERS ON THE OPPOSITE SIDE. PROVIDE MINIMUM 2" EDGE DISTANCE FOR FASTENERS. FOR 4-PLY BEAMS, ATTACH WITH 2 ROWS OF 1/2" THRU BOLTS @ 12" ON CENTER. PROVIDE MINIMUM 3" EDGE DISTANCE FOR FASTENERS.



1ST FLOOR FRAMING SCHEMATIC

CTL | THOMPSON
Founded in 1971
CTL | THOMPSON, INC. P. 970-453-2047
500 Brian Avenue, Unit A
Silverthorne, Co 80498
www.ctlthompson.com



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PROJECT LOCATION:
Powers, Betz Residence
Lot 538, Golden Crown Subdivision
194 Golden Crown Lane
Blue River, Colorado

1ST FLOOR FRAMING SCHEMATIC
REVISION/ISSUE: 04-28-2025
DATE: 04-28-2025
SCALE: AS SHOWN
SHEET: S3

CLIENT:
Carolyn Powers & Morgan Betz
400 North Park Avenue, Unit 12B
Breckenridge, Co 80424
Contact: Bobby Craig, AIA
Arapahoe Architects, P.C.
970-453-5474

DATE: 04-28-2025
SHEET: S3
SU02639.000
S5.2

1. Framing:

All framing shall be in accordance with the provisions of the 2018 International Residential Code, and the most recent versions of AISC Allowable Stress Design thirteenth edition and the NDS for wood construction. All connections or members not shown are per code or the general contractor/owner. All manufactured wood products shall be installed per the manufacturer's specifications. Framing schematics shown do not constitute complete gravity or lateral force restraining systems. Refer to the code for additional requirements. The floor joist locations shown are for demonstration purposes. The actual joist locations may vary due to the location of utilities, block-outs, and other issues in the field. The contractor and/or sub-contractor are responsible for any framing members damaged by the installation of electrical lines, HVAC, plumbing lines, or any other items.

Loads: Roof: Snow Load = 120 psf
Floor: Live Load = 40 psf
Seismic: Category B
Deck: Live Load = 25 psf
Wind: Speed = 15 mph (Ultimate, 3 second gust), Exposure C

Materials: Wood - All dimensional lumber shall be Doug. Fir #2 or better unless noted on the plans. All dimensional redwood shall be Redwood #2 or better unless noted on the plans. All Laminated Strand Lumber (LSL) shall have an allowable flexural stress $F_b = 2325$ psi and Modulus of Elasticity of $E = 155 \times 10^6$ or better. All Laminated Veneer Lumber (LVL) shall have an allowable flexural stress $F_b = 2600$ psi and Modulus of Elasticity of $E = 2.0 \times 10^6$ or better. Alaskan Yellow Cedar Lumber shall have an allowable flexural stress $F_b = 2000$ psi and Modulus of Elasticity of $E = 1.5 \times 10^6$ or better. All laminated Parallel PSL shall have an allowable flexural stress $F_b = 1871$ psi and Modulus of Elasticity of $E = 1.46 \times 10^6$ or better.

Steel: Structural steel beams shall conform to ASTM A992 ($F_y = 50$ ksi). 3" (in) adjustable steel columns shall be schedule 40 or better and rated for a safe allowable load of not less than 28 kips for columns up to 9'-0" in height, and 25 kips for columns up to 10'-0" in height. 3/4" (in) adjustable steel columns shall be schedule 40 or better and rated for a safe allowable load of not less than 36 kips for columns up to 9'-0" in height and 34 kips for columns up to 10'-0" in height. All adjustable steel columns shall have 1" to 3" (in) of threads exposed.

Floors: Floor sheathing shall consist of 23/32" T & G glued and nailed w/ 8d nails @ 6" on-center edges, 12" on-center intermediate supports. Provide blocking at supports to transmit loads as necessary.

The floor joists shall be installed per the manufacturer specifications. Provide blocking at bearing locations per the manufacturer specifications.

Unless noted otherwise on the plan, hangers shall be the following or equivalent:
Single 1 1/2" TJ-210 Joist - Simpson IT52.06/1188 (Top Flange), Simpson IJ52.06/1188 (Face Mount)
Double 1 1/2" TJ-210 Joist - Simpson M1428/1188 (Top Flange), Simpson M1428/11 (Face Mount)
Single 1 1/2" LVL - Simpson HJ519/10 (Face Mount)
Double 1 1/2" LVL - Simpson HJ454/10 (Face Mount)
Triple 1 1/2" LVL/LVL - Simpson HJ455/10 (Face Mount)

Roof: Roof shall be 1932' OSB with 8d @ 6" on-center edges, 12" on-center field, over engineered trusses by others. For truss attachment, connections, and bracing refer to the truss manufacturer's recommendations. At a minimum, attach trusses to wall below with SIMPSON H25T clips at each truss (2) SIMPSON H25T clips at girder trusses. Solid block between rafters at bearing walls. Unless noted otherwise on plan, attach rafters to wall below with SIMPSON H25T clips or equal.

Walls: At a minimum, all exterior bearing and shear walls shall be constructed with 2x6 hem-fir studs spaced at 16" (in) on center unless noted otherwise on the plans. All interior bearing and shear walls shall be constructed with 2x4 hem-fir studs spaced at 16" (in) on center unless noted otherwise on the plans.

All columns specified on the plan are the minimum number of trimmer studs required for the header or beam unless noted otherwise on the plan. Provide minimum of one (1) king stud on each side of header or beam perpendicular to walls to create beam pocket. See typical wall opening detail for other king stud requirements.

Built up columns are 3-2x wall thickness HP#2 or better unless noted otherwise on the plans.

Misc: All wood in contact with concrete shall be pressure treated or redwood.

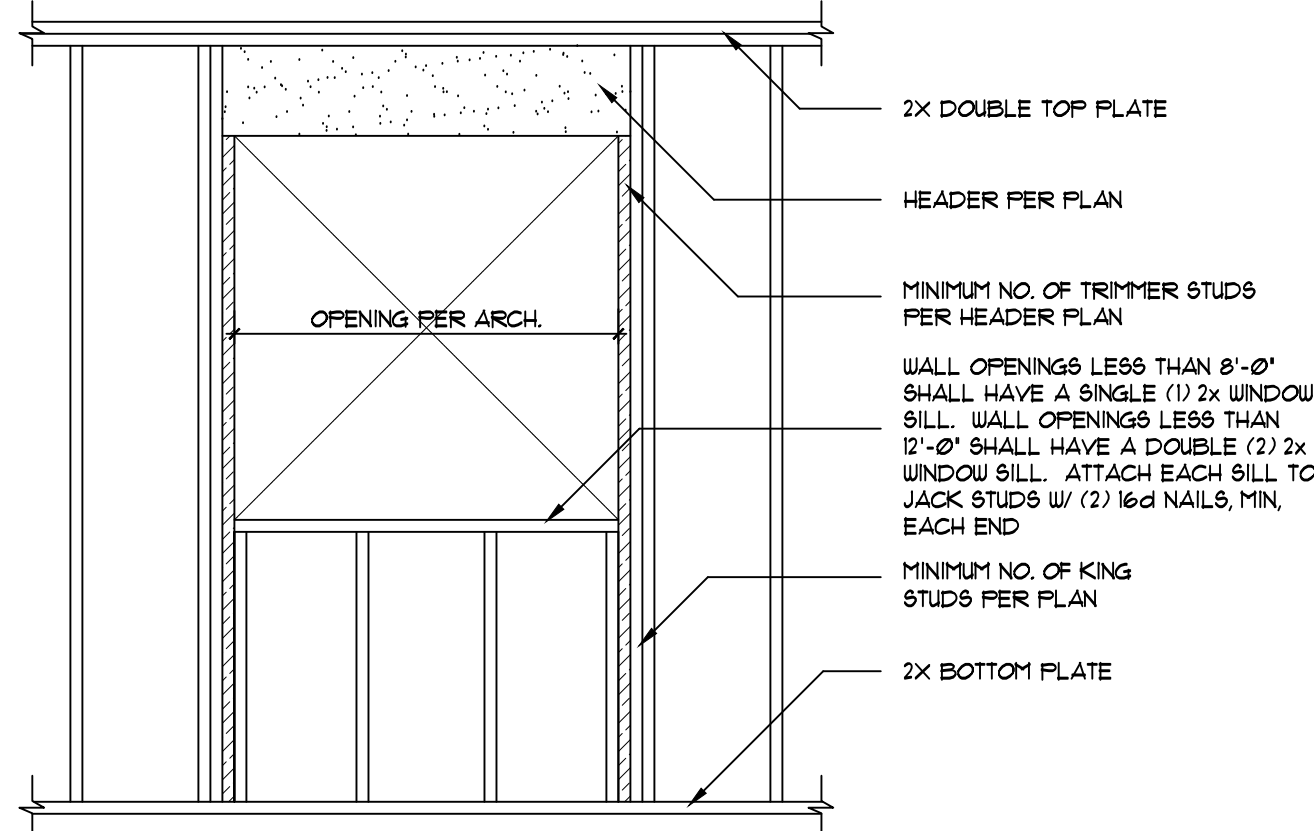
Provide solid blocking to transmit all point loads continuous to the foundation as necessary.

For decks with dropped beams and a maximum joist span of 15 feet and a joist spacing of 16" on center, one of the following SIMPSON fasteners (or equivalent) should be used to attach the end of each joist to the dropped beam: H, H25A, or H25T.

It is the contractor/owner's responsibility to verify and coordinate all dimensions prior to construction. Block-outs and other required openings may or may not be shown. This plan is based on the architect's plans and the above referenced specifications. Any discrepancies or changes should be brought to the attention of CTL THOMPSON.

Anchor Bolts: Foundation anchor bolts shall conform to ASTM F1554 Gr36 and be 1/2" (in) diameter by 12" (in) long (1" min. embedment) spaced at 4'-0" maximum (unless noted otherwise on plan) and 12" (in) from corners and splices. Anchor bolts shall be located within the middle third of the sill plate.

Fasteners and connectors: All fasteners and connectors in contact with pressure treated lumber shall be G85 hot-dip galvanized (HDG) type 304 stainless steel or type 316 stainless steel. Do not mix HDG and stainless hardware and fasteners.



TYPICAL WALL OPENING FRAMING DETAIL

NOTE: FASTEN MULTI-PLY LSL/LVL'S TOGETHER WITH 3 ROWS OF 10d COMMON NAILS SPACED AT 12" ON CENTER. FOR 3-PLY BEAMS, THE FASTENERS SHOULD BE INSTALLED ON BOTH SIDES AND SHOULD BE STAGGERED 6" FROM THE FASTENERS ON THE OPPOSITE SIDE. PROVIDE MINIMUM 2" EDGE DISTANCE FOR FASTENERS. FOR 4-PLY BEAMS, ATTACH WITH 2 ROWS OF 1/2" THRU BOLTS @ 12" ON CENTER. PROVIDE MINIMUM 3" EDGE DISTANCE FOR FASTENERS.

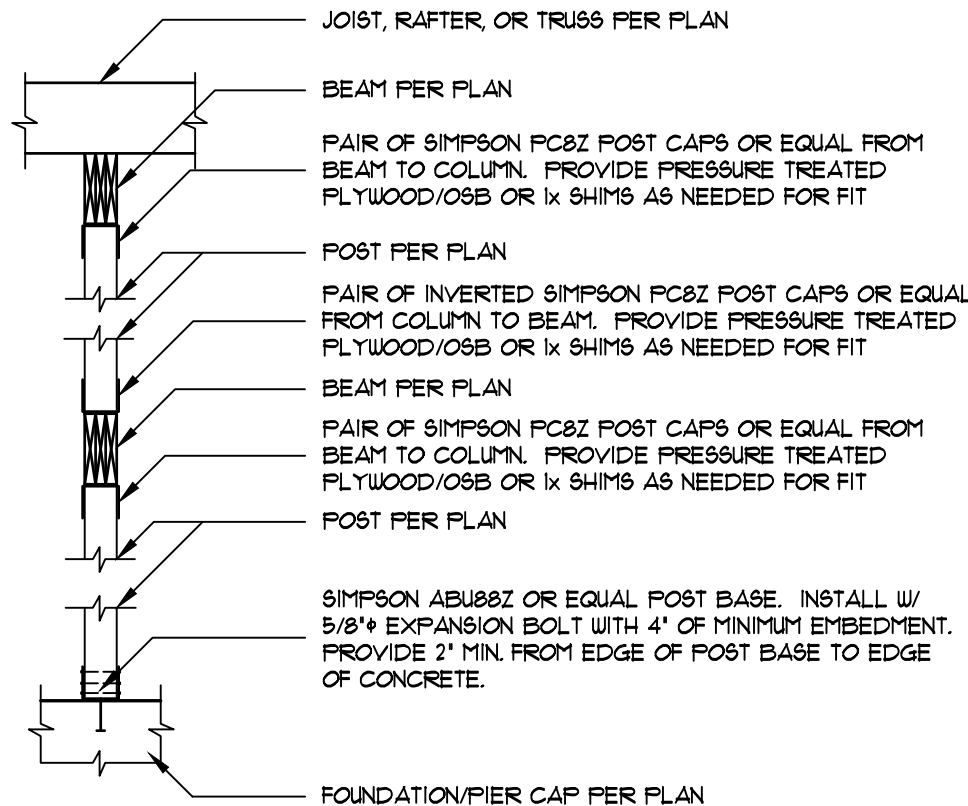
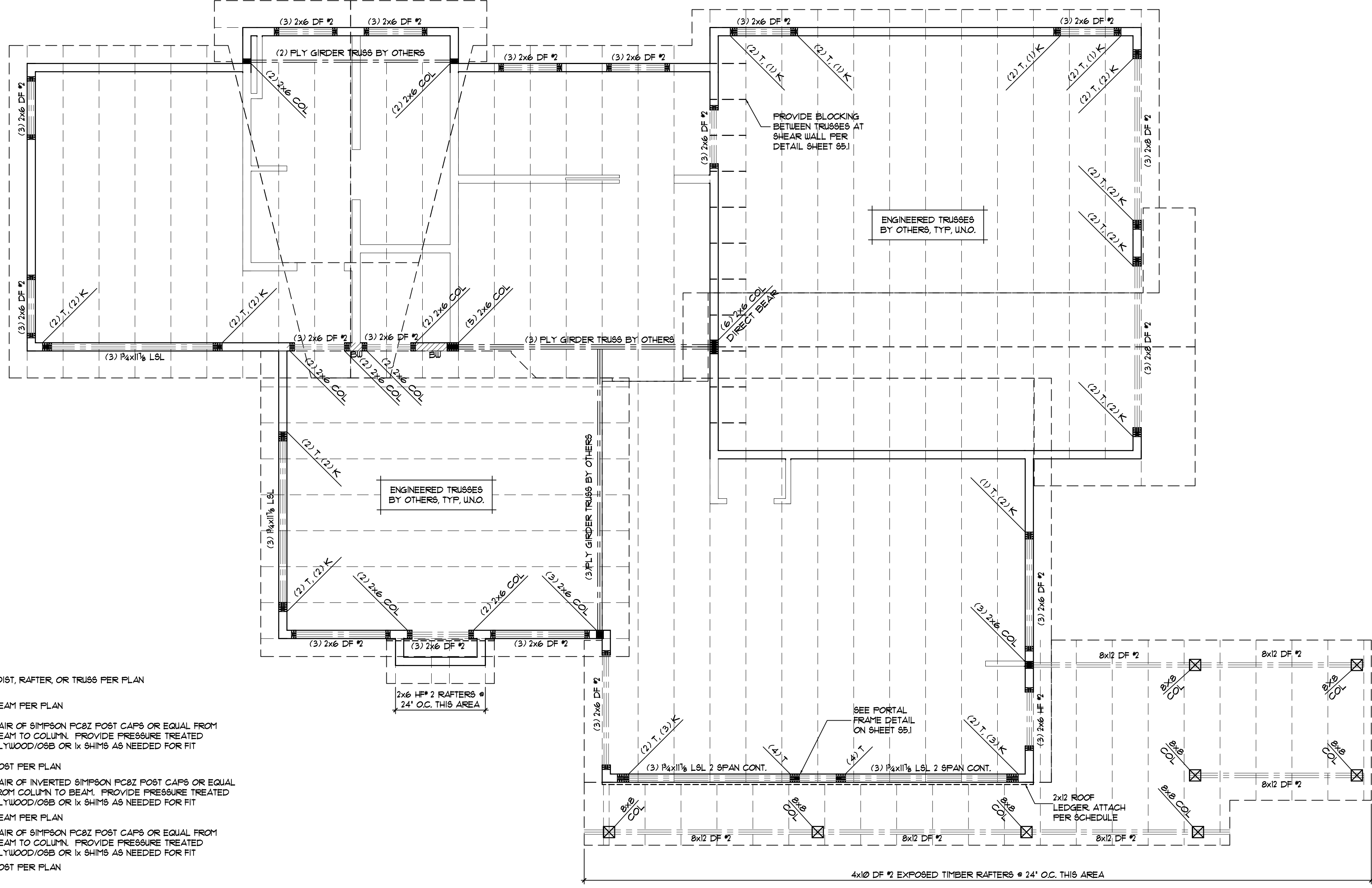
ROOF LEDGER ATTACHMENT SCHEDULE	
TRUSS SPAN	2-6 (ft)
FASTENERS	
16d COMMON NAILS	(3) ROWS @ 16" O.C.
1/4" x 3 1/2" SIMPSON SDS SCREWS OR EQUAL W/ WASHERS	(1) @ 16" (in) O.C. STAGGER T4B

NOTE: - BOTH LAG SCREWS AND NAILS ARE REQUIRED FOR ALL SPANS
- LAG SCREWS AND NAILS ARE TO PENETRATE RIM BOARD, BEAMS, WALL FRAMING, AND/OR 2x BLOCKING IN THE WALL.
- THIS SCHEDULE DOES NOT APPLY TO GIRDER TRUSSES. GIRDER TRUSSES SHOULD BE ATTACHED DIRECTLY TO BEAMS OR BEAR ON TOP OF WALLS, COLUMNS, AND/OR BEAMS.

NOTE:
K = KING STUDS
T = TRIMMER STUDS
CA = COLUMN ABOVE
(1) K, (1) T TYP. UNO.

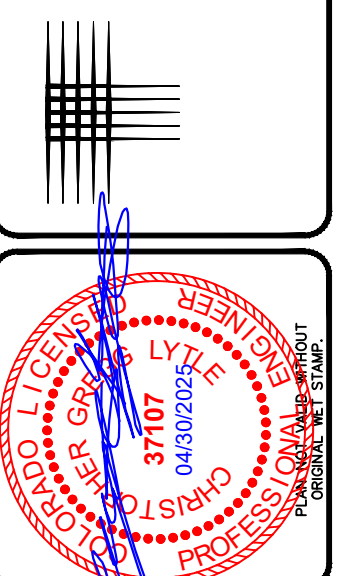
NOTE:
THIS PLAN IS BASED UPON AN ASSUMED TRUSS LAYOUT. NOTIFY CTL IF ACTUAL TRUSS LAYOUT IS DIFFERENT.

NOTE:
DO NOT SCALE THESE DRAWINGS. REFER TO ARCH PLANS FOR ALL DIMENSIONS



COVERED DECK POST CAP & BASE DETAIL

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PROJECT LOCATION:
Powers, Betz Residence
Lot 538, Golden Crown Subdivision
194 Golden Crown Lane
Blue River, Colorado

REVISIONS:
NO. DATE REVISION/ISSUE
1 04-28-2025 REVISE FOUNDATION WALL ELEVATIONS FROM DECIMAL FEET TO FEET+INCHES

CLIENT:
Carolyn Powers & Morgan Betz
400 North Park Avenue,
Breckenridge, Co 80424
Contact: Bobby Craig, AIA
Arapahoe Architects, P.C.
970-453-8474

DATE PLOTTED	04/28/2025
SCALE	AS SHOWN
SHEET NO.	54
TOTAL SHEETS	55.2

ROOF FRAMING SCHEMATIC

1. Framing:

All framing shall be in accordance with the provisions of the 2018 International Residential Code, and the most recent versions of AISC Allowable Stress Design thirteenth edition and the NDS for wood construction. All connections or members not shown are per code or the general contractor/owner. All manufactured wood products shall be installed per the manufacturer's specifications. Framing schematics shown do not constitute complete drawings or lateral force resisting systems. Refer to the code for additional requirements. The floor joist locations shown are for demonstration purposes. The actual joist locations may vary due to the location of utilities, block-outs, and other issues in the field. The contractor and/or sub-contractor are responsible for any framing members damaged by the installation of electrical lines, HVAC, plumbing lines, or any other items.

Loads: Roof: Snow Load = 120 psf
Floor: Live Load = 40 psf
Seismic: Category B
Deck: Live Load = 125 psf
Wind: Speed = 115 mph (Ultimate, 3 second gust), Exposure C

Materials: Wood - All dimensional lumber shall be Doug. Fir #2 or better unless noted on the plans. All dimensional redwood shall be Redwood #2 or better unless noted on the plans. All Laminated Strand Lumber (LSL) shall have an allowable flexural stress $F_b = 2325$ psi and Modulus of Elasticity of $E = 1.85 \times 10^6$ or better. All Laminated Veneer Lumber (LVL) shall have an allowable flexural stress $F_b = 2600$ psi and Modulus of Elasticity of $E = 2.0 \times 10^6$ or better. Alaskan Yellow Cedar Lumber shall have an allowable flexural stress $F_b = 2000$ psi and Modulus of Elasticity of $E = 1.5 \times 10^6$ or better. All wood-inlaid Parallel PSL shall have an allowable flexural stress $F_b = 1871$ psi and Modulus of Elasticity of $E = 1.46 \times 10^6$ or better.

Steel - Structural steel beams shall conform to ASTM A992 ($F_y = 50$ ksi). 3" (in) adjustable steel columns shall be schedule 40 or better and rated for a safe allowable load of not less than 28 kips for columns up to 9'-0" in height, and 25 kips for columns up to 10'-0" in height. 3 1/2" (in) adjustable steel columns shall be schedule 40 or better and rated for a safe allowable load of not less than 36 kips for columns up to 9'-0" in height and 34 kips for columns up to 10'-0" in height. All adjustable steel columns shall have 1" to 3" (in) of threads exposed.

Floors: Floor sheathing shall consist of 23/32" T & G glued and nailed w/ 8d nails @ 6" on-center edges, 12" on-center intermediate supports. Provide blocking at supports to transmit loads as necessary.

The floor joists shall be installed per the manufacturer specifications. Provide blocking at bearing locations per the manufacturer specifications.

Unless noted otherwise on the plan, hangers shall be the following or equivalent:
Single 1 1/2" TJ-210 Joist - Simpson I52.06/1188 (Top Flange), Simpson I52.06/1188 (Face Mount)
Double 1 1/2" TJ-210 Joist - Simpson M1428/1188 (Top Flange), Simpson M1428/11 (Face Mount)
Single 1 1/2" LVL - Simpson H4359/10 (Face Mount)
Double 1 1/2" LVL - Simpson H4359/10 (Face Mount)
Triple 1 1/2" LVL - Simpson H4359/10 (Face Mount)

Roof: Roof shall be 1932' OSB with 8d @ 6" on-center edges, 12" on-center field, over engineered trusses by others. For truss attachment, connections, and bracing refer to the truss manufacturer's recommendations. At a minimum, attach trusses to wall below with SIMPSON H25T clips at each truss (2) SIMPSON H25T clips at girder trusses. Solid block between rafters at bearing walls. Unless noted otherwise on plan, attach rafters to wall below with SIMPSON H25T clips or equal.

Walls: At a minimum, all exterior bearing and shear walls shall be constructed with 2x6 hem-fir studs spaced at 16" (in) on center unless noted otherwise on the plans. All interior bearing and shear walls shall be constructed with 2x4 hem-fir studs spaced at 16" (in) on center unless noted otherwise on the plans.

All columns specified on the plan are the minimum number of trimmer studs required for the header or beam unless noted otherwise on the plan. Provide minimum of one (1) king stud on each side of header or beam perpendicular to walls to create beam pocket. See typical wall opening detail for other king stud requirements.

Built up columns are 3-2x wall thickness HP#2 or better unless noted otherwise on the plans.

Misc: All wood in contact with concrete shall be pressure treated or redwood.

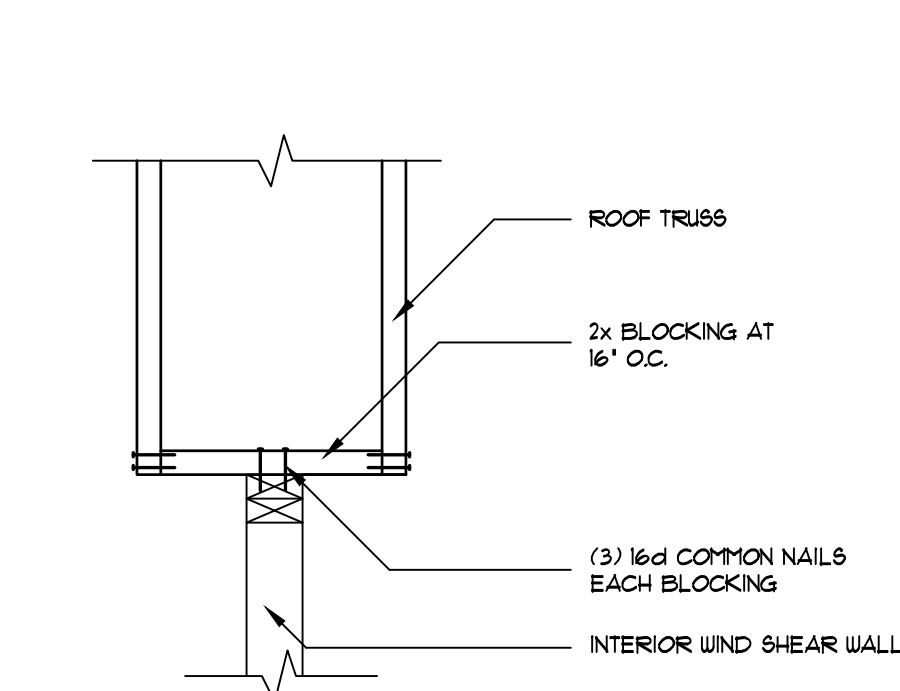
Provide solid blocking to transmit all point loads continuous to the foundation as necessary.

For decks with dropped beams and a maximum joist span of 15 feet and a joist spacing of 16" on center, one of the following SIMPSON fasteners (or equivalent) should be used to attach the end of each joist to the dropped beam: H, H25A, or H25T.

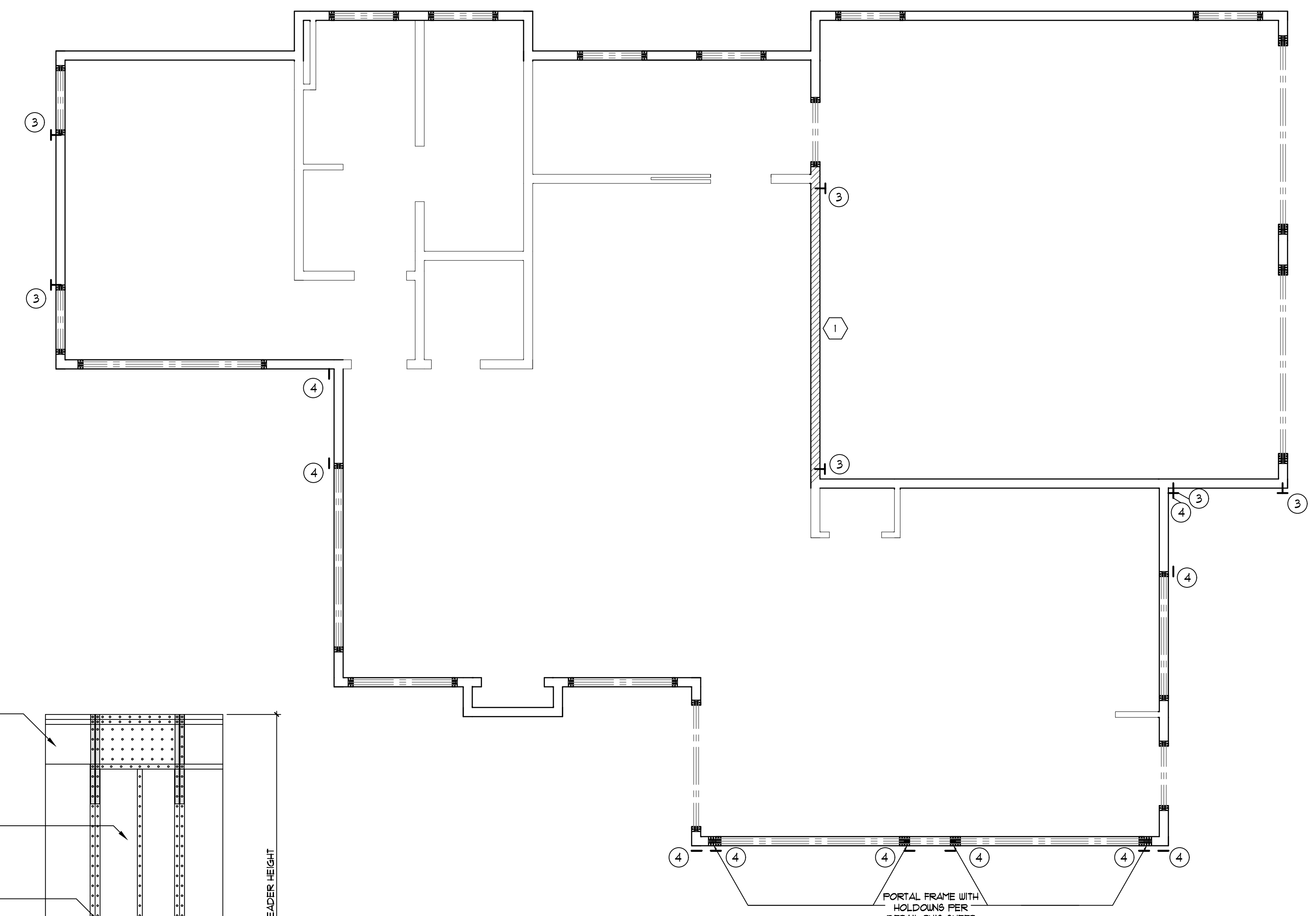
It is the contractor/owner's responsibility to verify and coordinate all dimensions prior to construction. Block-outs and other required openings may or may not be shown. This plan is based on the architect's plans and the above referenced specifications. Any discrepancies or changes should be brought to the attention of CTL | THOMPSON.

Anchor Bolts: Foundation anchor bolts shall conform to ASTM F1554 Gr36 and be 1/2" (in) diameter by 12" (in) long (1" min. embedment) spaced at 4'-0" maximum (unless noted otherwise on plan) and 12" (in) from corners and splices. Anchor bolts shall be located within the middle third of the sill plate.

Fasteners and connectors: All fasteners and connectors in contact with pressure treated lumber shall be G85 hot-dip galvanized (HDG), type 304 stainless steel or type 316 stainless steel. Do not mix HDG and stainless hardware and fasteners.



ATTACHMENT OF TOP OF INTERIOR WIND SHEAR WALL TO ROOF TRUSSES - WALL PARALLEL TO TRUSSES



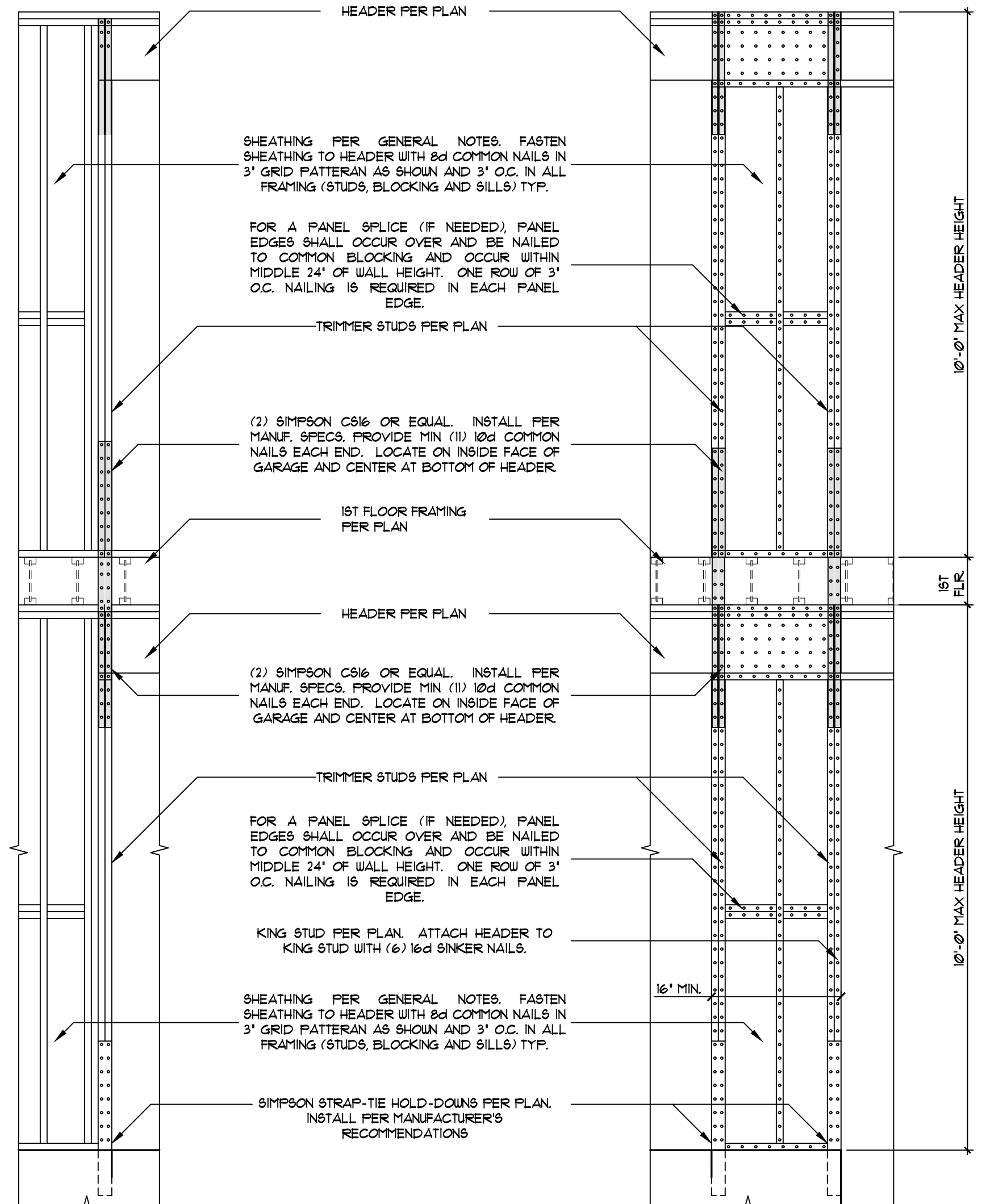
WIND SHEAR WALL SCHEDULE					
WALL DESIGNATION	RATED STRUC. SHEATHING TYPE	SMTH. THICKNESS MINIMUM	HORIZONTAL EDGES BLOCKED	CONNECTOR TYPE (OR EQUAL)	EDGE / FIELD SPACING
ALL EXTERIOR UNLESS NOTED OTHERWISE	OSB OR PLYWOOD EXTERIOR ONLY	7/16"	YES (NOTE 2)	8d COMMON	6" / 12"
1	EXTERIOR / GARAGE SIDE OSB OR PLYWOOD	7/16"	YES (NOTE 2)	8d COMMON	3" / 12"

↓ INDICATES SIMPSON HOLD-DOWN STRAP. ATTACH PER DETAILS. | INDICATES SIMPSON FLAT STRAP. EXTEND TO BEAM OR WALL BELOW.
 X INDICATES SIMPSON HOLD-DOWN WITH 98TB ANCHOR BOLT. ATTACH PER 98TB HOLD-DOWN DETAIL ON SHEET S2.2

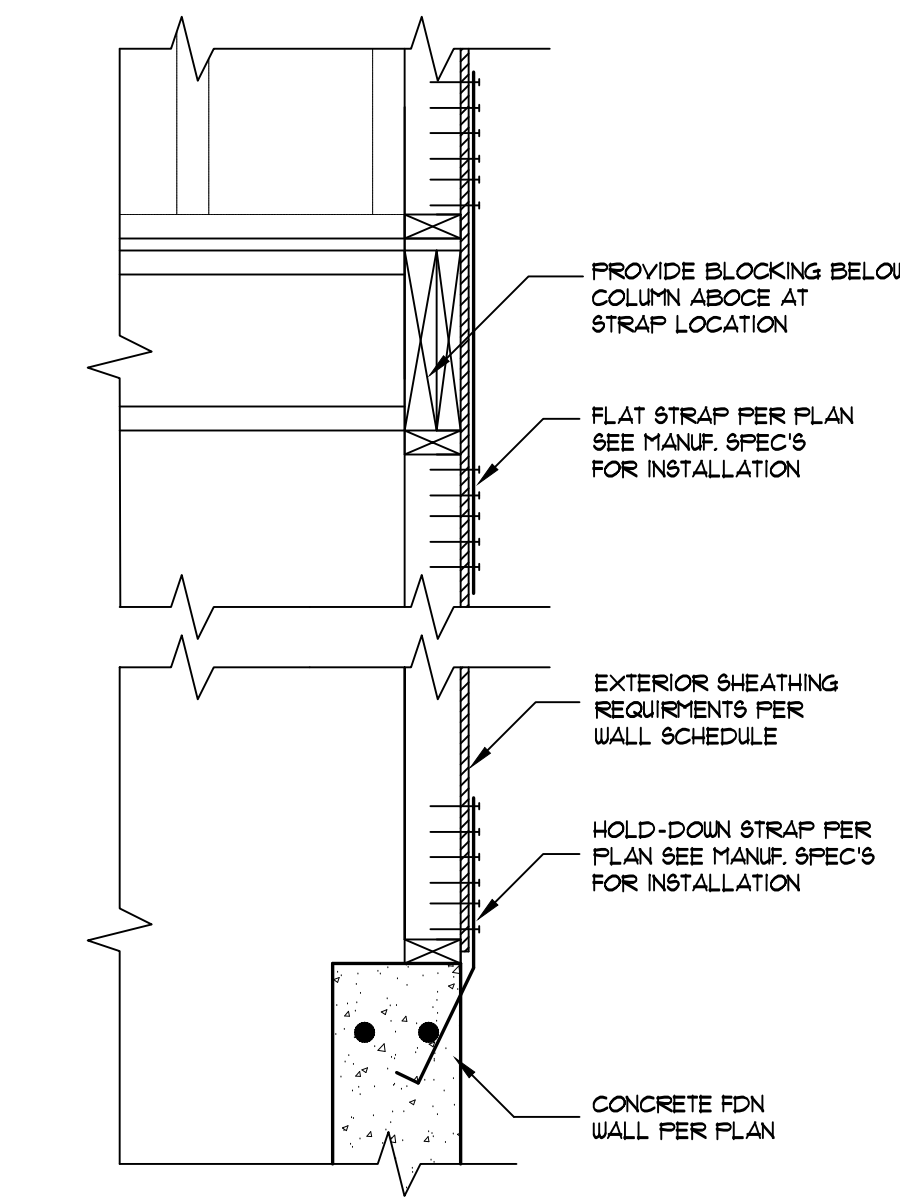
NOTES:
 1. ALL SHEATHING VERTICAL EDGES SHALL FALL UPON 2X4 OR 2X6 STUDS SPACED 16" O/C TYP (SEE PLAN).
 2. HORIZONTAL JOINTS SHALL OCCUR OVER BLOCKING EQUAL IN SIZE TO THE STUDDING EXCEPT WHERE WAIVED BY THE INSTALLATION REQUIREMENTS FOR THE SPECIFIC SHEATHING MATERIAL SHOWN ABOVE.
 3. EXTERIOR WALL PANEL SOLE PLATES SHALL BE NAILED TO THE FLOOR FRAMING AND TOP PLATES SHALL BE CONNECTED TO THE FRAMING ABOVE IN ACCORDANCE WITH TABLE R602(3) IN 2018 I.R.C.
 4. WHERE JOISTS ARE PERPENDICULAR TO INTERIOR BRACED WALL LINES ABOVE, BLOCKING SHALL BE PROVIDED UNDER AND IN-LINE WITH THE BRACED WALL PANELS.
 5. WHERE JOISTS ARE PARALLEL TO THE INTERIOR BRACED WALL LINES ABOVE DOUBLE JOISTS SHALL BE INSTALLED UNDER AND IN-LINE WITH THE BRACED WALL LINE ABOVE.
 6. ATTACH BOTTOM PLATE OF INTERIOR WIND SHEAR WALLS TO BLOCKING/BEAMS WITH (3) 16d COMMON NAILS AT 16" (in) O.C. (OR (1) 16d COMMON NAIL AT 5" (in) O.C.)
 7. WIND SHEAR WALLS DESIGNED USING CODE PRESCRIPTIVE CONTINUOUS SHEATHING (CS), WOOD STRUCTURAL PANEL (WSP), GYPSUM BOARD (GB) METHODS, AND/OR ACCEPTED ENGINEERING PRACTICE (ED)

HOLD-DOWN (HD) SCHEDULE	
HD #	MANUF. / MODEL
1	SIMPSON 5THD10
2	SIMPSON 5THD10RJ
3	SIMPSON 5THD14RJ
4	(2) SIMPSON C916
5	(3) SIMPSON C916
6	
7	
8	
9	

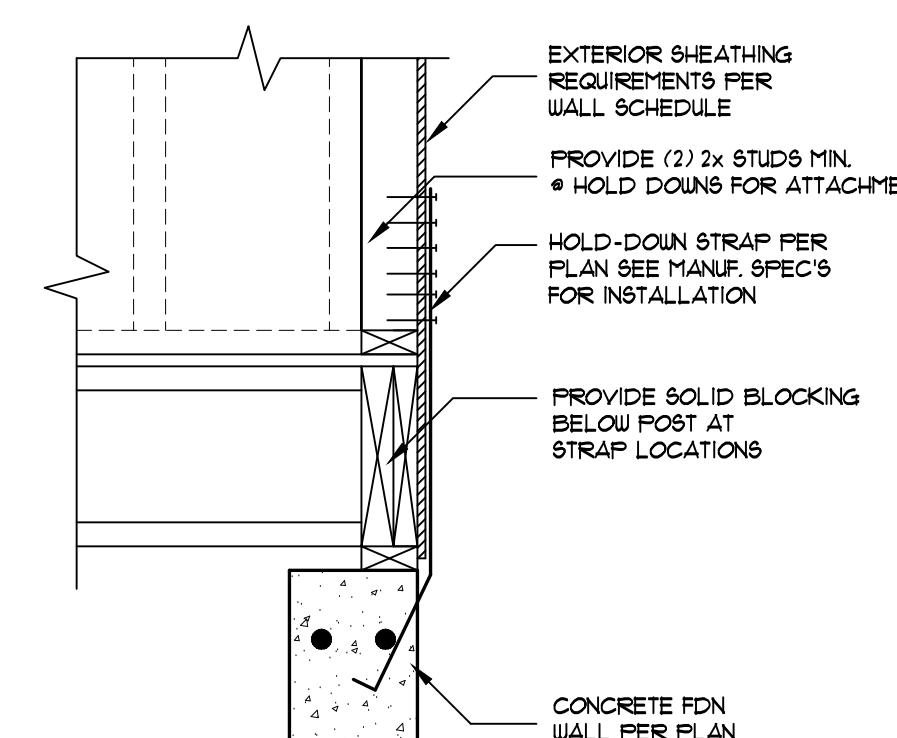
NOTES:
 HD'S AS SHOWN ARE IN APPROXIMATE LOCATIONS. FIELD LOCATE HD'S AT CORNERS, EDGE OF OPENINGS ABOVE, OR ENDS OF REQUIRED SHEAR WALLS (SEE ARCH PLANS FOR DIMENSIONS).
 LOCATE HD'S SHOWN AT CORNERS OR T.O.U. STEPS IN FOUNDATION 1/2" (in) FROM CORNERS OR TOP OF WALL STEPS.
 INSTALL ALL HOLD-DOWNS PER MANUF. SPECS.
 C916'S TO HAVE MIN. END LENGTH OF 12" AND (22) 10d NAILS TOTAL (24" MIN TOTAL LENGTH, 11 NAILS MIN EACH CONNECTED MEMBER).
 SOME STRAPS SHOWN ON THIS SCHEDULE MAY NOT BE USED IN THE DESIGN.



PORTAL FRAME WITH HOLD-DOWNS PANEL CONSTRUCTION DETAIL



LOWER LEVEL HOLD-DOWN STRAP DETAIL



TYPICAL HOLD-DOWN STRAP DETAIL

UPPER LEVEL WIND SHEAR WALL SCHEMATICS

CTL | THOMPSON
 Founded in 1971
 CTL | THOMPSON, INC. | P. 970-453-2047
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 summit@ctlthompson.com
 www.ctlthompson.com

PROFESSIONAL SEAL
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 STATE OF COLORADO
 LICENSE NO. 100000000
 EXPIRES 12/31/2025

CONTRACTOR CTL | THOMPSON, INC.
 ALL RIGHTS RESERVED

PROJECT LOCATION:
 Powers, Betz Residence
 Lot 538, Golden Crown Subdivision
 194 Golden Crown Lane
 Blue River, Colorado

WIND SHEAR WALL SCHEMATIC
 REVISION/ISSUE
 DATE 04-28-2025
 REVISION FOUNDATION WALL ELEVATIONS FROM DECIMAL FEET TO FEET-INCHES

CLIENT:
 Carolyn Powers & Morgan Betz
 400 North Park Avenue, Unit 12B
 Breckenridge, Co 80424
 Contact: Bobby Craig, AIA
 Arapahoe Architects, P.C.
 970-453-8474

DATE/ISSUE: ALP / CCL SHEET: S5.1
 DRAWING: ALP
 SU02639.000 OF
 04-28-2025
 N.T.S. S5.2

1. Framing:

All framing shall be in accordance with the provisions of the 2018 International Residential Code, and the most recent versions of AISC Allowable Stress Design thirteenth edition and the NDS for wood construction. All connections or members not shown are per code or the general contractor/owner. All manufactured wood products shall be installed per the manufacturers specifications. Framing schematic shown do not constitute complete or final framing systems. Refer to the code for additional requirements. The floor joist locations shown are for demonstration purposes. The actual joist locations may vary due to the location of utilities, block-outs, and other issues in the field. The contractor and/or sub-contractor are responsible for any framing members damaged by the installation of electrical lines, HVAC, plumbing lines, or any other items.

Loads: Roof: Snow Load = 120 psf
Floor: Live Load = 40 psf
Seismic: Category B
Deck: Live Load = 125 psf
Wind: Speed = 115 mph (Ultimate, 3 second gust), Exposure C

Materials: Wood - All dimensional lumber shall be Doug. Fir #2 or better unless noted on the plans. All dimensional redwood shall be Redwood #2 or better unless noted on the plans. All Laminated Strand Lumber (LSL) shall have an allowable flexural stress $F_b = 2325$ psi and Modulus of Elasticity of $E = 155 \times 10^6$ or better. All Laminated Veneer Lumber (LVL) shall have an allowable flexural stress $F_b = 2600$ psi and Modulus of Elasticity of $E = 2.0 \times 10^6$ or better. Alaskan Yellow Cedar Lumber shall have an allowable flexural stress $F_b = 2000$ psi and Modulus of Elasticity of $E = 15 \times 10^6$ or better. All laminated Parallel PSL shall have an allowable flexural stress $F_b = 1871$ psi and Modulus of Elasticity of $E = 1.46 \times 10^6$ or better.

Steel - Structural steel beams shall conform to ASTM A992 ($F_y = 50$ ksi). 3" (in) adjustable steel columns shall be schedule 40 or better and rated for a safe allowable load of not less than 28 kips for columns up to 9'-0" in height, and 25 kips for columns up to 10'-0" in height. 3 1/2" (in) adjustable steel columns shall be schedule 40 or better and rated for a safe allowable load of not less than 36 kips for columns up to 9'-0" in height and 34 kips for columns up to 10'-0" in height. All adjustable steel columns shall have 1" to 3" (in) of travel exposed.

Floors: Floor sheathing shall consist of 23/32" T & G glued and nailed w/ 8d nails @ 6" on-center edges, 12" on-center intermediate supports. Provide blocking at supports to transmit loads as necessary.

The floor joists shall be installed per the manufacturer specifications. Provide blocking at bearing locations per the manufacturer specifications.

Unless noted otherwise on the plan, hangers shall be the following or equivalent:
Single 1 1/8" TJI-210 Joist - Simpson IT52.06/1188 (Top Flange), Simpson IUS2.06/1188 (Face Mount)
Double 1 1/8" TJI-210 Joist - Simpson M14.28/1188 (Top Flange), Simpson M14.28/11 (Face Mount)
Single 1 1/8" LVL - Simpson IUS3.01/10 (Face Mount)
Double 1 1/8" LVL - Simpson H4US410 (Face Mount)
Triple 1 1/8" LVL - Simpson H4US50/10 (Face Mount)

Roof: Roof shall be 1932' OSB with 8d @ 6" on-center edges, 12" on-center field, over engineered trusses by others. For truss attachment, connections, and bracing refer to the truss manufacturers recommendations. At a minimum, attach trusses to wall below with SIMPSON H25T clips at each truss 4 (2) SIMPSON H25T clips at girder trusses. Solid block between rafters at bearing walls. Unless noted otherwise on plan, attach rafters to wall below with SIMPSON H25T clips or equal.

Walls: At a minimum, all exterior bearing and shear walls shall be constructed with 2x6 hem-fir studs spaced at 16" (in) on center unless noted otherwise on the plans. All interior bearing and shear walls shall be constructed with 2x4 hem-fir studs spaced at 16" (in) on center unless noted otherwise on the plans.

All columns specified on the plan are the minimum number of trimmer studs required for the header or beam unless noted otherwise on the plan. Provide minimum of one (1) king stud on each side of header or beam perpendicular to walls to create beam pocket. See typical wall opening detail for other king stud requirements.

Built up columns are 3-2xwall thickness HP2 or better unless noted otherwise on the plans.

Misc: All wood in contact with concrete shall be pressure treated or redwood.

Provide solid blocking to transmit all point loads continuous to the foundation as necessary.

For decks with dropped beams and a maximum joist span of 15 feet and a joist spacing of 16" on center, one of the following SIMPSON fasteners (or equivalent) should be used to attach the end of each joist to the dropped beam: H, H25A, or H25T.

It is the contractor/owners responsibility to verify and coordinate all dimensions prior to construction. Block-outs and other required openings may or may not be shown. This plans are based on the architects plans and the above referenced specifications. Any discrepancies or changes should be brought to the attention of CTL THOMPSON.

Anchor Bolts: Foundation anchor bolts shall conform to ASTM F1554 Gr36 and be 1/2" (in) diameter by 12" (in) long (1" min. embedment) spaced at 4'-0" maximum (unless noted otherwise on plan) and 12" (in) from corners and splices. Anchor bolts shall be located within the middle third of the sill plate.

Fasteners and connectors: All fasteners and connectors in contact with pressure treated lumber shall be G85 hot-dip galvanized (HDG) type 304 stainless steel or type 316 stainless steel. Do not mix HDG and stainless hardware and fasteners.

WIND SHEAR WALL SCHEDULE

WALL DESIGNATION	RATED STRUC. SHEATHING TYPE	SHTH. THICKNESS MINIMUM	HORIZONTAL EDGES BLOCKED	CONNECTOR TYPE (OR EQUAL)	EDGE / FIELD SPACING
ALL EXTERIOR UNLESS NOTED OTHERWISE	OSB or PLYWOOD EXTERIOR ONLY	7/16"	YES (NOTE 2)	8d COMMON	6" / 12"
①	EXTERIOR / GARAGE SIDE OSB OR PLYWOOD	7/16"	YES (NOTE 2)	8d COMMON	3" / 12"

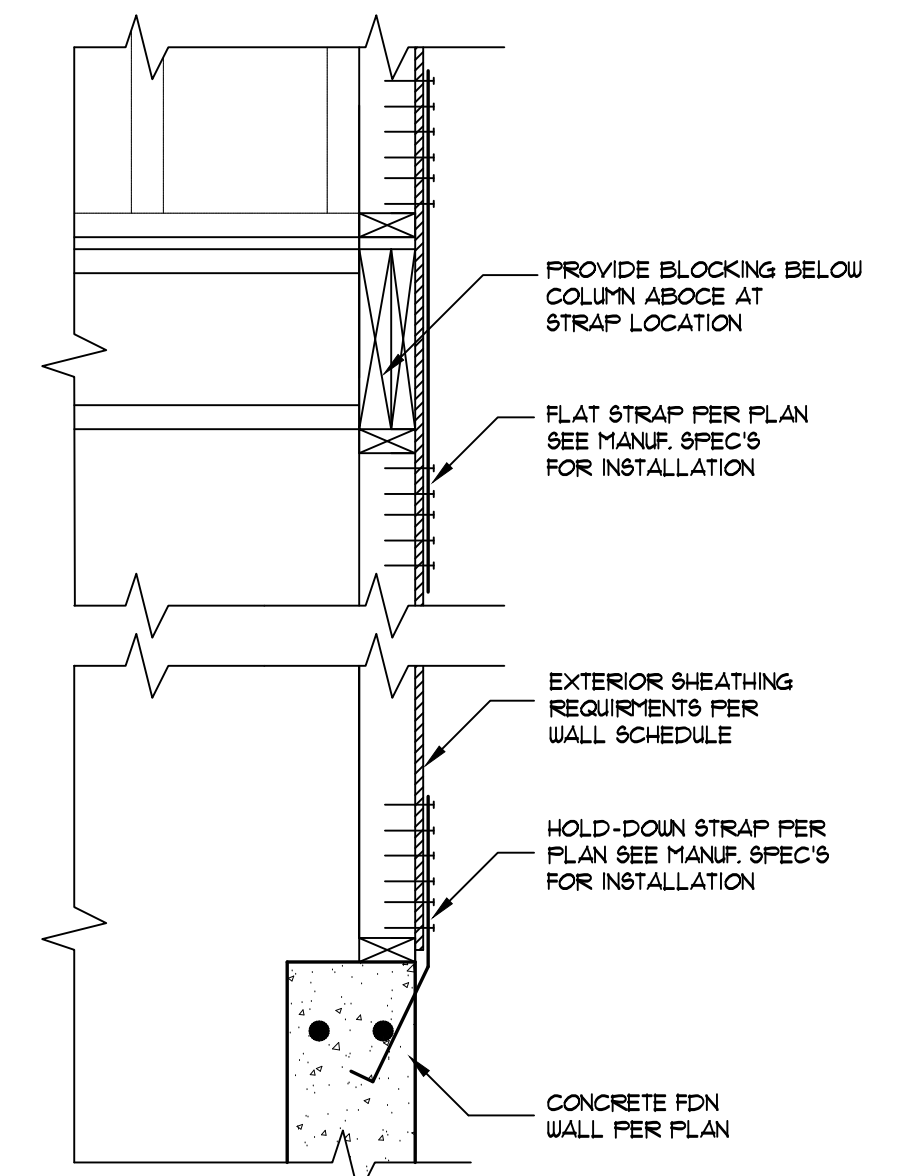
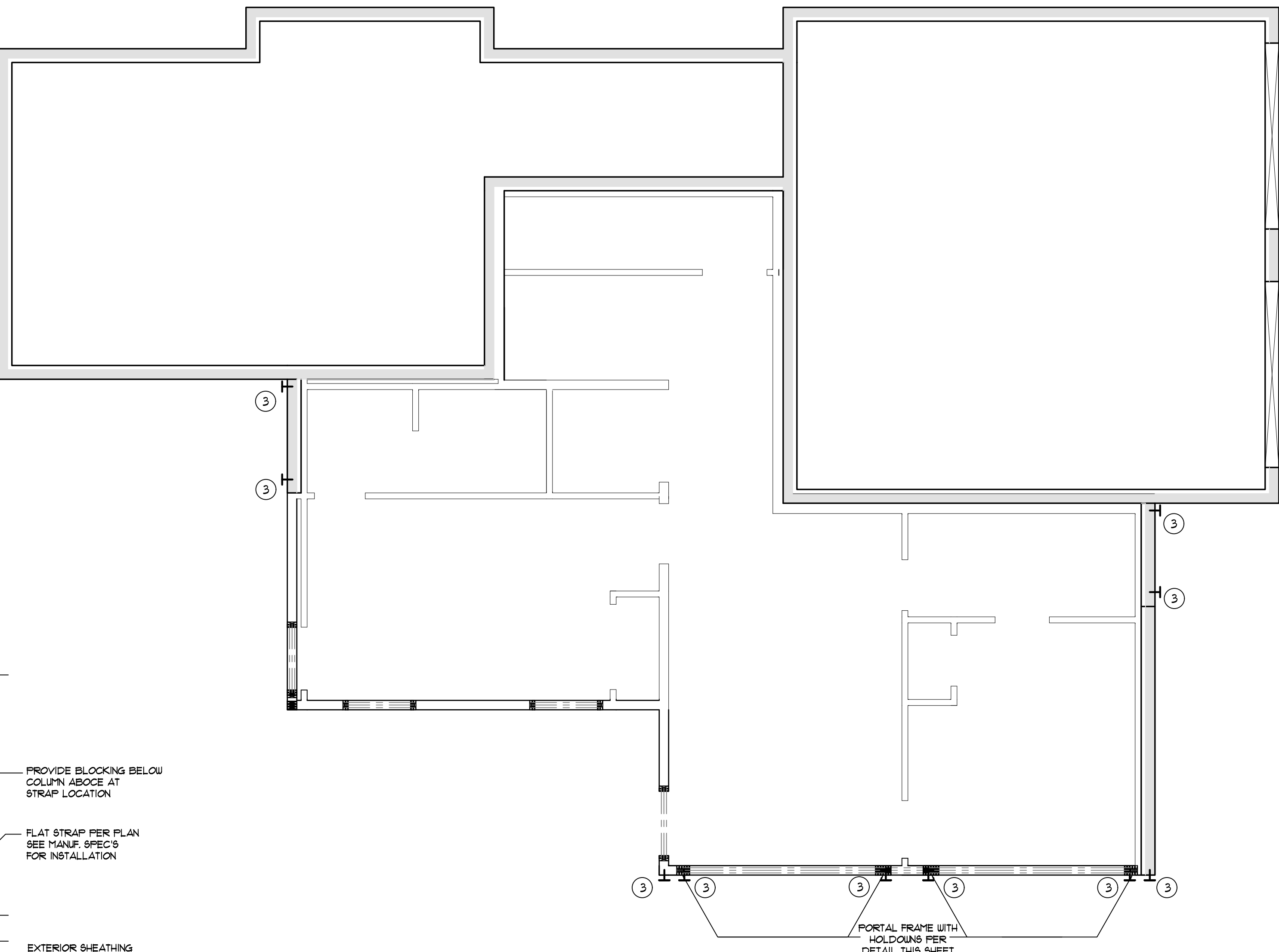
⊥ INDICATES SIMPSON HOLD-DOWN STRAP. ATTACH PER DETAILS. | INDICATES SIMPSON FLAT STRAP. EXTEND TO BEAM OR WALL BELOW.

✕ INDICATES SIMPSON HOLD-DOWN WITH S8TB ANCHOR BOLT. ATTACH PER S8TB HOLD-DOWN DETAIL ON SHEET S2.2

NOTES:
1. ALL SHEATHING VERTICAL EDGES SHALL FALL UPON 2X4 OR 2X6 STUDS SPACED 16" O/C TYP (SEE PLAN).
2. HORIZONTAL JOINTS SHALL OCCUR OVER BLOCKING EQUAL IN SIZE TO THE STUDDING EXCEPT WHERE WAIVED BY THE INSTALLATION REQUIREMENTS FOR THE SPECIFIC SHEATHING MATERIAL SHOWN ABOVE.
3. EXTERIOR WALL PANEL SOLE PLATES SHALL BE NAILED TO THE FLOOR FRAMING AND TOP PLATES SHALL BE CONNECTED TO THE FRAMING ABOVE IN ACCORDANCE WITH TABLE R602.3(1) IN 2018 I.R.C.
4. WHERE JOISTS ARE PERPENDICULAR TO INTERIOR BRACED WALL LINES ABOVE, BLOCKING SHALL BE PROVIDED UNDER AND IN-LINE WITH THE BRACED WALL PANELS.
5. WHERE JOISTS ARE PARALLEL TO THE INTERIOR BRACED WALL LINES ABOVE DOUBLE JOISTS SHALL BE INSTALLED UNDER AND IN-LINE WITH THE BRACED WALL LINE ABOVE.
6. ATTACH BOTTOM PLATE OF INTERIOR WIND SHEAR WALLS TO BLOCKING/BEAMS WITH (3) 16d COMMON NAILS AT 16" (in) O.C. (OR (1) 16d COMMON NAIL AT 5" (in) O.C.)
7. WIND SHEAR WALLS DESIGNED USING CODE PRESCRIPTIVE CONTINUOUS SHEATHING (CS), WOOD STRUCTURAL PANEL (WSP), GYPSUM BOARD (GB) METHODS, AND/OR ACCEPTED ENGINEERING PRACTICE (E.P.)

HOLD-DOWN (HD) SCHEDULE

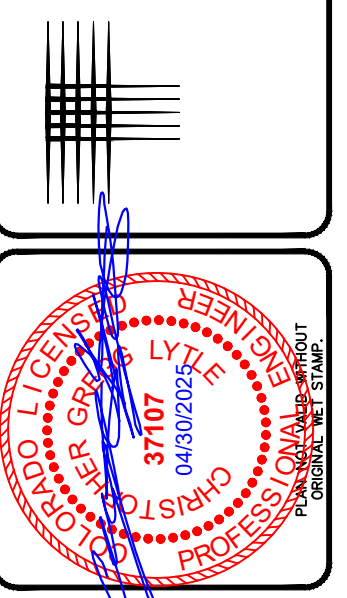
HD #	MANUF. / MODEL	NOTES
①	SIMPSON STHD10	HD'S AS SHOWN ARE IN APPROXIMATE LOCATIONS. FIELD LOCATE HD'S AT CORNERS, EDGE OF OPENINGS ABOVE, OR ENDS OF REQUIRED SHEAR WALLS (SEE ARCH PLANS FOR DIMENSIONS)
②	SIMPSON STHD10R	
③	SIMPSON STHD14R	LOCATE HD'S SHOWN AT CORNERS OR TOP STEPS IN FOUNDATION 1/2" (in) FROM CORNERS OR TOP OF WALL STEPS
④	(2) SIMPSON CS16	
⑤	(3) SIMPSON CS16	INSTALL ALL HOLD-DOWNS PER MANUF. SPECS.
⑥		CS16'S TO HAVE MIN. END LENGTH OF 12" AND (22) 10d NAILS TOTAL (24" MIN TOTAL LENGTH, 11 NAILS MIN EACH CONNECTED MEMBER)
⑦		
⑧		SOME STRAPS SHOWN ON THIS SCHEDULE MAY NOT BE USED IN THE DESIGN.



LOWER LEVEL HOLD-DOWN STRAP DETAIL

LOWER LEVEL WIND SHEAR SCHEMATICS

CTL | THOMPSON
Founded in 1971
CTL | THOMPSON, INC. | P. 970-453-2047
500 Brian Avenue, Unit A | summit@ctlthompson.com
Silverthorne, Co 80498 | www.ctlthompson.com



SEAL OF THE PROFESSIONAL ENGINEER
CHRISTOPHER L. THOMPSON, INC.
ALL RIGHTS RESERVED

PROJECT LOCATION:
Powers, Betz Residence
Lot 538, Golden Crown Subdivision
194 Golden Crown Lane
Blue River, Colorado

WIND SHEAR WALL SCHEMATICS
REVISION/ISSUE
DATE 04-28-2025
REVISED FOUNDATION WALL ELEVATIONS FROM DECIMAL FEET TO FEET-INCHES

CLIENT:
Carolyn Powers & Morgan Betz
400 North Park Avenue, Unit 12B
Breckenridge, Co 80424
Contact: Bobby Craig, AIA
Arapahoe Architects, P.C.
970-453-5474

DATE	04-28-2025
BY	ALP
NO. OF SHEETS	55.2
TOTAL SHEETS	55.2

CUT/FILL NOTE

ASSUMPTION: FILL ADJUSTMENT FACTOR OF 1.15 FOR COMPACTION.
 SITE EARTHWORK (UNADJUSTED): APPROX. 517 C.Y. (FILL)
 SITE EARTHWORK (ADJUSTED): APPROX. 623 C.Y. (FILL)

NOTE: IN INSTANCE OF EXCESS CUT, MATERIAL SHALL BE SPREAD OVER SITE AS LANDSCAPING MATERIAL PRIOR TO PLACEMENT OF EROSION CONTROL AND SEED MIX. IN INSTANCE REQUIRED FILL, MATERIAL SHALL BE OBTAINED FROM OTHER CONSTRUCTION PROJECTS WITHIN TOWN OF BLUE RIVER.

FIRE MITIGATION NOTE

OWNER AND CONTRACTOR SHALL FOLLOW FIRE MITIGATION MEASURES AND PROCEDURES DURING CONSTRUCTION AND FUTURE MAINTENANCE OF HOME AND PROPERTY. IT IS RECOMMENDED TO CLEAR A MINIMUM OF 15' FROM THE STRUCTURE. FOR FIRE MITIGATION MEASURES FOR THE TOWN OF BLUE RIVER, REFER TO THE WEBSITE "WILDFIRE RESTRICTIONS, DEFENSIBLE SPACE & WEBINARS" AT: TOWNOFBLUERIVER.COLORADO.GOV/WILDFIRE-RESTRICTIONS-DEFENSIBLE-SPACE-WEBINARS

SNOW STORAGE

DRIVEWAY AREA: 1393 SF
 REQUIRED SNOW STORAGE (25%): 348 SF
 SNOW STORAGE PROVIDED: 352 SF

NOTE: SNOW STORAGE PROVIDED ON EQUAL OR DOWNHILL TERRAIN FROM DRIVEWAY/PARKING

UTILITY CONNECTIONS

CONTRACTOR TO LOCATE AND CONNECT TO EXISTING ELECTRIC, COMMUNICATIONS, AND FIBER SERVICES AS APPLICABLE. CONTRACTOR TO COORDINATE CONNECTIONS WITH SERVICE PROVIDERS.

EROSION CONTROL & REVEGETATION

ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH A NATIVE GRASS SEED MIX. ALL CUT AND FILL SLOPES GREATER THAN OR EQUAL TO 4:1 SHALL BE INSTALLED WITH AN EROSION CONTROL BLANKET AFTER PLANTING OF SEED MIX.

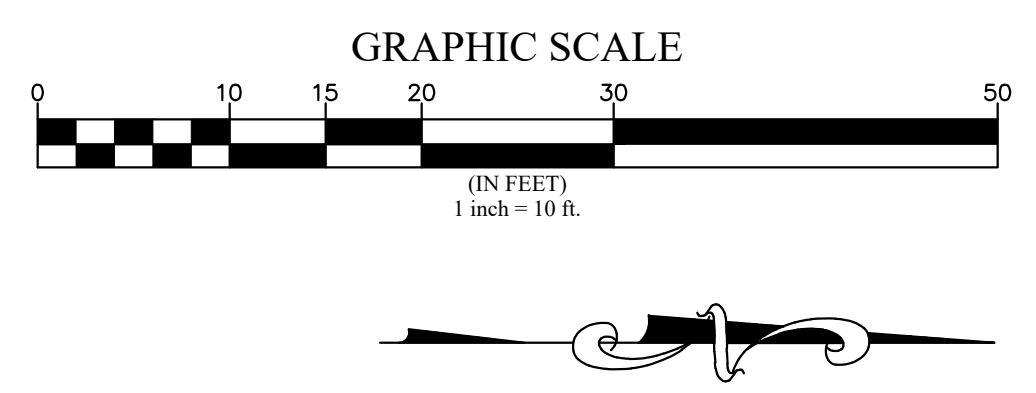
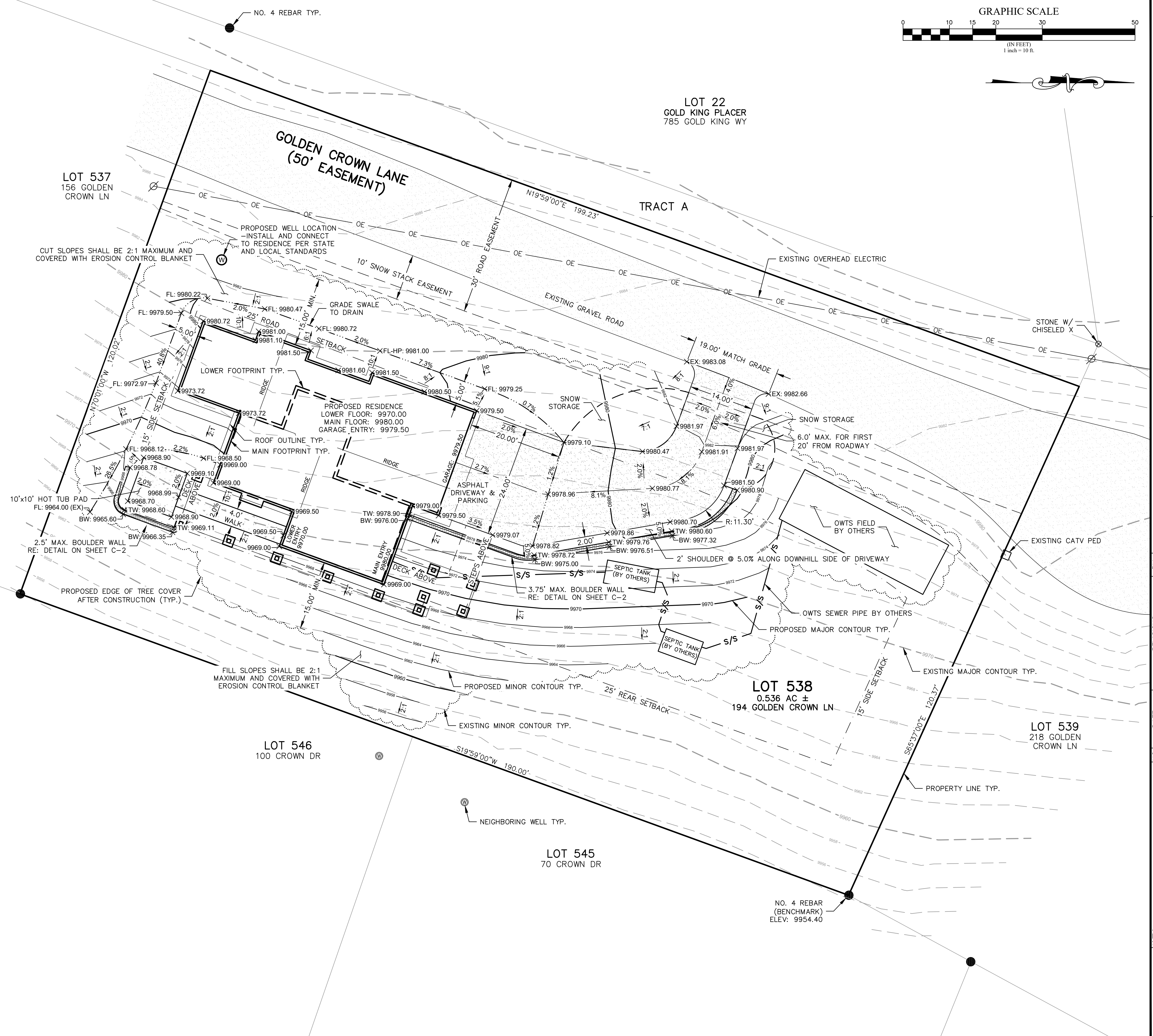
EROSION & SEDIMENT CONTROL NOTES

1. INSTALL AND MAINTAIN SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES AND STORMWATER DISCHARGE PERMIT OR EQUIVALENT.
2. PROVIDE CONTINUOUS INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL MEASURES TO ENSURE THAT SEDIMENT CONTROL EFFICIENCY IS OBTAINED UNTIL FINAL STABILIZATION OF SITE HAS TAKEN PLACE.
3. INSTALL SEDIMENT CONTROL MEASURES AT THE ONSET OF GRADING OPERATIONS SO THAT EFFECTIVE SEDIMENT CONTROL CAN BE ACHIEVED DURING THE ENTIRE GRADING OPERATION PERIOD.
4. STABILIZE ALL POINTS OF INGRESS AND EGRESS WITH CRUSHED STONE DURING CONSTRUCTION TO PREVENT TRACKING OF MUD ONTO PUBLIC STREETS.
5. APPROVAL SHALL BE REQUESTED UPON FINAL STABILIZATION OF ALL SITES BEFORE REMOVAL OF SEDIMENT CONTROLS.
6. THE CONTRACTOR SHALL REMOVE EROSION CONTROL AND SEDIMENT CONTROL FACILITIES AFTER FINAL STABILIZATION.
7. REMOVAL AND CLEANUP OF ANY SEDIMENT THAT LEAVES THE SITE IS THE RESPONSIBILITY OF THE CONTRACTOR.
8. CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ASSURE THAT SEDIMENT LADEN WATER DOES NOT LEAVE THE CONSTRUCTION SITE.
9. ALL SEDIMENT CONTROL AND STORM DRAINAGE FACILITIES SHALL BE PERIODICALLY INSPECTED AND MAINTAINED TO ASSURE THEY FUNCTION PROPERLY.
10. THOSE PORTIONS OF THE ROAD SUBGRADE THAT DO NOT RECEIVE GRAVEL SHALL BE SEEDED, FERTILIZED, MULCHED AND TACKED. THE SEED SHALL BE DRILLED OR BROADCAST AND RAKED INTO THE TOP 1/2" OF SOIL. PRIOR TO SEEDING FERTILIZER SHALL BE WORKED INTO THE TOP 4" OF SOIL AT THE RATE SPECIFIED.

DUST CONTROL NOTES

THE CONTRACTOR IS RESPONSIBLE TO CONTROL FUGITIVE DUST AND TO INCORPORATE THE FOLLOWING:

1. ALL UNPAVED ROADS AND OTHER DISTURBED AREAS ON SITE SHALL BE WATERED TO MINIMIZE FUGITIVE DUST.
2. VEHICLE SPEED ON ALL UNPAVED ROADS AND DISTURBED AREAS SHALL NOT EXCEED A MAXIMUM OF 10 MPH SPEED LIMIT; SIGNS SHALL BE POSTED.
3. HAUL ROADS SHALL BE TREATED WITH MAGNESIUM CHLORIDE IF WATER IS NOT CONTROLLING THE DUST.
4. ALL DISTURBED SOIL SHALL BE COMPACTED ON A DAILY BASIS TO WITHIN 90% OF MAXIMUM COMPACTION.
5. ALL DISTURBED SURFACE AREAS SHALL BE REVEGETATED AS SOON AS POSSIBLE ACCORDING TO THE LANDSCAPE PLAN.
6. MUD AND DIRT CARRYOUT ONTO PAVED SURFACE SHALL BE PREVENTED. ANY MUD AND DIRT CARRYOUT ONTO PAVED SURFACE SHALL BE CLEANED UP DAILY.
7. NO EARTH WORK ACTIVITIES SHALL BE PERFORMED WHEN WIND SPEED EXCEEDS 30 MPH.



MARCIN ENGINEERING LLC
 213 TABOR STREET
 BUENA VISTA, COLORADO
 719-395-3332

GRADING & DRAINAGE PLAN
 POWERS-BETZ RESIDENCE
 LOT 538, CROWN SUBDIVISION
 194 GOLDEN CROWN LANE
 TOWN OF BLUE RIVER, COLORADO

NO.	DATE	REVISIONS	BY



JOB: 25013
 DATE: 04/07/2025
 SCALE: 1" = 10'

SHEET
 C-1

DRAWING: C:\Users\Tom\OneDrive\Documents\Projects\25013 - Powers-Betz Residence\Drawings\25013-Grading.dwg

WESTERN EXCELSIOR
Installation Instructions
Logs and Wattles

Step 1 - Site Preparation
 Prepare site to design profile and grade. Remove debris, rocks, clods, etc... Ground surface should be smooth prior to installation to ensure log remains in contact with slope.

Step 2 - Staple Selection
 At a minimum, 1" long by 1" by 24", stakes are to be used to secure the log to the ground surface. Installation in rocky, sandy or other loose soil may require longer stakes.

Slope Installation
 Place RECP along slope to provide upstream apron for log. Secure RECP according to standard slope installation instructions including upstream anchor trench. Secure log to blanket, ensuring log remains in intimate contact with the RECP over the length of the installation. A minimum of one foot upstream apron and two foot downstream apron are required for installation. Subsequent, downslope rows of logs should be spaced appropriately for site conditions to minimize acceleration of flow. Further, log seams are to be offset to ensure continuous filtration. Figure A presents a schematic of a slope installation in profile view.

Channel Installation
 Place RECP along channel to provide upstream and downstream apron for log identically to slope installation. Secure log to blanket, ensuring log remains in intimate contact with the RECP over the length of the installation. A minimum of one foot upstream apron and two foot downstream apron are required for installation. Subsequent, downslope rows of logs should be spaced appropriately for site conditions to minimize acceleration of flow. Further, log seams are to be offset to ensure continuous filtration. Figure A / Figure C presents a schematic of a channel installation.

Drain Filter Installation
 Surround drain inlet to be protected with log, ensuring seams are overlapping to minimize flow circumventing log. Secure logs to ground surface ensuring the log remains in intimate contact with the ground surface over the entire installation. Provide RECP apron secured to the ground surface between drain and log.

Document # WE_EXCEL_LOG_IL. Please contact Western Excelsior technical support division at 800-967-4009 with specific questions or for further information.

Slope/Channel Installation

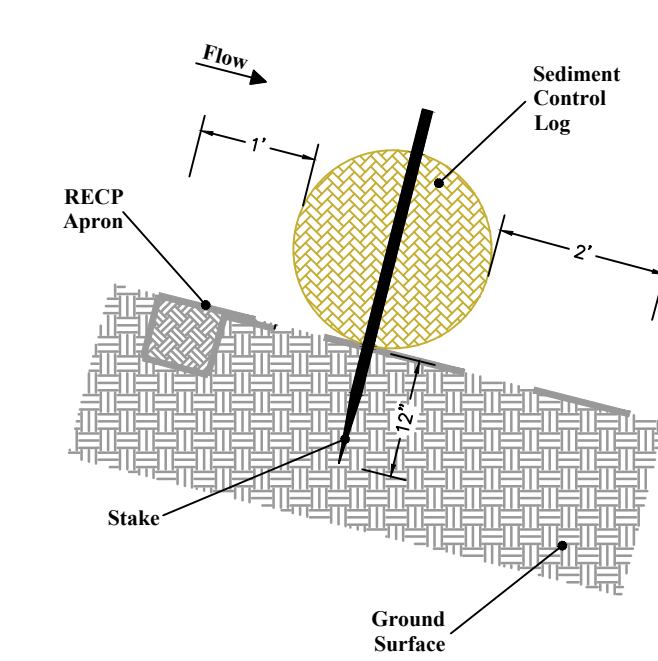
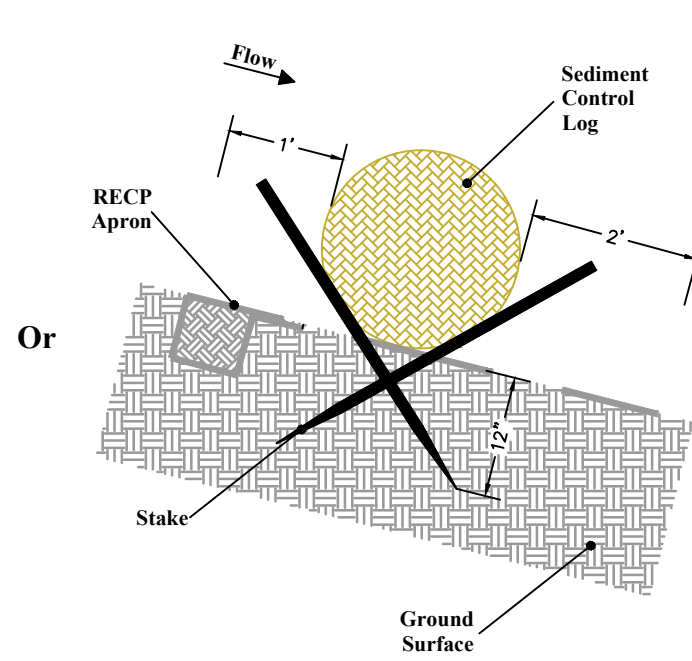


Figure A - Cross-Section View



Flat Ground (Perimeter Guard) Installation

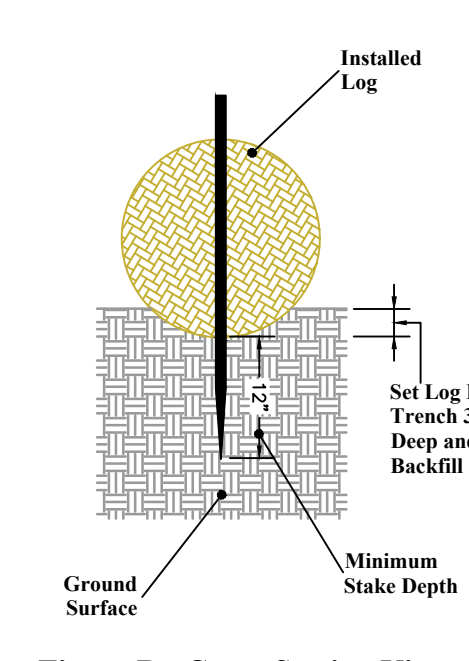


Figure B - Cross-Section View

Channel Installation

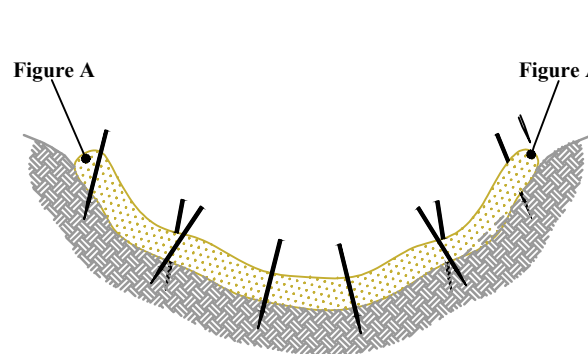


Figure C - Cross-Section View

Drain Filter

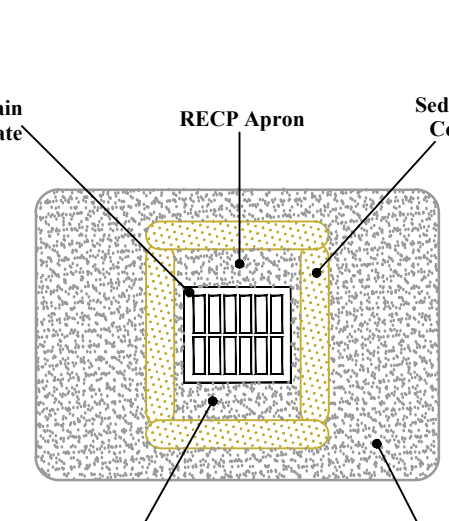


Figure D - Plan View

Curbside Installation

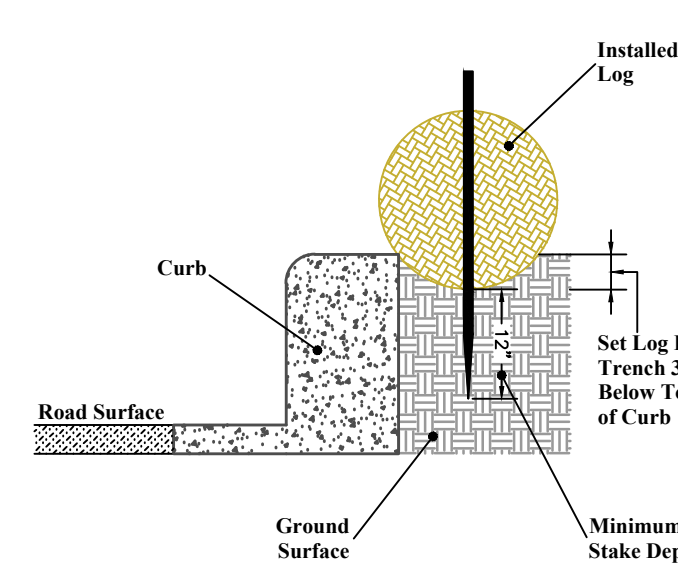
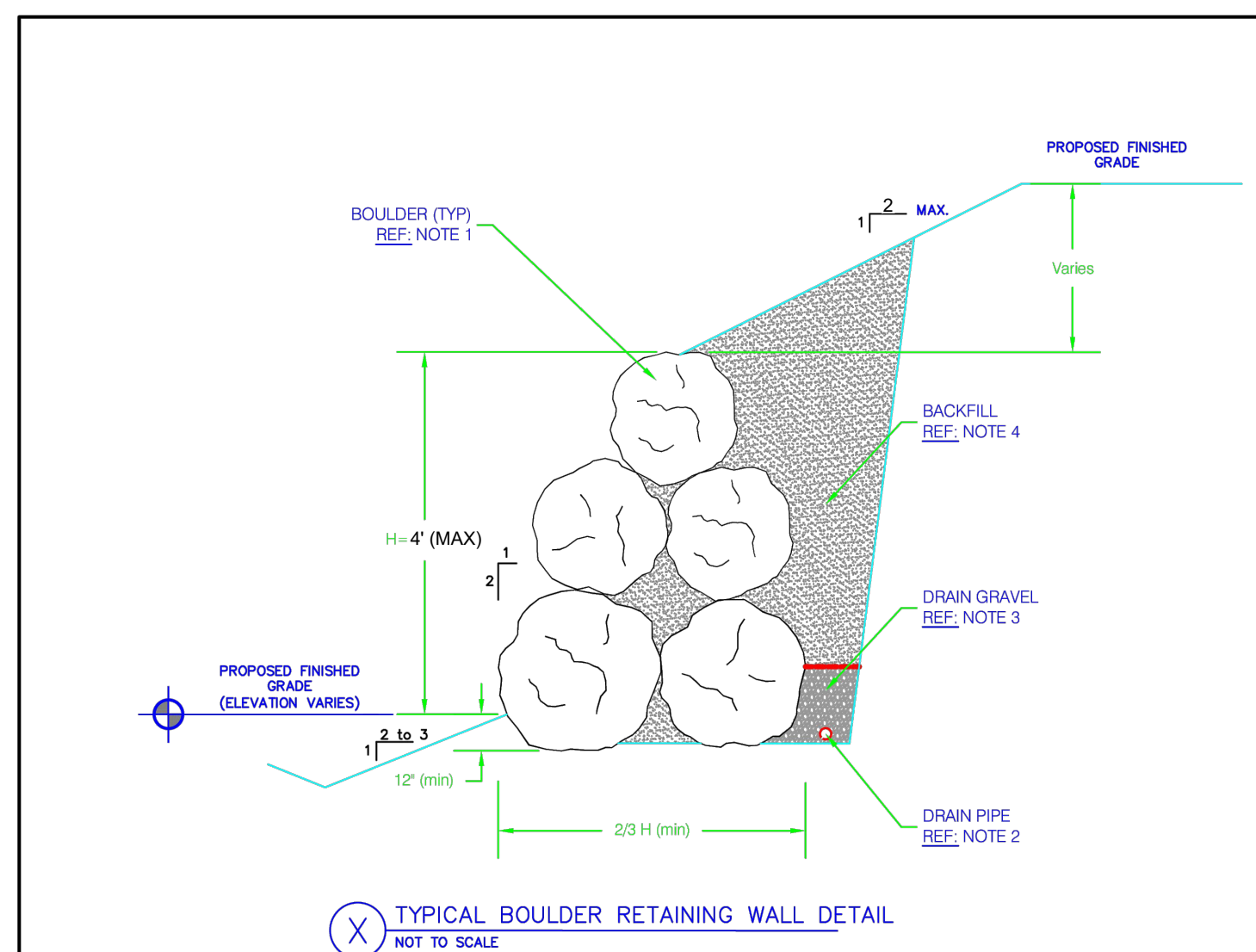


Figure E - Cross-Section View

NTS

A STRAW WATTLE - EROSION LOG



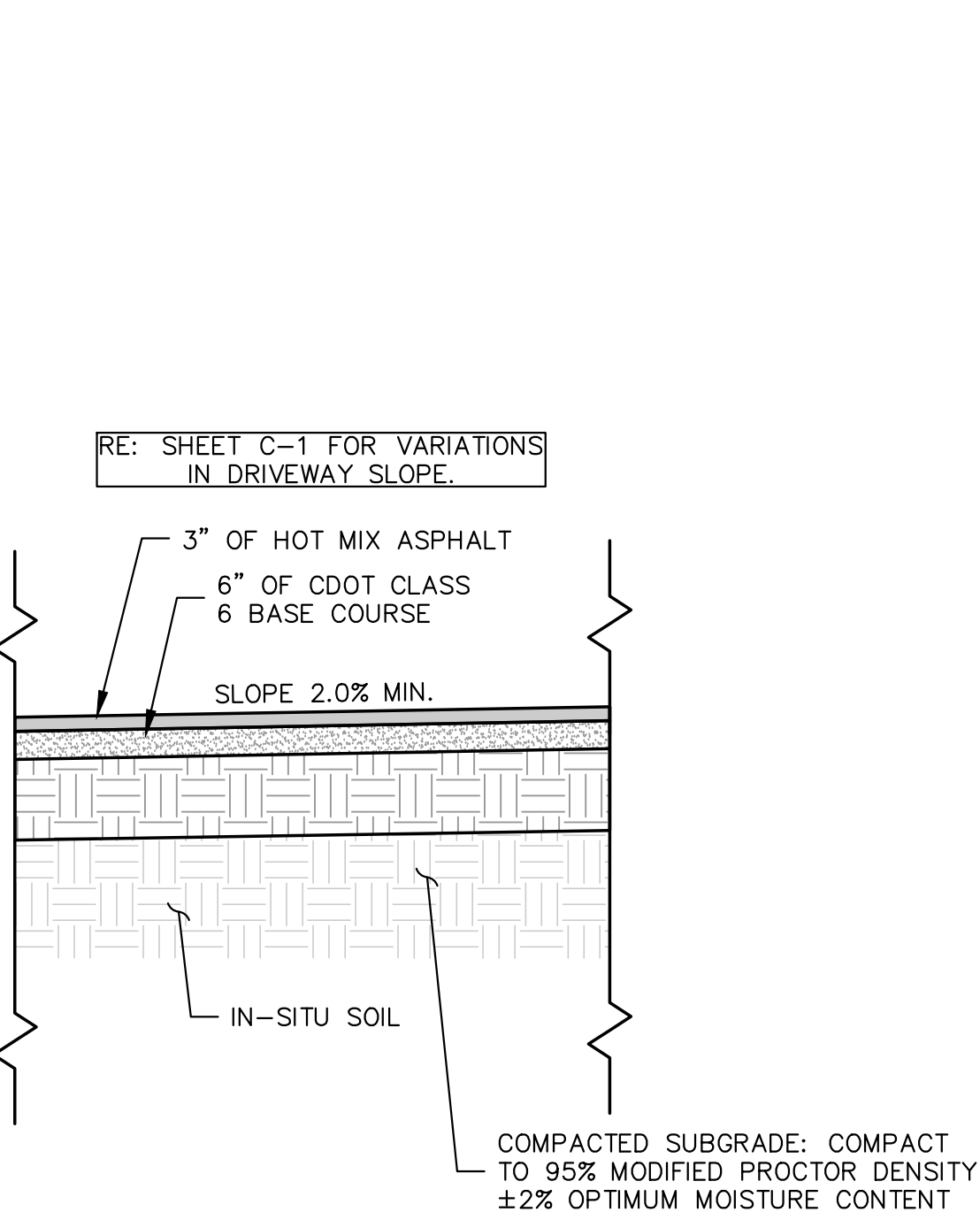
- NOTES:
- Boulders with minimum size of 2' to 3'. Embed first course a minimum of 12" below adjacent final graded ground surface. Arrange in a manner to maximum interlocking action.
 - 4" diameter perforated pipe sloped to a suitable gravity outlet.
 - 3/4" or 1 1/4" screened rock. Minimum depth of 1 1/2'. Cover top side with filter fabric such as Mirafi 140N.
 - On-site granular soils, or suitable granular import placed in lifts and compacted to at least 95% of maximum standard Proctor density at a moisture content within 2% of optimum.

NTS

C BOULDER RETAINING WALL

NTS

B SILT FENCE



NTS

D DRIVEWAY SECTION

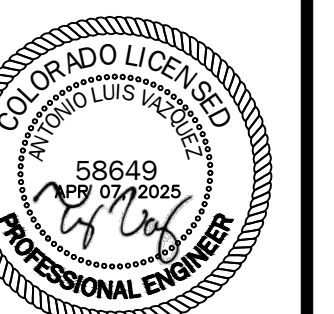
GENERAL NOTES

- THE CONTRACTOR SHALL CONFORM TO ALL TOWN OF BLUE RIVER RULES, REGULATIONS AND STIPULATIONS WHILE ACCESSING THROUGH OR WORKING ON SITE.
- THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE TOWN OF BLUE RIVER AND THE DESIGN TEAM AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION. PLANS FOR CONSTRUCTION WILL BE DISTRIBUTED AT THIS MEETING. NO CONSTRUCTION WILL BE PERMITTED PRIOR TO THE PRE-CONSTRUCTION MEETING.
- THE CONTRACTOR SHALL FOLLOW ALL RECOMMENDATIONS OUTLINED IN GEOTECHNICAL REPORT PREPARED FOR THE PROPERTY BY OTHERS.
- THE CONTRACTOR IS WARNED THAT CONFLICTS WITH EXISTING UTILITIES MAY EXIST. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT ALL APPROPRIATE UTILITY COMPANIES FOR LINE LOCATIONS, AND CONTRACTOR SHALL LOCATE ALL UTILITIES (INCLUDING DEPTH). NEITHER MARCIN ENGINEERING NOR THE OWNER ASSUME ANY RESPONSIBILITY FOR UTILITY LOCATIONS. ANY CONFLICTS WITH THE PROPOSED CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF MARCIN ENGINEERING AND THE OWNER SO THAT MINOR LINE OR GRADE CHANGES CAN BE MADE TO ELIMINATE ANY CONFLICTS WITH THESE EXISTING UTILITIES. ALL EXISTING UTILITIES SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. UTILITIES THAT ARE DAMAGED BY THE CONTRACTOR THAT WERE PROPERLY MARKED/LOCATED SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR ENGINEER.
- CONTRACTOR SHALL OBTAIN, AT THEIR OWN EXPENSE, ALL PERMITS AND INSPECTIONS, WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE NECESSARY PERMITS FOR PERFORMING WORK WITHIN THE TOWN OF BLUE RIVER.
- THE CONSTRUCTION OF ALL ROADS, SIDEWALKS, CURBS, EARTHWORK AND OTHER INFRASTRUCTURE DEVELOPMENT NOT SPECIFICALLY SPECIFIED BY SEPARATE UTILITY COMPANIES, SHALL BE CONSTRUCTED TO THE TOWN OF BLUE RIVER MUNICIPAL CODE AND COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2011 EDITION AND LATEST REVISIONS, CDOT TRAFFIC STANDARD PROJECT PLANS, 2006 EDITION AND LATEST REVISIONS AND ANY SUPPLEMENTAL SPECIFICATIONS PROVIDED WITH THE CONTRACT. THE CONTRACTOR SHALL OBTAIN COPIES OF THESE SPECIFICATIONS AND PLANS. THE CONTRACTOR SHALL HAVE ONE COPY OF THE PLANS AND ONE COPY OF THE SPECIFICATIONS AT THE JOB SITE AT ALL TIMES.
- ALL SITE DEVELOPMENT WILL BE CONSTRUCTED TO THE ABOVE MENTIONED COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2011 EDITION AND LATEST REVISIONS, AND TOWN OF BLUE RIVER STANDARDS AS MAY BE APPLICABLE. WHEN STANDARDS CONFLICT, THE STANDARD JUDGED MOST RESTRICTIVE BY THE ENGINEER SHALL PREVAIL. THE CONTRACTOR SHALL OBTAIN COPIES OF THE TOWN OF BLUE RIVER MUNICIPAL CODE IN ITS MOST CURRENT EDITION AND HAVE THAT COPY ON THE SITE AT ALL TIMES.
- CONTRACTOR SHALL NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES. ANY MISSING DIMENSIONS OR DISCREPANCIES IN THE PLANS, FIELD STAKING, OR PHYSICAL FEATURES SHALL BE BROUGHT TO THE ATTENTION OF MARCIN ENGINEERING AND THE OWNER. IF THE CONTRACTOR PROCEEDS WITH THE WORK WITHOUT NOTIFYING MARCIN ENGINEERING AND THE OWNER, THEY DO SO AT THEIR OWN RISK.
- OBSERVATIONS OF THE WORK IN PROGRESS AND ON-SITE VISITS ARE NOT TO BE CONSTRUED AS A GUARANTEE OR WARRANTY BY MARCIN ENGINEERING OF THE CONTRACTOR'S CONTRACTUAL RESPONSIBILITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF STOCKPIILING OF MATERIALS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER, THE TOWN OF BLUE RIVER, AND THE MATERIAL SUPPLIER.
- CONSTRUCTION STAKING IS BY OWNER.
- BENCHMARKS: CONTACT MARCIN ENGINEERING FOR BENCHMARKS.
- SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER MARCIN ENGINEERING OR THE TOWN OF BLUE RIVER IS RESPONSIBLE FOR SAFETY IN, ON, OR ABOUT THE PROJECT SITE NOR FOR COMPLIANCE BY THE APPROPRIATE PARTY WITH ANY REGULATIONS RELATING THERETO.
- ALL UTILITY TRENCHES IN ROAD PRISM ARE TO BE COMPACTED AND TESTED PER GEOTECHNICAL ENGINEER REQUIREMENTS.
- MATERIALS TESTING IS BY THE OWNER, BUT THE CONTRACTOR MUST NOTIFY THE GEOTECHNICAL ENGINEER, THE OWNER, AND MARCIN ENGINEERING OF SCHEDULING.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE PRECAUTIONS TO SIGNIFICANTLY REDUCE ANY POTENTIAL POLLUTION CAUSED BY THEIR ACTIVITIES, INCLUDING VEHICLE FUELING, STORAGE OF FERTILIZERS OR CHEMICALS, ETC. THE CONTRACTOR SHALL HAVE IDENTIFIED PROCEDURES FOR HANDLING POTENTIAL POLLUTANTS AND HAVE IDENTIFIED SPILL PREVENTION AND RESPONSE PROCEDURES PRIOR TO ANY ACTIVITIES AT THE PROJECT SITE.
- THE CONTRACTOR SHALL KEEP TWO (2) SETS OF CONTRACT DRAWINGS MARKED TO FULLY INDICATE "AS-BUILT" CONDITIONS. THE DRAWINGS SHALL BE PROVIDED TO THE OWNER AND MARCIN ENGINEERING UPON COMPLETION OF THIS WORK. THE SURVEYED AS-BUILT INFORMATION SHALL BE CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER OR SURVEYOR. THE AS-BUILT INFORMATION IS TO INCLUDE THE LOCATION AND FIELD-VERIFIED ANGLE OF DEFLECTION OF ALL PROPOSED PIPE DEFLECTIONS.
- IF ANY GROUND WATER IS ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER AND THE PROJECT GEOTECHNICAL ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL MAINTAIN EXISTING DRAINAGE CHANNELS, CULVERTS, AND APPURTENANCES DURING CONSTRUCTION, AS NECESSARY TO PROTECT ROADS AND PROPERTY.
- ROAD AND SIDEWALK SUBGRADE SHALL BE PROOF ROLLED AND FREE OF DEFLECTION TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER. ANY FAILING AREAS SHALL BE REPAIRED AND PROOF ROLLED AGAIN UNTIL ACCEPTED BY THE GEOTECHNICAL ENGINEER WITH NO ADDITIONAL COST TO OWNER.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE REVEGETATED ACCORDING TO THE LANDSCAPE PLAN.
- ALL LANDSCAPING SHALL BE PER THE LANDSCAPE ARCHITECT PLANS AND/OR OWNER.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED. COORDINATE WITH THE OWNER FOR ACCEPTABLE STOCKPILE LOCATIONS.
- OVERSIZE BOULDERS (ROCK EXCAVATION-AS DEFINED IN CDOT SPECIFICATION 203.02.D) ENCOUNTERED DURING THE WORK SHALL BE REMOVED AND STOCKPILED IN A LOCATION DESIGNATED BY THE OWNER. NO EXTRA PAYMENT WILL BE DUE FOR THIS ITEM OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR DAILY CLEANING OF ALL ACCESS ROADS AND OTHER PUBLIC STREETS NECESSITATED BY THEIR ACTIVITIES ON THE SITE.
- DUST CONTROL IS INCIDENTAL TO EARTHWORK CONSTRUCTION AND SHALL BE PROVIDED BY CONTRACTOR, AT NO COST TO OWNER, IN ACCORDANCE WITH THE TOWN OF BLUE RIVER MUNICIPAL CODE.
- DISPOSAL OF TRASH, ASPHALT, CONCRETE, AND CONSTRUCTION DEBRIS IS THE RESPONSIBILITY OF THE CONTRACTOR AND CONSIDERED PART OF THE WORK.
- THE CONTRACTOR SHALL PROVIDE EROSION CONTROL IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES AND STORM WATER DISCHARGE PERMIT OR EQUIVALENT. CONTRACTOR IS RESPONSIBLE TO REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER CONSTRUCTION IS COMPLETE AND ONCE VEGETATION IS APPROXIMATELY 70% RE-ESTABLISHED, AS DEEMED BY THE OWNER.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING FOR "COR400000 CONSTRUCTION STORMWATER DISCHARGE PERMIT." FOR INFORMATION CONTACT THE COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, 4300 CHERRY CREEK DRIVE SOUTH, DENVER CO 80223 ATTENTION: PERMITS AND ENFORCEMENT SECTION, PHONE (303)-692-3517. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF THE APPLICABILITY OF THIS PERMIT AND COMPLIANCE TO IT.
- THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN, OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY IN ACCORDANCE WITH THE CURRENT MUTCD CODE. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION ZONE TRAFFIC CONTROL.
- EARTHWORK SHALL COMPLY WITH THESE PLANS, SOILS REPORT RECOMMENDATIONS, AND PROJECT SPECIFICATIONS. IF SPECIFICATIONS CONFLICT, THE MOST RESTRICTIVE SPECIFICATION SHALL PREVAIL.
- THE CONTRACTOR SHALL PROTECT AND PRESERVE ALL TREES, BUSHES, SHRUBS, AND GROUND COVER, NOT DESIGNATED FOR REMOVAL. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH SECURED STRAW BALES AND/OR 3 WRAPS OF SNOW FENCE PER TREE. A 6' FENCE SHALL BE ERECTED AT THE DRIPLINE OF THE TREE. 6" OF MULCH MATERIAL SHALL ALSO BE SPREAD FROM THE BASE OF THE TREE TO THE DRIPLINE OF THE TREE.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY MARCIN ENGINEERING. MARCIN ENGINEERING RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DO NOT CONFORM TO THE APPROVED DRAWINGS AND/OR SPECIFICATIONS.
- CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ASSURE NO WILDLAND FIRES ARE STARTED AS A RESULT OF THEIR ACTIVITIES. CONTRACTOR IS REQUIRED TO PROVIDE AND MAINTAIN ADEQUATE FIRE EXTINGUISHER EQUIPMENT ON SITE, AS NECESSARY TO SATISFY LOCAL FIRE DEPARTMENT REQUIREMENTS FOR JOB SITE AND WILDLAND FIRE SUPPRESSION.
- ALL CONSTRUCTION MUST ADHERE TO ALL PERMIT REQUIREMENTS AND ALL CONDITIONS THERETO OF ALL APPLICABLE PERMITS FOR THE WORK.
- IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO PROTECT THE WATER MAIN, VALVES AND OTHER APPURTENANCES AFTER TRENCHING AND INSTALLATION OF WATER MAIN INFRASTRUCTURE. PROTECTION OF THE WATER MAIN INFRASTRUCTURE AND ITS APPURTENANCES SHALL REMAIN IN EFFECT PRIOR TO TESTING AND ACCEPTANCE BY THE LOCAL WATER DISTRICT.
- CONTRACTOR(S) SHALL STAKE OUT ALL AREAS AND ESTABLISH ELEVATIONS FOR ALL WALKS, STEPS, WALLS, FENCES, AND SHALL OBTAIN THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO PROCEEDING WITH SUCH WORK.
- NOTES AND DETAILS ON SPECIFIC DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- CONFLICTS OR DISCREPANCIES WITH GRADES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND ENGINEER IMMEDIATELY AND PRIOR TO PROCEEDING WITH WORK.
- GRADES SHOWN ARE FINISH GRADES. SUBGRADES NEEDED TO ATTAIN FILL OR TOPSOIL PLACEMENT ARE NOT REFLECTED. HOLD FINISH GRADES FOR PLANTING AREAS 2" BELOW TOP OF ADJACENT PAVEMENT UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- THE CONSTRUCTION LIMITS LINE IS THE CONTRACT LIMIT LINE. DO NOT DISTURB ANY EXISTING TREES OR VEGETATION DESIGNATED TO REMAIN OR LOCATED OUTSIDE THE CONSTRUCTION LIMIT LINE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT, ENGINEER, AND OWNER. THE CONSTRUCTION LIMITS LINE FOR THIS PROJECT IS SHOWN BY THE PROPOSED SILT FENCE ALIGNMENT IN THE PLANS.
- ROAD CUTS AND ANY OTHER CONSTRUCTION IN THE ROAD RIGHT-OF-WAY SHALL CONFORM WITH TOWN OF BLUE RIVER REQUIREMENTS.
- ALL FINISHED GRADES SHALL PROVIDE FOR NATURAL RUNOFF OF WATER WITHOUT LOW SPOTS OR POCKETS. PROVIDE A MINIMUM 5% AND MAXIMUM 33% GRADIENT AWAY FROM PROPOSED STRUCTURES UNLESS OTHERWISE NOTED.
- TOPOGRAPHIC AND BOUNDARY INFORMATION PROVIDED BY OTHERS.

MARCIN ENGINEERING LLC
 213 TABOR STREET
 BUENA VISTA, COLORADO
 719-395-3332

DETAILS SHEET
 POWERS-BETZ RESIDENCE
 LOT 538, CROWN SUBDIVISION
 194 GOLDEN CROWN LANE
 TOWN OF BLUE RIVER, COLORADO

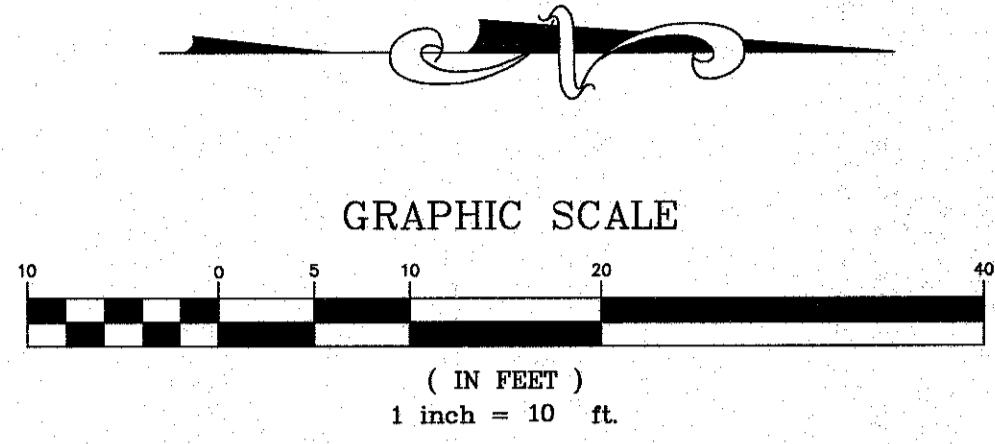
NO. DATE REVISIONS BY



JOB: 25013
 DATE: 04/07/2025
 SCALE: N/A

SHEET
 C-2

A TOPOGRAPHIC MAP OF
LOT 538, THE CROWN
 GOOSE PASTURE TARN-BLUE RIVER ESTATES, INC.
 TOWN OF BLUE RIVER, SUMMIT COUNTY, COLORADO

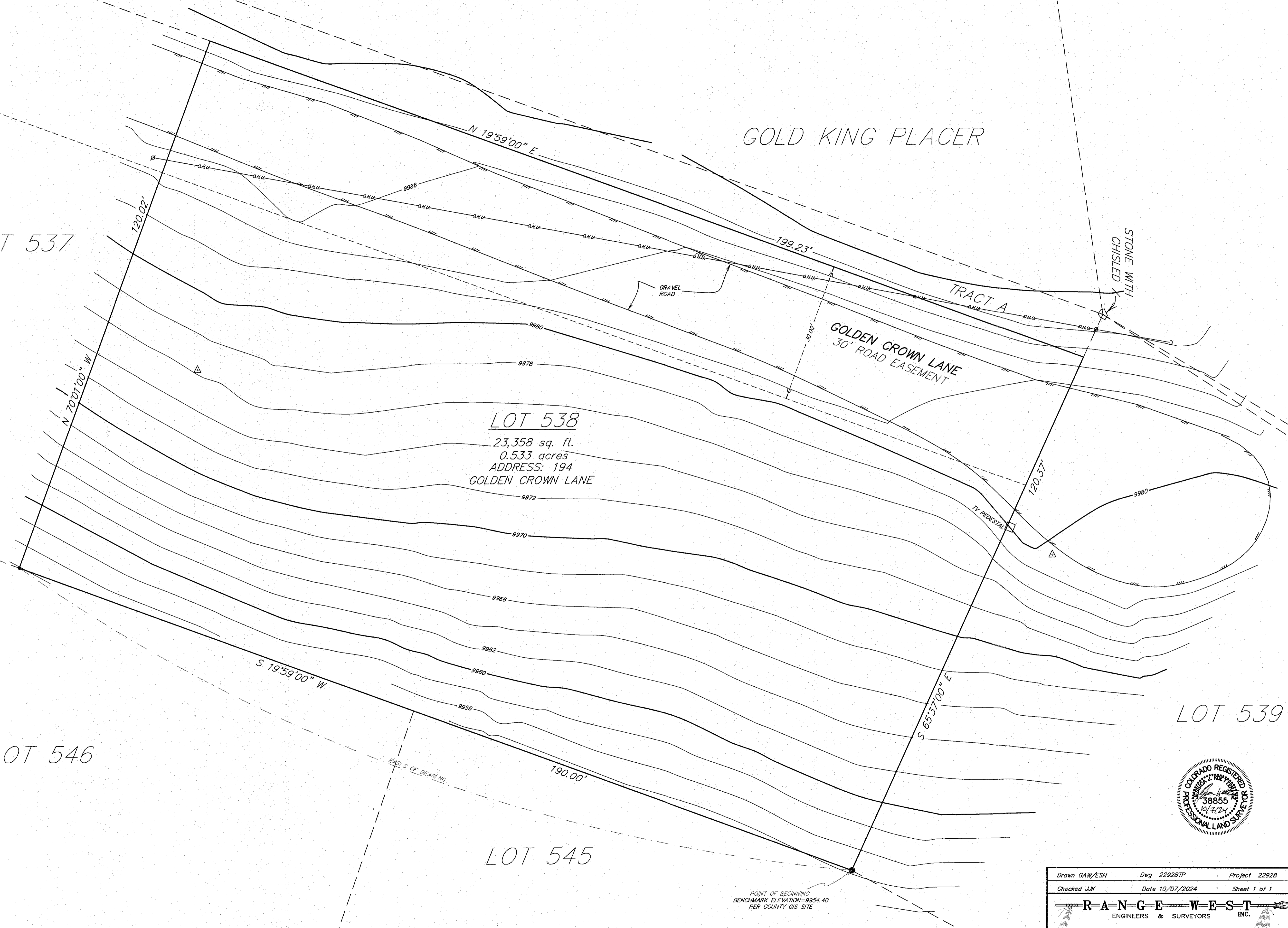


DATE OF FIELD SURVEY: 10/03/2024
 CONTOUR INTERVAL=2 FEET

- LEGEND**
- FOUND #4 REBAR
 - UTILITY PEDESTAL
 - ⊗ UTILITY POLE
 - △ RANDOM SURVEY CONTROL POINT

LOT 537

GOLD KING PLACER



LOT 538
 23,358 sq. ft.
 0.533 acres
 ADDRESS: 194
 GOLDEN CROWN LANE

LOT 546

LOT 545

LOT 539

POINT OF BEGINNING
 BENCHMARK ELEVATION=9954.40
 PER COUNTY GIS SITE



NOTE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECTS. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

Drawn GAW/ESH	Dwg 22928TP	Project 22928
Checked JJK	Date 10/07/2024	Sheet 1 of 1

RANGE WEST
 ENGINEERS & SURVEYORS INC.

Silverthorne, CO 80498 970-468-6281



**285 Engineering, Inc.
P.O. BOX 1048
CONIFER, CO 80433
720-515-1781
www.285Engineering.com**

SOIL AND FOUNDATION REPORT

Prepared For:

Carolyn Powers
400 North Park Avenue
Unit 12-B
Breckenridge, CO 80424

Subject Site:

Lot 538, Crown Subdivision
194 Golden Crown Lane
Blue River, CO 80424

12/18/2024

Project # 2024395

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Figure 1 – Location of Test Pit

Figure 2 – Summary Log of Test Pit



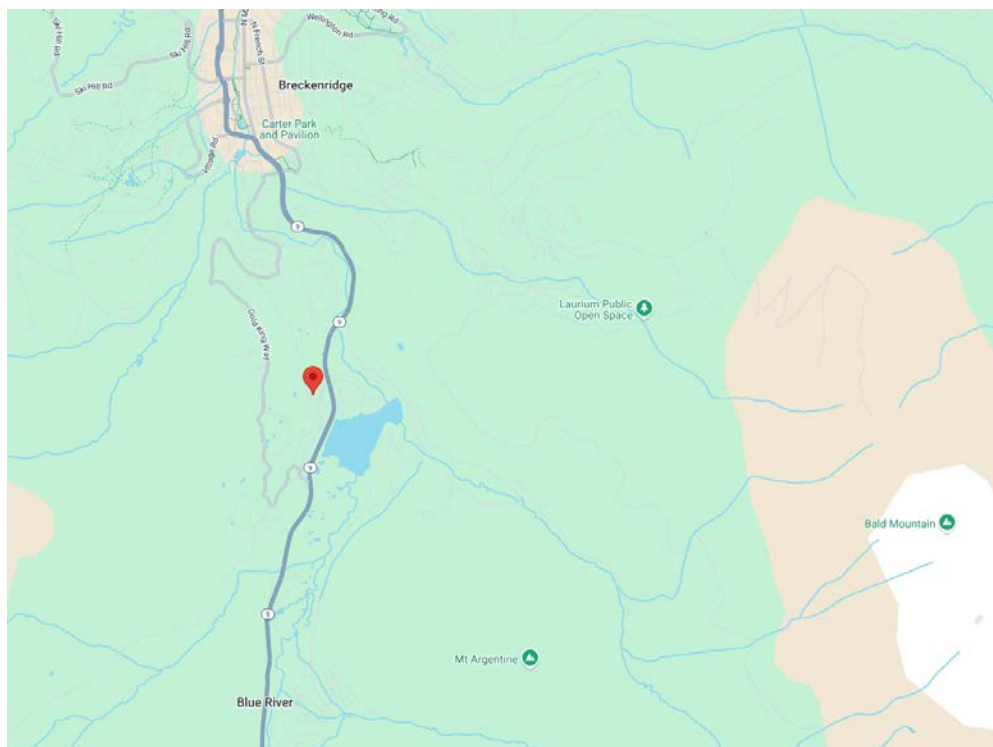
Purpose

We conducted this investigation to evaluate subsurface conditions at the site and provide geotechnical engineering recommendations for the proposed residence. Our report was prepared from data developed during our field exploration, engineering analysis, and experience. This report includes a description of the subsurface conditions observed in an exploratory pit and presents geotechnical engineering recommendations for design and construction of the residence foundations, floor systems, and details influenced by the subsoils.

Recommendations contained in this report were developed based on our understanding of the planned construction. If plans differ significantly from the descriptions contained in the report, we should be informed so that we determine whether our recommendations and design criteria are appropriate.

Project Location and Site Conditions

The project is located south of Breckenridge, Colorado across Colorado State Highway 9 from Goose Pasture Tarn as shown on the vicinity map below. Vegetation covering is primarily coniferous trees. The proposed building site is situated on a hill side with slopes ranging from 18 to 22 percent to the east.





Proposed Construction

Building plans for the proposed residence have not been fully developed yet. We estimate the proposed residence will be a two-story structure with a walkout basement and an attached garage. We anticipate lower level and garage floors will be slab-on-grade. Wood frame construction will likely be used above grade with cast-in-place concrete foundation walls below grade. Required excavations for foundations are not known at this time. Foundation loads are expected to be low. The estimated location of the structure is shown on Figure 1. Once building plans have been fully developed, we should be contacted to re-evaluate our recommendations.

Soils and Subsurface Conditions

Subsurface conditions were investigated by observing an exploratory pit excavated at the approximate location shown on Figure 1. Subsurface conditions observed in the pit was logged by our representative who obtained samples of the soils during excavation. A graphic log of the soils observed in the pit is shown on Figure 2.

Subsurface conditions observed in the test pit generally consisted of loamy sand with cobbles. Practical digging refusal was not encountered. No groundwater was observed in the pit at the time of excavation.

Geology

We reviewed the following geologic mapping showing the site:

Geologic Map of the Breckenridge Quadrangle, Summit and Park Counties, Colorado (Open Map 02-7) by C.A Wallace, John W. Keller, James P. McCalpin, Paul J. Bartos, Erik E. Route, Natalie N. Jones, Francisco Gutierrez, Cindy L. Williams and Matthew L. Morgan with Colorado Geological Survey, 2003.

The site is mapped as Intermediate-age till of Pinedale glaciation. Neither the Geologic map, nor our site visit, found any geologic constraints for the planned construction.



Design Recommendations

Foundation Recommendations

The structure can be supported on footing foundations on the undisturbed, natural soils. Prior to concrete placement, the footing areas should be moistened and compacted to provide a flat and level subgrade. Loose and disturbed soils should be removed or compacted. Our representative should observe conditions exposed in the completed foundation excavation to confirm whether the exposed soils are as anticipated and suitable for support of the foundation.

- Soils loosened during the forming process for the footings should be removed or compacted prior to placing concrete. Concrete must not be placed on snow, frozen soils, or saturated soils.
- Shallow groundwater was not observed in our test pit during our investigation. However, based on our experience in the area and a potential seasonal groundwater table observed in other portions of the parcel, water seepage should be expected during excavation. The foundation areas and excavations should be protected from any groundwater and precipitation through the use of shallow trenches and sumps. Trenches should be 1 to 2 feet below footing subgrade elevation. Excavations should be sloped to a gravity discharge or to a temporary sump where water can be removed by pumping, if necessary. It is very important that an excavation dewatering plan be in place prior to excavation. If the footing subgrade soils are exposed without proper drainage and become softened due to equipment traffic, subexcavation and replacement may be required. This process can be costly.
- Footings can be sized using a maximum allowable soil pressure of 2,500 psf. We expect settlement of footings will be approximately 1 inch or less.
- To resist lateral loads, a coefficient of friction of 0.35 can be used for concrete in contact with soil. Lateral loads can be resolved by evaluating passive resistance using a passive equivalent fluid density of 325 pcf for onsite soil backfill that is compacted. These values have not been factored; appropriate factors of safety should be applied in design.



- Continuous wall footings should have a minimum width of at least 16 inches. Foundations for isolated columns should have minimum dimensions of 24 inches by 24 inches. Larger sizes may be required, depending upon foundation loads.
- Grade beams and foundation walls should be well reinforced, top and bottom, to span undisclosed loose or soft soil pockets and resist lateral earth pressures. We recommend reinforcement sufficient to span an unsupported distance of at least 10 feet. Reinforcement should be designed by the structural engineer.
- The soils under exterior footings should be protected from freezing. The bottom of footings must be constructed at the minimum depth required by the local building department or deeper.

Foundation Walls/Retaining Walls

Foundation walls which extend below-grade should be designed for lateral earth pressures where backfill is not present to about the same extent on both sides of the wall. Many factors affect the values of the design lateral earth pressure. These factors include, but are not limited to, the type, compaction, slope and drainage of the backfill, and the rigidity of the wall against rotation and deflection. For a very rigid wall where negligible or very little deflection will occur, an “at-rest” lateral earth pressure should be used in design. For walls that can deflect or rotate 0.5 to 1 percent of wall height (depending upon the backfill types), lower “active” lateral earth pressures are appropriate. Typical below-grade walls in residences deflect or rotate slightly under normal design loads, and that this deflection results in satisfactory wall performance. Thus, the earth pressures on the walls will likely be between the “active” and “at-rest” conditions.

If on-site soils are used as backfill and the backfill is not saturated, we recommend design of basement walls at this site using an equivalent fluid density of at least 55 pcf. This value assumes deflection; some minor cracking of walls may occur. If very little wall deflection is desired, a higher design value is appropriate. The structural engineer should also consider site-specific grade restrictions, the effects of large openings on the behavior of the walls, and the need for lateral bracing during backfill.

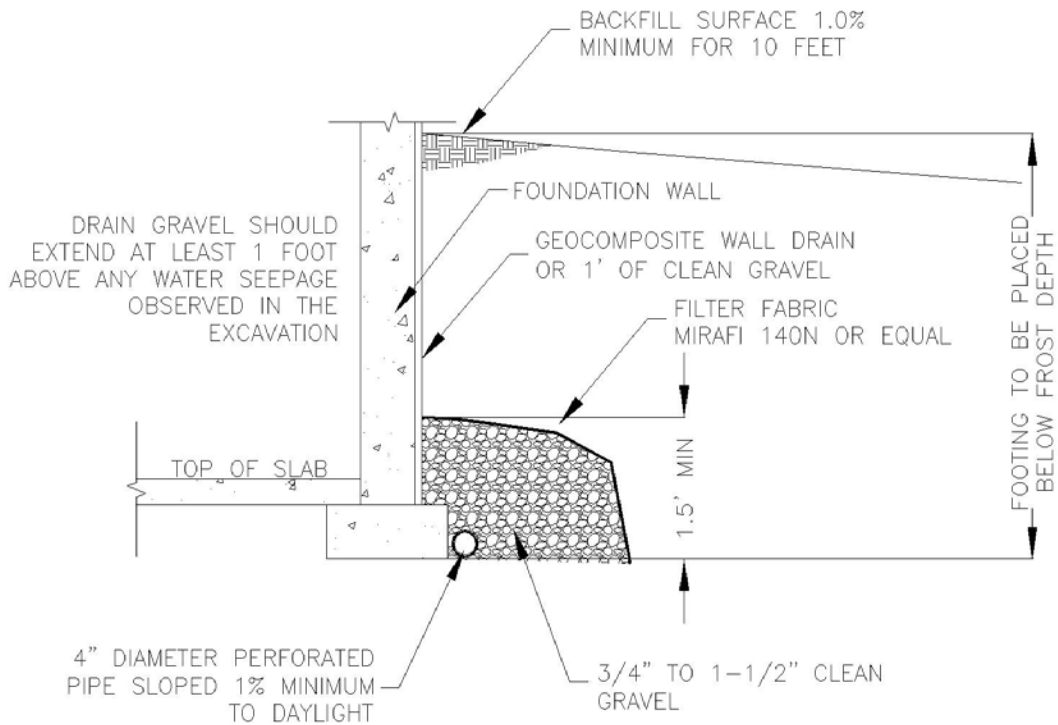


Retaining walls that are free to rotate and allow the active earth pressure condition to develop can be designed using an equivalent fluid density of at least 45 pcf for on-site soil backfill.

Proper placement and compaction of foundation backfill is important to reduce infiltration of surface water and settlement of backfill. The natural soils can be used as backfill, provided they are free of rocks larger than 6 inches in diameter, organics, and debris. The upper 2 feet of fill should be a relatively impervious material to limit infiltration. Backfill which will support surface improvements (patios, driveways, etc.) should be placed in thin loose lifts, moisture conditioned to within +/-2 percent of optimum moisture content, and compacted to at least 95 percent of ASTM D 698 maximum dry density. Thickness of lifts will likely need to be reduced if there are small confined areas of backfill, which limit the size and weight of compaction equipment. Some settlement of the backfill should be expected even if the material is placed and compacted properly. In our experience, settlement of properly compacted backfill could be on the order of 0.5 to 1 percent of backfill thickness. Methods to reduce the risk of backfill settlement include using a granular material and increasing the minimum compaction level. Moisture content and density of the backfill should be tested during placement. Observation of the compaction procedure is necessary.

Drainage Systems

Groundwater from snow melt, precipitation and irrigation of landscaping frequently flows through relatively permeable backfill placed adjacent to a structure, and collects on the surface of less permeable soils occurring at the bottom of foundation excavations. To reduce the likelihood water pressure will develop outside foundation walls and the risk of accumulation of water at the basement or crawlspace level, we recommend a foundation drain be installed anywhere retaining conditions exist. The drain should be installed along the entire basement or crawlspace perimeter where retaining conditions exist. Below is a typical drain detail.



FOOTING TO FOUNDATION
 WALL DETAIL



Surface Drainage

Surface drainage is critical to the performance of foundations, floor slabs and concrete flatwork. The following recommendations should be observed during and after construction. Inundation of the excavation areas should be avoided during construction. The ground surface surrounding any buildings should be sloped to drain water away from the foundation in all directions. We recommend providing a slope of at least 12 inches in the first 10 feet in landscape areas where possible, and a slope of at least 3 inches in the first 10 feet in paved areas. A swale should be provided around the uphill side of the building to divert surface runoff. The upper 2 feet of the backfill should be a relatively impervious type material to prevent excess water from entering the foundation areas. Any downspouts and drains should be installed so that the water discharges well away from the backfill areas. Landscape irrigation within 5 feet of the foundation walls should be avoided.

Slabs

The natural soils found on site are suitable to support lightly loaded floor slabs. The natural soils must be free of topsoil. It is recommended that the floor slabs be underlain by a minimum of 4 inches of clean gravel. This material should consist of minus 2-inch aggregate with at least 50% retained on the No. 4 sieve and less than 2% passing the No. 200 sieve. Slabs should be separated from exterior walls and interior bearing members with slip joints which allow free vertical movement of the slabs. Frequent control joints should be provided, in accordance with American Concrete Institute (ACI) recommendations, to reduce problems associated with shrinkage and curling.

Structural fill for floor slabs can be used including use of native soils that are free from organic matter, rocks larger than 6 inches in diameter, and debris. Structural fill beneath slabs should be placed in thin loose lifts, moisture conditioned to within +/-2 percent of optimum moisture content, and compacted to at least 95 percent of ASTM D 698 maximum dry density.

Radon

Radon is a gaseous, radioactive element that comes from the radioactive decay of uranium, which is commonly found in igneous rocks. The average indoor radon level in Colorado is above the recommended action level of 4 pCi/L as recommended by the



Environmental Protection Agency. Testing for radon gas at the site is beyond the scope of this study. Typically, radon mitigation systems consist of ventilation systems installed beneath lower-level slabs and crawlspaces. These mitigation systems can normally be installed during construction at a relatively low cost, which is recommended. We are not experts in radon testing or mitigation. If the client is concerned about radon, then a professional in this special field of practice should be consulted.

Site Visits and Observations

Recommendations in this report are contingent upon confirmation of the excavated foundation soils. We recommend that 285 Engineering, Inc. provide construction observation services to allow us the opportunity to verify whether soil conditions are consistent with those found during this investigation. If others perform these observations, they must accept responsibility to judge whether the recommendations in this report remain appropriate. An observation and site visit shall be performed after the excavation for the footings, prior to footing placement. An additional site visit is recommended after the foundation drain has been installed, prior to backfill.

Limitations

The conclusions and recommendations within this report are based upon the site visit, soils studies, the proposed type of construction, and experience in the area. The study has been completed in accordance with generally accepted geotechnical engineering practices in this area. Possible variations in the subsurface conditions may increase the risk of foundation movement. This report does not represent a warranty implied or expressed. Our findings are based upon subsurface conditions observed, and variations in subsurface conditions may not become evident until the excavation is completed. If conditions encountered during the excavation and construction process appear different than the details of this report, a re-evaluation is required, and this office should be notified so new recommendations can be made.



Prepared by:

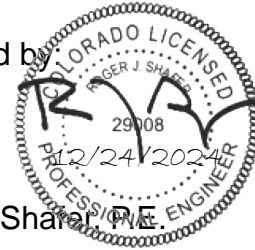
A handwritten signature in black ink that reads 'Brett W. Birch'.

Brett W. Birch

285 Engineering, Inc.
P.O. Box 1048
Conifer, CO. 80433
(720)-515-1781
www.285engineering.com

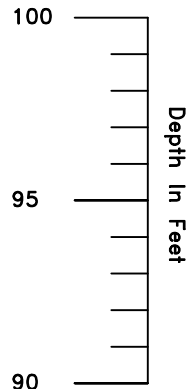
BWB:RJS

Reviewed by:



Roger J. Sharer, P.E.

TP-1



LEGEND:



TOPSOIL – silty, sandy with organics, light brown to brown, slightly moist, medium dense.



LOAMY SAND WITH COBBLES

NOTES:

1. Groundwater was not observed in the pit at the time of excavation. Groundwater levels can fluctuate.
2. Pit location shown on Figure 1 was measured from site features and is not the result of a survey.
3. This test pit is the subject to the explanations, limitations and conclusions contained in this report.

285 ENGINEERING
P.O. BOX 1048
CONIFER, CO
80433
(720)-515-1781

PROJECT #: 2024359
LOCATION:
194 GOLDEN CROWN LANE
BLUE RIVER, CO 80424
CLIENT:
CAROLYN POWERS

DATE: 12/18/2024
SCALE: N/A
REVISIONS:

SUMMARY LOG
OF TEST PIT

FIGURE 2



Building Permit Application

Email to: info@townofblueriver.org

Questions? Call (970) 547-0545 ext. 1

Lot Number: _____ **Subdivision:** _____
Blue River Physical Address: _____

Homeowner Information:

Name: Carolyn Powers & Morgan Betz
 Mailing Address: _____
 Phone: _____
 Email: carolynpowers@gmail.com

Contractor Information

Company Name: _____
 Contact Name: _____
 Mailing Address: _____
 Phone: _____
 Email: _____
 Contractor Registration #: _____

***Please note a Town of Blue River Business License is required for all businesses to conduct business in the Town of Blue River including contractors, sub-contractors and architects. ***

Description of Project:

Distance to Property Line	Type of Heat:	Construction Type:
North:	Roof:	Building Height:
South:	Exterior Walls:	No. Stories:
East:	Interior Walls:	Total # Bedrooms:
West:	Basement Fin. Sq.Ft.:	Total # Bathrooms:
New Addition/Res. Sq.Ft.: 2,235 SF	Main Level Sq.Ft.:	Septic or Sewer: Septic
Garage Sq.Ft.:	2 nd Level Sq.Ft.:	
Total Square footage:	3 rd Level Sq.Ft.:	

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATION WORK, & FIREPLACES. THIS PERMIT BECOMES NULL AND VOID IF CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN ____ OR IF CONSTRUCTION IS SUSPENDED OR ABANDONED FOR A PERIOD OF ____ AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS REGARDING BUILDING CONSTRUCTION AND TO BUILD ACCORDING TO THE APPROVED PLANS. THE GRANT OF A PERMIT DOES NOT PRESUMED TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

Signature of Owner or Contractor: _____ Date: _____

Submittal Requirements

****ALL Submittals Must be Electronic****

Emailed to: info@townofblueriver.org

Planning & Zoning Review Submittal Requirements

****Please indicate via check box item included as well as page number in submitted packet.**

Completed <input checked="" type="checkbox"/>	Item	Description	Page #
X	Site Plan	Scale: 1" = 10'; May appear on a single sight plan. IF on a separate page, please indicate the page.	
X		Property Boundaries	
X		Building Envelope with setbacks	
X		Proposed Buildings	
X		Structures (existing & proposed)	
X		Driveway & Grades	
		A wetlands delineation & Stream crossing structures where applicable.	
X		Topographic survey, prepared and stamped by a licensed surveyor, indicating site contours at 2' intervals, easements, and significant natural features such as rock outcroppings, drainages and mature tree stands.	
		Transformer & vault location (if installed by owner or existing)	
X		Well location; septic if applicable	
X		Snow storage areas and calculations	
X		Major site improvements	
X		Existing & proposed grading & drainage	
X	Landscaping Plan	*May be included in the site plan**	
X		Landscaping must indicate tree removal for defensible space requirement; any trees 6" or more primarily noting the removal of any ponderosa pines or large trees. Clear cutting of a site is not allowed.	
X		Indicate the percentage of trees removed and revegetation to be conducted.	
X		Upon completion of the construction project, all land must be raked and	

X		reseeded with native seed prior to issuance of CO. in cases of completion during snow coverage and/or winter, CO may be issued with conditions for completions within 60 days of the last snow and a deposit.	
X		Any major structures (retaining walls; fences; landscaping rocks) must be indicated in detail on plans in conformance with the design regulations.	
X		Indicating building walls, floors and roof relative to the site, including existing and proposed grades, retaining wall and proposed site improvements.	
X	Floor Plans	Scale 1/8" = 1'	
X		Indicate the general layout of all rooms, approximate size, and total square footage of enclosed space for each floor level.	
X	Exterior Elevations	Scale same as floor plans	
X		Detail to indicate the architectural character of the residence, fenestration and existing and proposed grades. Elevations must include a description of exterior materials and colors.	
X	Roof Plan	Scale same as floor plans	
X		Indicate the proposed roof pitch, overhang lengths, flue locations, roofing materials and elevations of major ridge lines and all eave lines.	
X	Materials Sheet	Display materials to be used. Color renderings are suggested as well. In cases of additions, if matching the existing structure, photos of current home.	

After Approval and BEFORE Permit is Issued:

ELECTRONIC COPY Stamped set.

- All of the above mentioned plus items below in one plan set.

Completed <input checked="" type="checkbox"/>	Item	Page #
X	Soils report if applicable	
	Electrical, plumbing and mechanical plans.	
X	Construction Management Plan. Please refer to the Town Code and Architectural Guidelines for all requirements.	
X	Stamped structural plan	
	Current Summit County Septic System Permit (including system plot plan), or evidence of full payment of tap fees to Upper Blue Sanitary District.	
	Current Colorado Well Permit or evidence of full payment of tap fees to Timber Creek Water District	
	Colorado Department of Transportation Hwy Access Permit	
	Designation of General Contractor, except for bona fide homeowner contractor	
	For Manufactured Homes the following additional information is required	
	<ul style="list-style-type: none"> • State of Colorado Division of Housing Approved Plans 	
	<ul style="list-style-type: none"> • State of Colorado Division of Housing Registered Installer Certificate 	