



BLUE RIVER PLANNING AND ZONING COMMISSION MEETING MONTH

Tuesday, May 6, 2025

6:00 PM

0110 Whispering Pines Circle, Blue River, CO

Agenda

The public is welcome to attend the meeting either in person or via Zoom.

The Zoom link is available on the Town website:

<https://townofblueriver.colorado.gov/board-of-trustees>

Please note that seating at Town Hall is limited.

Call to Order, Roll Call

Approval of Minutes

- A. Minutes**

Project Approval

- B. Project Review Summary Memo**
- 1. 0061 Twilight-Renovation Addition**
 - 2. 0039 Lodestone-New Construction (project previously approved; moderate changes with new owners)**
 - 3. 0064 Tarnwood-Carriage House**

Adjourn



BLUE RIVER PLANNING AND ZONING COMMISSION MEETING MONTH

Tuesday, April 1, 2025

6:00 PM

0110 Whispering Pines Circle, Blue River, CO

Minutes

The public is welcome to attend the meeting either in person or via Zoom.

The Zoom link is available on the Town website:

<https://townofblueriver.colorado.gov/board-of-trustees>

Please note that seating at Town Hall is limited.

Call to Order, Roll Call

Chair Johnson called the meeting to order at 6:00 p.m.

PRESENT

Travis Beck-Via Zoom

Kristofer Carlsted

Dan Cleary

Tim Johnson

Gordon Manin

Also present: Town Manager/Clerk Michelle Eddy via Zoom; Town Attorney Bob Widner;

Building Official Kyle Parag via Zoom; Deputy Clerk John DeBee

EXCUSED: Doug O'Brien

ABSENT: Troy Watts

Approval of Minutes

A. Minutes February 2025

Cleary moved and Manin seconded to approve the minutes of February 2025. Motion passed unanimously.

Public Hearing

B. Ordinance 2025-05 Establishing Residential Conservation Zone District

Meeting recording was delayed and started at 6:54 p.m. Discussion prior to the start of the recording began at 6:00 p.m.

Chair Johnson opened the public hearing at 6:02 p.m.

- Town Attorney Widner provided a background of the proposed ordinance referring to his memo.
- No public comment was received.
- Manin asked for clarification on the zone district being created and the current moratorium. Discussion on how it works and how it affects current properties.
- Manager Eddy provided the statistics on lots affected in town.
- Cleary asked for clarification on the purpose and if it would limit subdivision in the future.
- It was noted that by approving this new zone district nothing changes until the Board of Trustees decides to apply it to specific properties.
- Carlsted asked how it would apply to four acre parcels and can it be modified in the future. Answer was yes and additional zone districts may be created as well and applied. It was noted that the Commission can ask the Trustees to add additional zone districts.
- Attorney Widner noted it is up to the Planning & Zoning Commission to make recommendations for zone districts to the Board of Trustees.
- Discussion of options.

Chair Johnson closed the public hearing at 7:01 p.m.

Carlsted moved and Manin seconded to recommend approval to the Board of Trustees Ordinance 2025-05 Establishing Residential Conservation Zone District with the recommendation for additional zoning districts to be added to address other lot sizes and possible name change. Motion passed unanimously.

C. Ordinance 2025-06 Amendment to the Land Use Code Concerning Construction Rules and Regulations

Chair Johnson opened the public hearing at 7:05 p.m.

- Town Manager Eddy provided background and information on the proposed ordinance.
- Discussion of items in changes.
- Cleary discussed issue with setting a day for trash removal.
- Discussion to adjust the language surrounding trash removal to keep sites clean and trash removed at the discretion of the Code Ambassador.
- Attorney Widner noted there needs to be a definitive reason and code to determine a violation and must be applied uniformly. He provided some recommendations to be included or changed in the ordinance. Discussion to remove the porta potty screening requirement.

Chair Johnson closed the public hearing at 7:25 p.m.

Cleary moved and Carlsted seconded to recommend approval of Ordinance 2025-06 Amendment to the Land Use Code Concerning Construction Rules and Regulations with the recommendation to remove the porta potty screen requirement and change the trash to maintaining a clean site versus the weekly removal requirement. Motion passed unanimously.

Project Approval

D. 5940 Hwy 9-Garage/Shop Addition

The project was reviewed by the Building Official noting items for Planning Commission review. Discussion to have the Building Official questions addressed on structural review. He did ask for whether or not the garage materials are as close to matching the log home. The location of the garage was discussed. It was noted that snow storage would need to be addressed.

Beck moved and Carlsted seconded to approve the garage/shop addition at 5940 Hwy 9. Motion passed unanimously.

E. 0132 Mountain View-Addition

The project was reviewed by the Building Official noting items for review by the Planning Commission. It was noted a variance was previously approved. Discussion of use of the garage and exercise area.

Cleary moved and Carlsted seconded to approve the addition at 0132 Mountain View. Motion passed unanimously.

Adjourn

Cleary moved and Carlsted seconded to adjourn the meeting at 7:45 p.m. Motion passed unanimously.

Respectfully Submitted:

Michelle Eddy, MMC
Town Clerk



Town of Blue River Memorandum

TO: Planning & Zoning Commission Members

FROM: Kyle Parag, Building Official & Town Manager Michelle Eddy

DATE: April 29, 2025

SUBJECT: **Project Review Notes for P & Z Consideration**

Planning & Zoning Commission Members

Below is a summary of the projects presented for the May 6, 2025 meeting. The summary includes all items for Planning & Zoning review and consideration. **All projects have been reviewed for compliance with the Land Use and Building Codes and unless otherwise noted are recommended for approval.**

0064 Tarnwood-Carriage House

- Complies with required setbacks.
- Complies with height limitations.
- Garage complies with standards.
- For additional review and consideration:
 - Colors provided as matching existing home but exact colors are not provided.
 - Snow storage calculations were not provided.
 - A wetlands delineation was not provided but construction is expected to be within 20' of wetlands.

0061 Twilight-Renovation & Addition

- Complies with required setbacks.
- Complies with height limitations.
- Garage complies with standards.
- For additional review and consideration:
 - Roof design is a shed roof with a 3:12 pitch.
 - Siding is vertical corrugated rusted metal siding in certain location. The material is not listed on acceptable nor prohibited. The entire home is to be resided.

0039 Lodestone-New Construction

- Complies with required setbacks.
- Complies with height limitations.
- Garage complies with standards.
- For additional review and consideration:

- Chimney: A metal flue is indicated. Metal is not consistent with code, as material shall be consistent with the structure if determined to be a chimney.
- Driveway width indicated at 20'. Slope is 6%. This exceeds 12' as required.

TO: Michelle Eddy, CMC/CPM - Town Manager/Clerk
FROM: Kyle Parag, Plan Reviewer - CAA
DATE: April 29, 2025
RE: Planning/Zoning/Architectural Guidelines review – 0061 Twilight Trl

Below please find staff's analysis that outlines the review with the Town's Zoning regulations and adopted Architectural Design Guidelines for the structure proposed

Zoning Regulation analysis –

Proposal: Renovation of existing single family home to include an addition of 583 SF of garage space and 223 SF of living space(mud room).

Zoning district: R-1

Lot Size: ~ 20,400 sq. ft.
80,000 sq. ft. Required– Existing Non-Conforming

Lot Width: ~ 156'
100 ft. Required - Complies

Setbacks: Proposed addition complies with required setbacks based upon submitted docs. Addition is 40 feet from road easement.

Height: Complies with required height limitations. The height at the highest roof ridge is proposed at 27'8"

Garage Stds: The proposed garage is ~583 sq. ft. and complies with the standards for structures less than 5,000 sq. ft. in habitable size.

Parking Stds: Parking requirements will be met through the proposed garage and exterior spaces

Architectural Design Guideline analysis -

Please note the following key to the interpretation of the analysis table:

Y	Element is in substantial compliance with the design guidelines
N	Does not comply with the design guidelines
PC	Subject to Planning Commission Specific approval
	Requires additional information from applicant
N/A	Not Applicable to the application

STANDARD	NOTES/REMARKS	SUBSTANTIAL COMPLIANCE
DEVELOPMENT STANDARD		
Article 3: Easements	Easements are indicated.	Y
Article 4: Buildable Area/setbacks	Front setback is measured from surveyed edge of road.	Y
Article 5 Building Design Standards		
Article 5-20 Building Height	Height is indicated at 27'8". Garage is subordinate to existing structure.	Y
Article 5-60 Foundation	Foundation is not exposed, indicated stone.	Y
Article 5-70 Roofs	Roof design for the addition is a shed roof with a pitch of 3:12	PC
Article 5-80 Garages	Garage door is traditional fiberglass	Y
Article 5-90 Window and doors	Windows not part of the scope of work	Y
Article 5-100 Balconies and railings	None indicated in the scope of work	Y

Article 5-110 Chimney and Roof Penetrations	Not part of the scope of work	Y
Article 6 Building Materials and Colors		
Article 6-20 Materials	Siding is vertical corrugated rusted metal siding in certain locations. This material is not listed on acceptable nor prohibited. The entire home is to be resided.	PC
Article 6-30 Colors	Colors are provided and show general compliance.	Y
Article 7 Accessory Improvements		
Article 7-(20-40, 110) Berms, Garages, sheds and Gazebos	None indicated. Garage is indicated at 583 Sqft	Y
Article 7-50 Driveways	Minor changes to existing driveway proposed. Snow storage provided	Y
Article 7-60 Parking Areas	Parking is interior garage and exterior spaces	Y
Article 7-100 Decks	New railing proposed as welded steel vertical wire	Y
Article 7-120 Hot Tubs	None indicated	Y
Article 7-140 Fences	None indicated	Y
Article 7-150 Retaining walls	New boulder retaining wall indicated on rear of home.	Y
Article 8 Signs		
Article 8 Signs	None indicated	Y

Article 9 Lighting		
Article 9 Lighting	Downcast lights are indicated	Y
Article 13 Environmental Regulations		
Article 13-20 Wetlands	None indicated	Y



Building Permit Application

Email to: info@townofblueriver.org

Questions? Call (970) 547-0545 ext. 1

Lot Number: 489 **Subdivision:** Lakesore Subdivision
Blue River Physical Address: 61 Twilight Trail

Homeowner Information:

Name: Vincent & Gayle Ardrey
Mailing Address: 3328 Walton Way, Augusta, GA 30909
Phone: 706-833-9837
Email: gayleardrey@gmail.com

Contractor Information

Company Name: Legend Home Improvement, Inc.
Contact Name: Matt Zeiset
Mailing Address: P.O. Box 6601, Breckenridge, CO 80424
Phone: 970-389-3730
Email: breckshirehomes@gmail.com
Contractor Registration #: _____

***Please note a Town of Blue River Business License is required for all businesses to conduct business in the Town of Blue River including contractors, sub-contractors and architects. ***

Description of Project:

Renovation / Addition with 583 SF Garage addition, & 223 SF livable addition
Plus Covered Patio Addition & Interior Renovation

Distance to Property Line	Type of Heat: <u>Electric BB</u>	Construction Type: <u>V</u>
North: <u>43'-11"</u>	Roof: <u>Composition & Metal</u>	Building Height: <u>e: 27'-8"</u>
South: <u>55'-8"</u>	Exterior Walls: <u>Wood & Metal</u>	No. Stories: <u>3</u>
East: <u>19'-9"</u>	Interior Walls: <u>Gypsum Bd.</u>	Total # Bedrooms: <u>3</u>
West: <u>53'-0"</u>	Basement Fin. Sq.Ft.: <u>140</u>	Total # Bathrooms: <u>3</u>
New Addition/Res. Sq.Ft.: <u>223</u>	Main Level Sq.Ft.: <u>E:1210 + 223</u>	Septic or Sewer: <u>E: O.W.T.S.</u>
Garage Sq.Ft.: <u>583</u>	2 nd Level Sq.Ft.: _____	
Total Square footage: <u>806</u>	3 rd Level Sq.Ft.: <u>E: 662</u>	

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATION WORK, & FIREPLACES. THIS PERMIT BECOMES NULL AND VOID IF CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN ____ OR IF CONSTRUCTION IS SUSPENDED OR ABANDONED FOR A PERIOD OF ____ AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS REGARDING BUILDING CONSTRUCTION AND TO BUILD ACCORDING TO THE APPROVED PLANS. THE GRANT OF A PERMIT DOES NOT PRESUMED TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

Signature of Owner or Contractor:  Date: 4/8/2025

Submittal Requirements

****ALL Submittals Must be Electronic****

Emailed to: info@townofblueriver.org

Planning & Zoning Review Submittal Requirements

****Please indicate via check box item included as well as page number in submitted packet.**

Completed <input checked="" type="checkbox"/>	Item	Description	Page #
YES	Site Plan	Scale: 1" = 10'; May appear on a single sight plan. IF on a separate page, please indicate the page.	A1
		Property Boundaries	A1
		Building Envelope with setbacks	A1
		Proposed Buildings	A1
		Structures (existing & proposed)	A1
		Driveway & Grades	A1
N/A		A wetlands delineation & Stream crossing structures where applicable.	
YES	Range West, Inc.	Topographic survey, prepared and stamped by a licensed surveyor, indicating site contours at 2' intervals, easements, and significant natural features such as rock outcroppings, drainages and mature tree stands.	
		Transformer & vault location (if installed by owner or existing)	N/A
		Well location; septic if applicable	A1
		Snow storage areas and calculations	A1
		Major site improvements	A1
		Existing & proposed grading & drainage	A1
NO	Landscaping Plan	*May be included in the site plan**	
		Landscaping must indicate tree removal for defensible space requirement; any trees 6" or more primarily noting the removal of any ponderosa pines or large trees. Clear cutting of a site is not allowed.	
		Indicate the percentage of trees removed and revegetation to be conducted.	
		Upon completion of the construction project, all land must be raked and	

		reseeded with native seed prior to issuance of CO. in cases of completion during snow coverage and/or winter, CO may be issued with conditions for completions within 60 days of the last snow and a deposit.	
		Any major structures (retaining walls; fences; landscaping rocks) must be indicated in detail on plans in conformance with the design regulations.	
		Indicating building walls, floors and roof relative to the site, including existing and proposed grades, retaining wall and proposed site improvements.	
YES	Floor Plans	Scale 1/8" = 1'	1/4"=1'-0"
		Indicate the general layout of all rooms, approximate size, and total square footage of enclosed space for each floor level.	A2-A4
YES	Exterior Elevations	Scale same as floor plans	1/4"=1'-0"
		Detail to indicate the architectural character of the residence, fenestration and existing and proposed grades. Elevations must include a description of exterior materials and colors.	A6-A9
YES	Roof Plan	Scale same as floor plans	1/4"=1'-0"
		Indicate the proposed roof pitch, overhang lengths, flue locations, roofing materials and elevations of major ridge lines and all eave lines.	A5
YES	Materials Sheet	Display materials to be used. Color renderings are suggested as well. In cases of additions, if matching the existing structure, photos of current home.	

After Approval and BEFORE Permit is Issued:

ELECTRONIC COPY Stamped set.

- All of the above mentioned plus items below in one plan set.

Completed <input checked="" type="checkbox"/>	Item	Page #
	Soils report if applicable	
	Electrical, plumbing and mechanical plans.	
	Construction Management Plan. Please refer to the Town Code and Architectural Guidelines for all requirements.	
	Stamped structural plan	
	Current Summit County Septic System Permit (including system plot plan), or evidence of full payment of tap fees to Upper Blue Sanitary District.	
	Current Colorado Well Permit or evidence of full payment of tap fees to Timber Creek Water District	
	Colorado Department of Transportation Hwy Access Permit	
	Designation of General Contractor, except for bona fide homeowner contractor	
	For Manufactured Homes the following additional information is required	
	<ul style="list-style-type: none"> • State of Colorado Division of Housing Approved Plans 	
	<ul style="list-style-type: none"> • State of Colorado Division of Housing Registered Installer Certificate 	

Blue River Plan Submittal Requirements for Residential Plan Review

- ❖ When designing the structure, refer to the Blue River Municipal Town Code, Chapter 16 for zoning information and allowable uses/construction. The Building Code information is available under Chapter 18. <https://townofblueriver.colorado.gov>.
- ❖ Building Codes Adopted:
 - International Residential Code 2018
 - The Electrical Code is the current code adopted by the State of Colorado: 2020

Note: Applicable codes are required to be notated on plans.

- ❖ Snow loads:
 - Roofs shall be designed in accordance with accepted engineering practice based upon a ground snow load of 100 psf.
 - Balconies/decks-125 psf.
 - No reductions for duration.
- ❖ Frost line depth:
 - Foundation footing minimum depth below grade-40 inches.
 - Uncovered deck piers may be set at 24 inches.
- ❖ Roof underlayment 100% Ice & Water shield.
- ❖ Roof may be metal; 30-year minimum architectural grade, composition fiberglass (dark brown, dark gray, dark green, weathered wood or black only); or class-A #1 cedar shakes.
- ❖ Wind speed: 90 mph, exposure “B”. Seismic design category: “B”.
- ❖ Propane gas alarm/shutoff system required.
- ❖ Wood burning stoves: Required to meet Colorado Dept. of Health, Regulation No. 4.
- ❖ The building height limit in the Town is 35 feet. Refer to the Architectural Guidelines for additional information.
- ❖ Locally re-settable GFCI breakers are required in bathrooms.
- ❖ Compliance with the International Energy Conservation Code is required.
- ❖ Any application that would create an accessory apartment must meet zoning regulations and will not be processed without prior approval of the Town Board of Trustees.
- ❖ Note that Hwy 9 access permits may require 3-4 months and well permits 5-6 weeks.
- ❖ Planning & Zoning Commission approvals become void if the building permit is not issued within eighteen (18) months.
- ❖ Building permits become void if construction is discontinued for more than 180 days.

In order for your permit application to be reviewed and processed properly, the following construction information must be provided. **Note:** "Preliminary" and/or plans shown as "Not for Construction" or similar are unacceptable. ***Hardcopy submittals will not be accepted.***

Note: Items below are not all inclusive of the requirements. Please review the Building Application Packet, design guidelines, building and land use codes for complete information.

Soils Report

Must be sealed and signed by a licensed Colorado Engineer.

- Provide an engineer's soil investigation report indicating type of soil and recommended foundation design. include any required shoring.

Improvement Survey Plat

- Provide an Improvement Survey Plat (ISP) following Colorado Revised Statutes for new principal structures, substantial expansions (25% or more) to principal structures and new accessory dwelling units (ADU's).
- Provide a permanent reference to spot elevation (benchmark) that will not be disturbed during construction.
- Provide existing spot elevations at property corners and at midpoints of the side property lines.
- Must be stamped and signed by a Professional Land Surveyor (PLS) licensed by the state of Colorado.

Site Plan

- Provide site plan that shows dimensions reflecting the distances to property lines
- Indicate all public or private easements
- Show location of all proposed and existing structures with dimensions
- Provide type of construction for all structures on site
- Provide landscaping plan.
- Show permanent reference spot elevation (benchmark), existing spot elevations at property corners and at midpoints of the side property lines.
- Indicate roof drainage on site plan with arrows showing the direction of the gutter downspouts. Roof drainage shall flow towards the road and away from all structures.

Structural Plans

Plans must be sealed and signed by a Colorado Structural Engineer or Architect

- Indicate size, location and method of reinforcement for all proposed footings, column pads, piers, caissons, grad beams, foundation walls, decks, guardrails, guardrail posts. Specify location of reinforcing steel and anchor bolts.

- Provide complete and clearly dimensioned floor framing plan for each level and roof framing plan which indicates the materials, types, sizes and location of all structural elements.
- Provide complete structural design criteria including but not limited to required design loads, material specifications and structural construction requirements.
- Provide complete structural calculations for each structure.

Architectural Plans

- Provide complete and dimensioned floor layout at each level which identifies the use of each room.
- Provide Complete and dimensioned roof plan and indicate all roof slopes.
- Provide complete and dimensioned reflected ceiling plan.
- Provide exterior elevations for each side of the building which contains an overall building height and floor-to-floor heights and indicate location, size and types of all doors and glazed openings including hazardous glazing and fall protection locations.
- Provide a bulk plane diagram on front and rear exterior elevations relative to the base plane elevation. The base plan for the bulk plane is establishing by taking the average of the existing grades of the midpoints of the two side property lines.
- Provide building and wall sections which clearly identify the required type and location of all materials for construction of beams, columns, floors, walls, ceilings, roofs.
- Provide stair geometry. Include rise and run, handrail and guardrail heights.
- Provide one major section through the exterior wall from footings to the highest part of the roof (min. scale 1/4"=1')
- Provide square foot area breakdown per floor level.

Electrical Plans

Provide electrical plans showing the location and capacity of the service equipment and electrical panels, the location of all smoke detectors, carbons monoxide detectors, electrical receptacles, switches, and lighting fixtures.

Mechanical Plans

- Provide mechanical plans and indicate the location of all heating, ventilating and air conditioning equipment. Show the location of the condensing unit. Detail the equipment access and working clearances.
- Show dryer exhaust termination location and clearances, environmental exhaust termination locations and clearances.
- Provide Manual J and Manual D calculations. Must be legible. No exceptions.
- Provide all fireplace specifications, rated separation details, direct vent termination details when applicable, hearth extensions when required, chimney clearances, shutoff and control access.

Plumbing Plans

- Provide plumbing plans and indicate the location of all plumbing fixtures and appliances (Isometric may be required per the discretion of the plans examiner.)
- Provide the supply line size and main discharge size. Note the water supply inlet location.
- Indicate whether appliances are gas-operated, electric, or otherwise. List types of material to be used for all water supply, drainage and vent piping. Provide fixture max flow rates and insulation values.
- Gas load calculations and piping diagram is required.

Energy Conservation Plans

Provide verification that the project meets the requirements of the IECC, or provide a simulated energy performance analysis such as RES-check. Provide all required information per 2012 IECC R103.2.

Resubmittal Requirements

- Provide a written response addressing each correction.
- Provide revision clouds for each correction made.
- Provide updated information in the revision section of the title block.
- Provide complete plan packs per discipline requiring corrections. Example: If you are resubmitting for Civil corrections, provide a complete revised plan pack.





61 Twilight Renovation / Addition

LEGAL DESCRIPTION
 Lot 489,
 Lakeshore Subdivision,
 The Town of Blue River, Colorado

SHEET INDEX

A1	SITE PLAN, NOTES
A2	PROPOSED * EXISTING BASEMENT / GARAGE FLOOR PLANS
A3	PROPOSED * EXISTING MAIN LEVEL FLOOR PLANS
A4	PROPOSED * EXISTING UPPER LEVEL FLOOR PLANS
A5	PROPOSED * EXISTING ROOF PLANS
A6	PROPOSED * EXISTING SOUTH ELEVATIONS
A7	PROPOSED * EXISTING NORTH ELEVATIONS
A8	PROPOSED * EXISTING EAST ELEVATIONS
A9	PROPOSED * EXISTING WEST ELEVATIONS
A10	PROPOSED BUILDING SECTIONS
S1	FOUNDATION PLAN, STRUCTURAL NOTES
S2	MAIN LEVEL FLOOR FRAMING PLAN
S3	ROOF FRAMING PLAN
S4	STRUCTURAL DETAILS
ME1	BASEMENT / GARAGE LEVEL MECHANICAL / ELECTRICAL PLAN
ME2	MAIN LEVEL MECHANICAL / ELECTRICAL PLAN
ME3	UPPER LEVEL MECHANICAL / ELECTRICAL PLAN

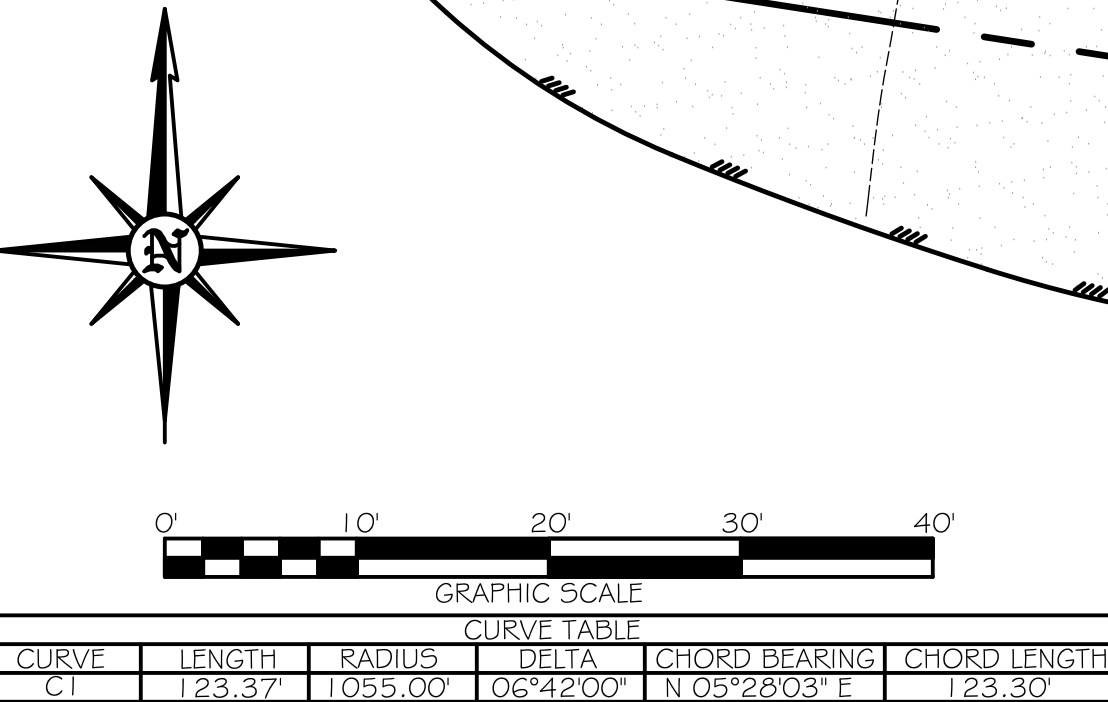
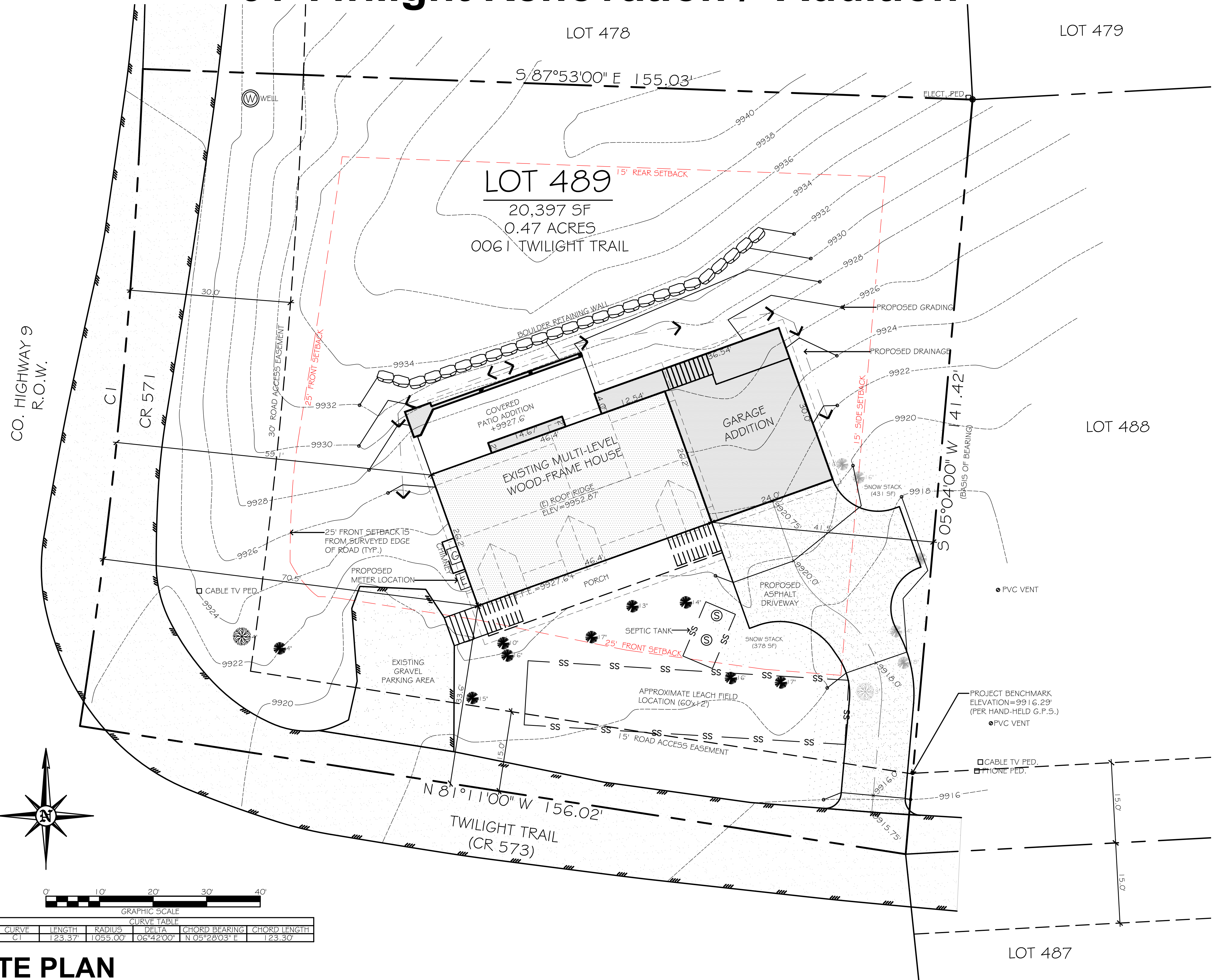
AREA MATRIX

EXISTING	FINISHED	UNFINISHED	TOTAL
BASEMENT	0 SF	1196 SF	1196 SF
MAIN	1210 SF	0 SF	1210 SF
UPPER	662 SF	0 SF	662 SF
TOTAL	1872 SF	1196 SF	3068 SF
ADDITION	FINISHED	UNFINISHED	TOTAL
BASEMENT	140 SF	583 SF	723 SF
MAIN	83 SF	0 SF	83 SF
UPPER	0 SF	0 SF	0 SF
TOTAL	223 SF	583 SF	806 SF
GRAND TOTAL	2095 SF	1779 SF	3874 SF
EXISTING FOUNDATION FOOTPRINT AREA:			1196 SF
PROPOSED FOUNDATION FOOTPRINT AREA:			770 SF
PROPOSED COVERED PORCH AREA:			345 SF
EXISTING PORCH AREA:			184 SF
EXISTING ROOF AREA:			1731 SF
PROPOSED ROOF AREA:			2937 SF
PROPOSED DRIVEWAY AREA:			1195 SF
SNOW-STACK AREA:			809 SF

SURVEY LEGEND

●	FOUND REBAR # PLASTIC CAP (PLS #1 8374)
●	FOUND #4 REBAR
⊙	WELL
⊙	SEWER SERVICE STUB / PVC O.W.T.S. VENT
⊙	SEPTIC TANK LID
⊙	UTILITY PEDESTAL
⊙	ELECTRIC UTILITY POLE
⊙	PINE TREE W/ TRUNK DIAMETER
⊙	FIR TREE W/ TRUNK DIAMETER

RANGE WEST PROJECT #22781
 DATE OF FIELD SURVEY: 07/16/2024 & 10/14/2024 (O.W.T.S. UPDATE)
 CONTOUR INTERVAL=2 FEET



SITE PLAN

1"=10'-0"

PROJECT TEAM

OWNERS Vincent & Gayle Ardrey 3328 Walton Way Augusta, GA 30909 (706) 833-9837 gayleardrey@gmail.com	ARCHITECT EQUINOX Architecture LLC P.O. Box 6217 Breckenridge, CO 80424 (970) 453-9619 robbie@equinoxarchitecture.com	GENERAL CONTRACTOR Legend Home Improvement, Inc. P.O. Box 6601 Breckenridge, CO 80424 (970) 389-3730 breckshirehomes@gmail.com	STRUCTURAL ENGINEER Sundquist Design Group P.O. Box 676 Conifer, CO 80433 (303) 838-2222 joe@sundquistdesign.com	MECHANICAL ENGINEER AFS Engineering 1020 15th St. #18K Denver, CO 80202 (303) 594-9232 alp@afseng.com	CIVIL / SOILS ENGINEER Theobald Engineering & Construction Services, Inc. P.O. Box 3817 Breckenridge, CO 80424 (970) 409-7978 robtheobald@yahoo.com	SURVEYOR Range West, Inc. P.O. Box 589 Silverthorne, CO 80498 (970) 468-6281
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61 Twilight Renovation / Addition
 61 Twilight Trail (CR 573),
 Lot 489, Lakeshore Subdivision,
 Town of Blue River, Colorado

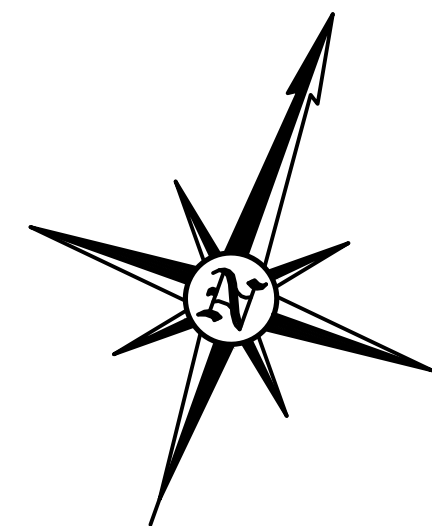
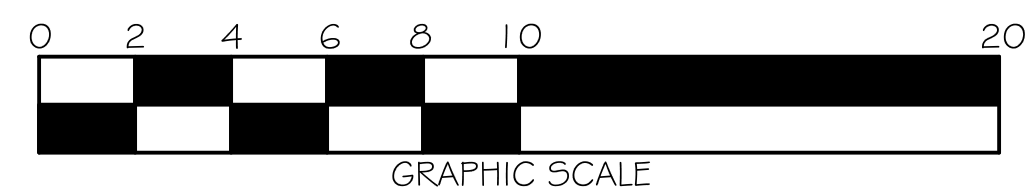
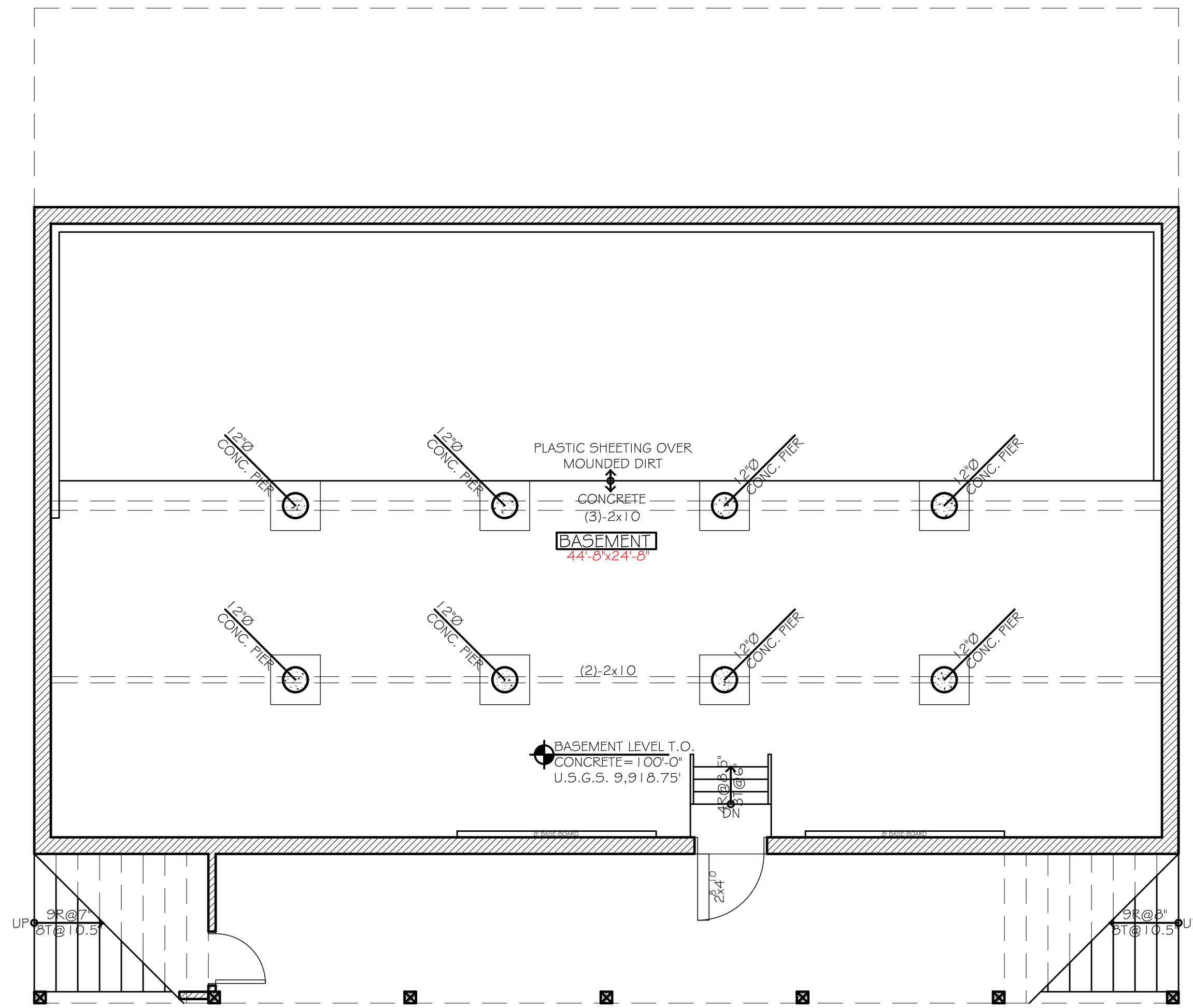


EQUINOX ARCHITECTURE LLC
 P.O. Box 6217, Breckenridge, CO 80424
 970.453.9619 (phone & fax)
 www.equinoxarchitecture.com

© 2025
 job # 18224
 date 4/8/25
 drawn by RRD
 checked by RRD

Blue River P & Z Submittal

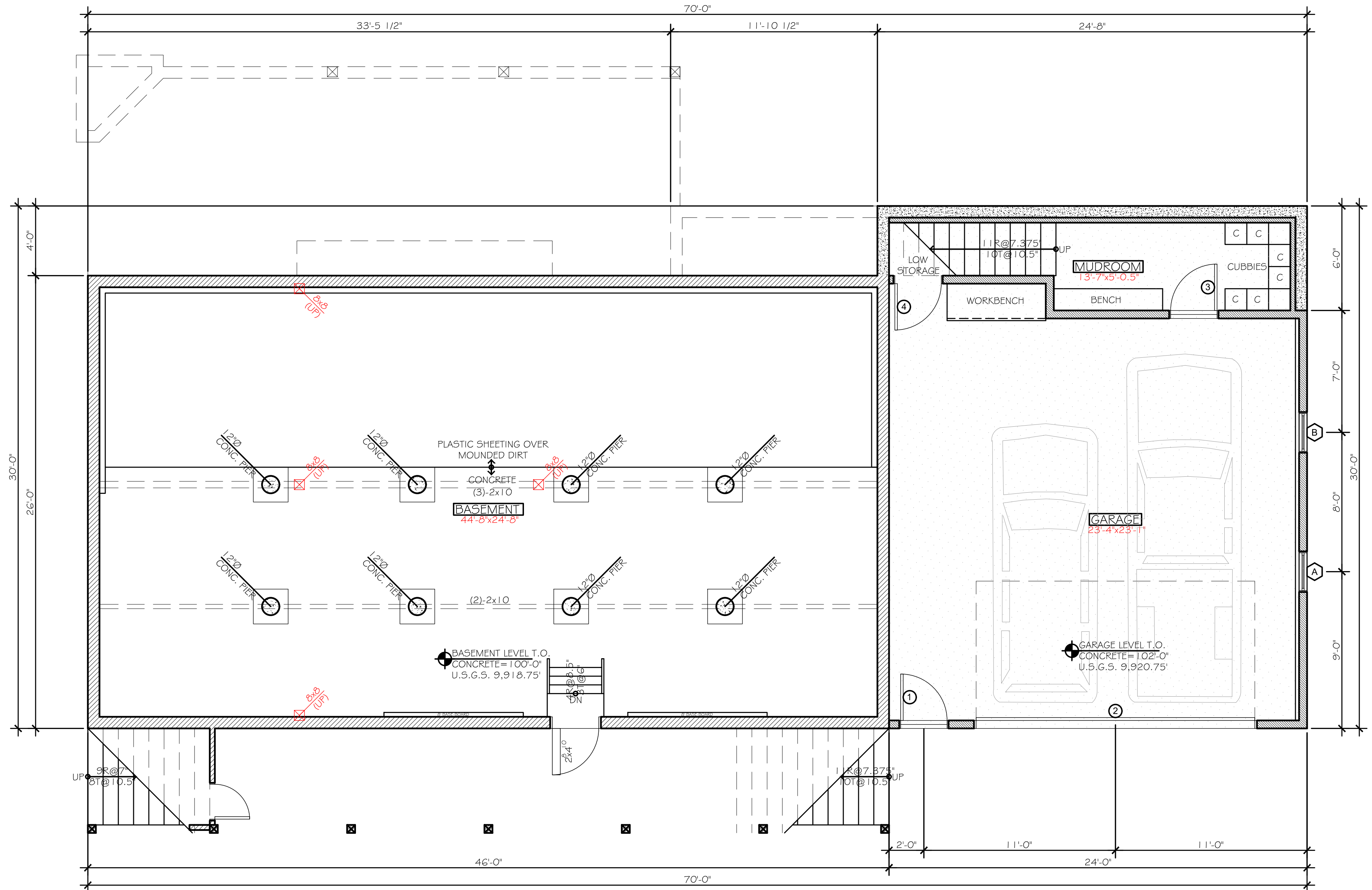
sheet
A1
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EXISTING BASEMENT LEVEL FLOOR PLAN

1/4"=1'-0"

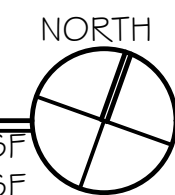
EXISTING UNFINISHED AREA: 1196 SF



PROPOSED BASEMENT LEVEL FLOOR PLAN

1/4"=1'-0"

PROPOSED GARAGE ADDITION: 583 SF
 PROPOSED MUDROOM ADDITION: 140 SF



61 Twilight Renovation / Addition

61 Twilight Trail (CR 573),
 Lot 485, Lakeshore Subdivision,
 Town of Blue River, Colorado



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 970.453.9619 (phone & fax)
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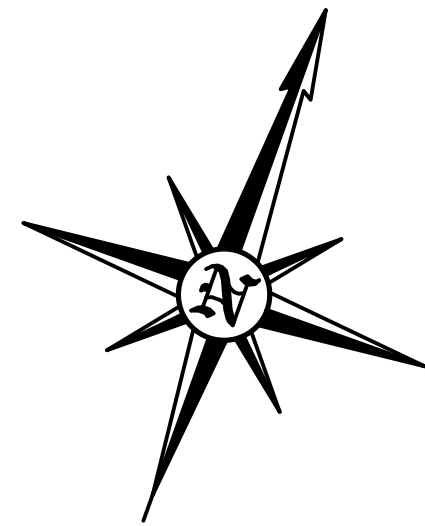
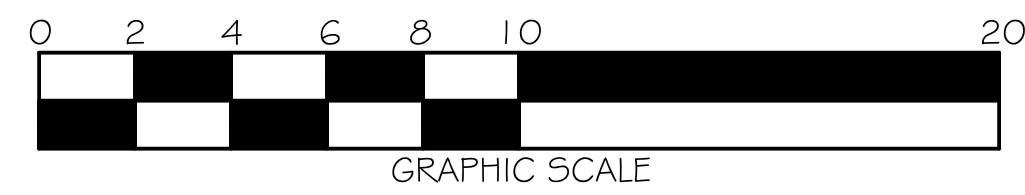
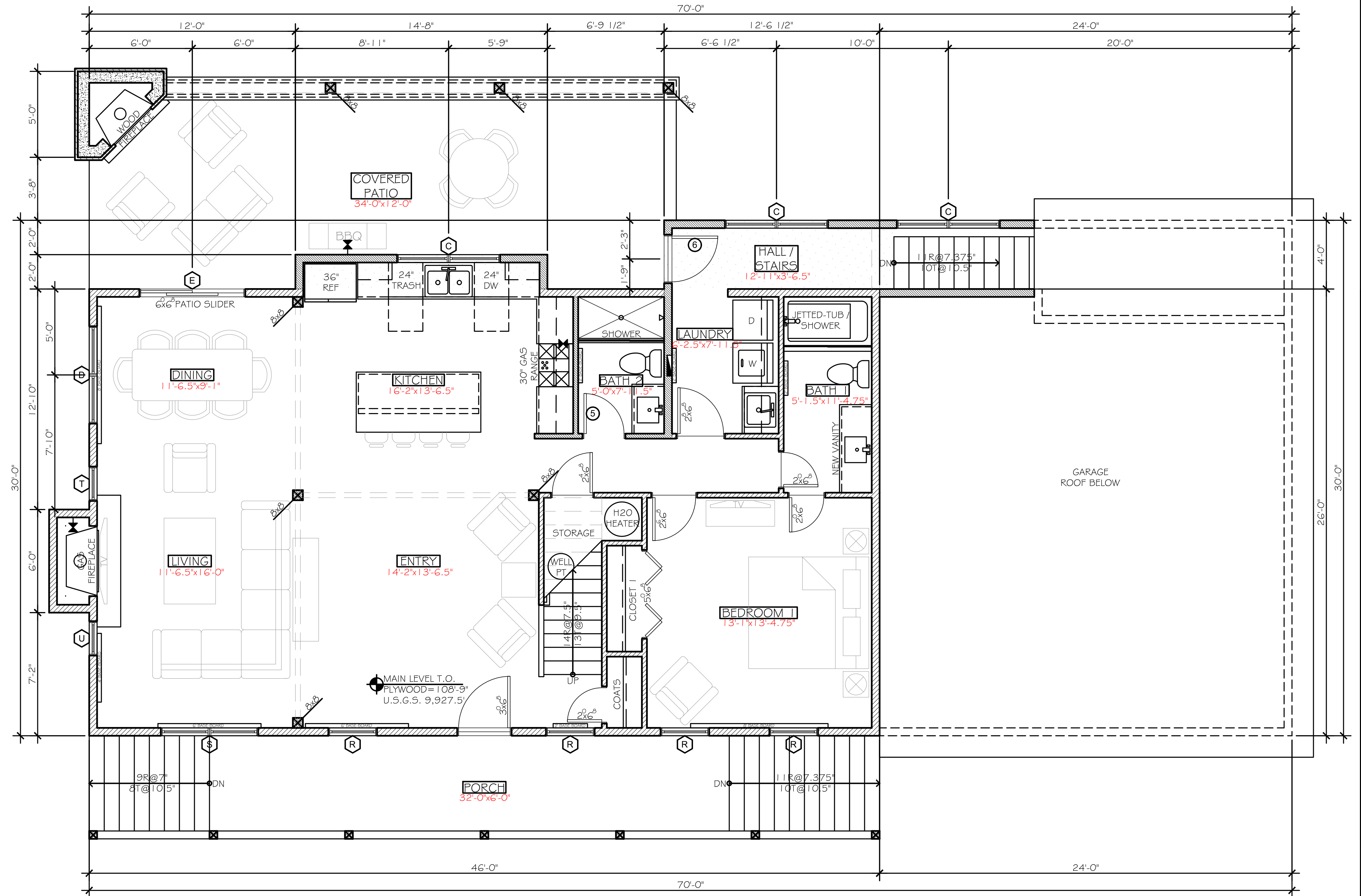
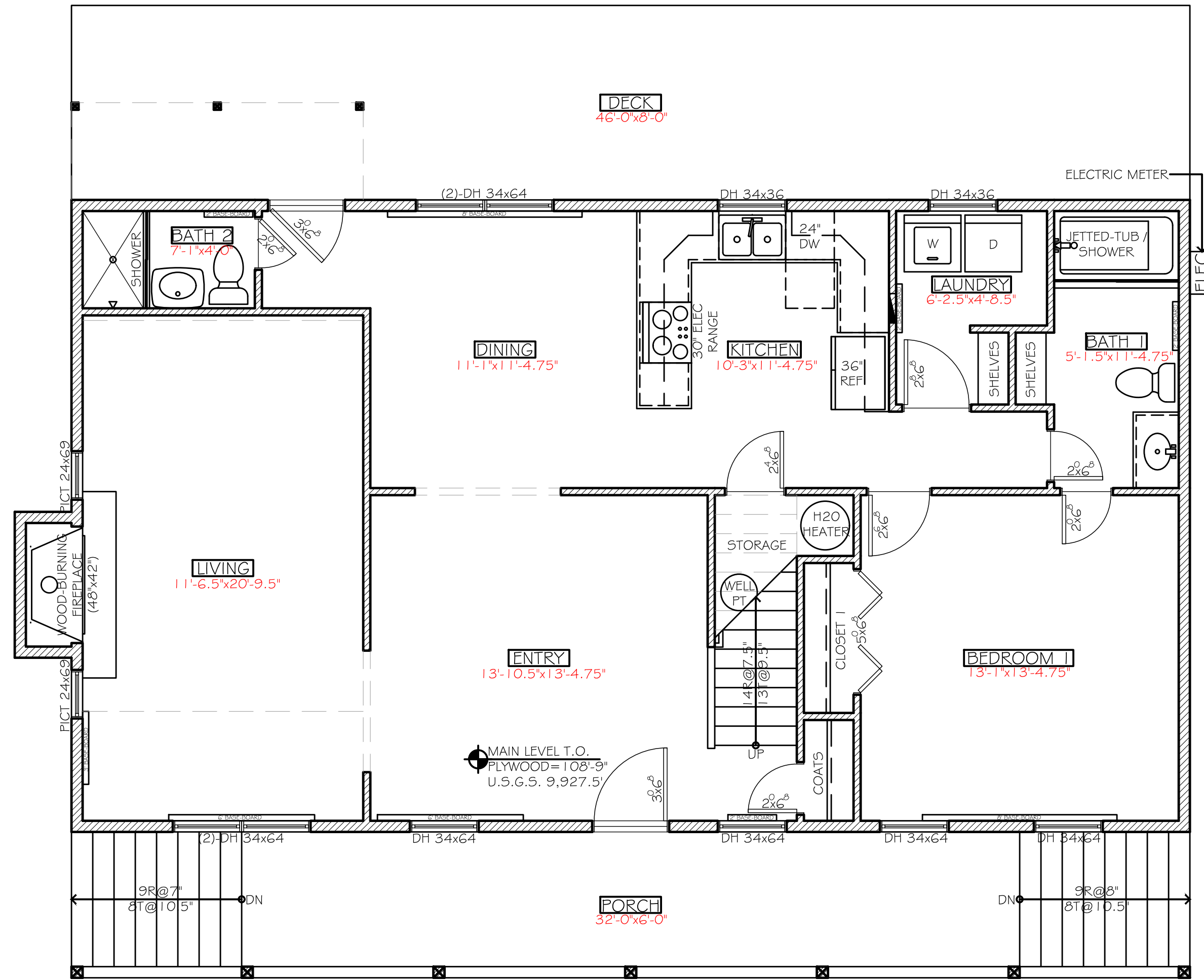
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EXISTING MAIN LEVEL FLOOR PLAN

1/4"=1'-0"

EXISTING FINISHED AREA: 1210 SF



PROPOSED MAIN LEVEL FLOOR PLAN

1/4"=1'-0"

EXISTING FINISHED AREA: 1210 SF
FINISHED ADDITION AREA: 83 SF



61 Twilight Renovation / Addition

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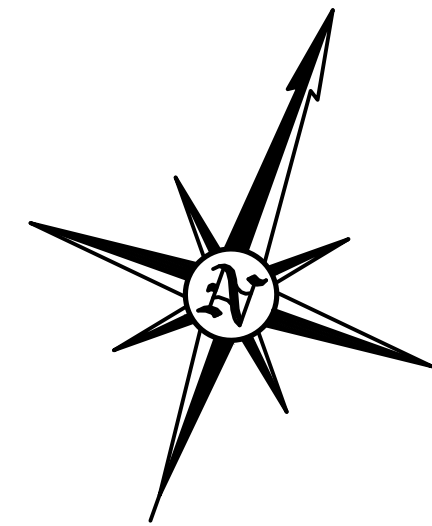
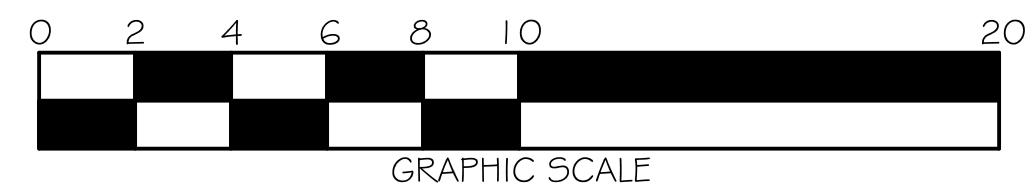
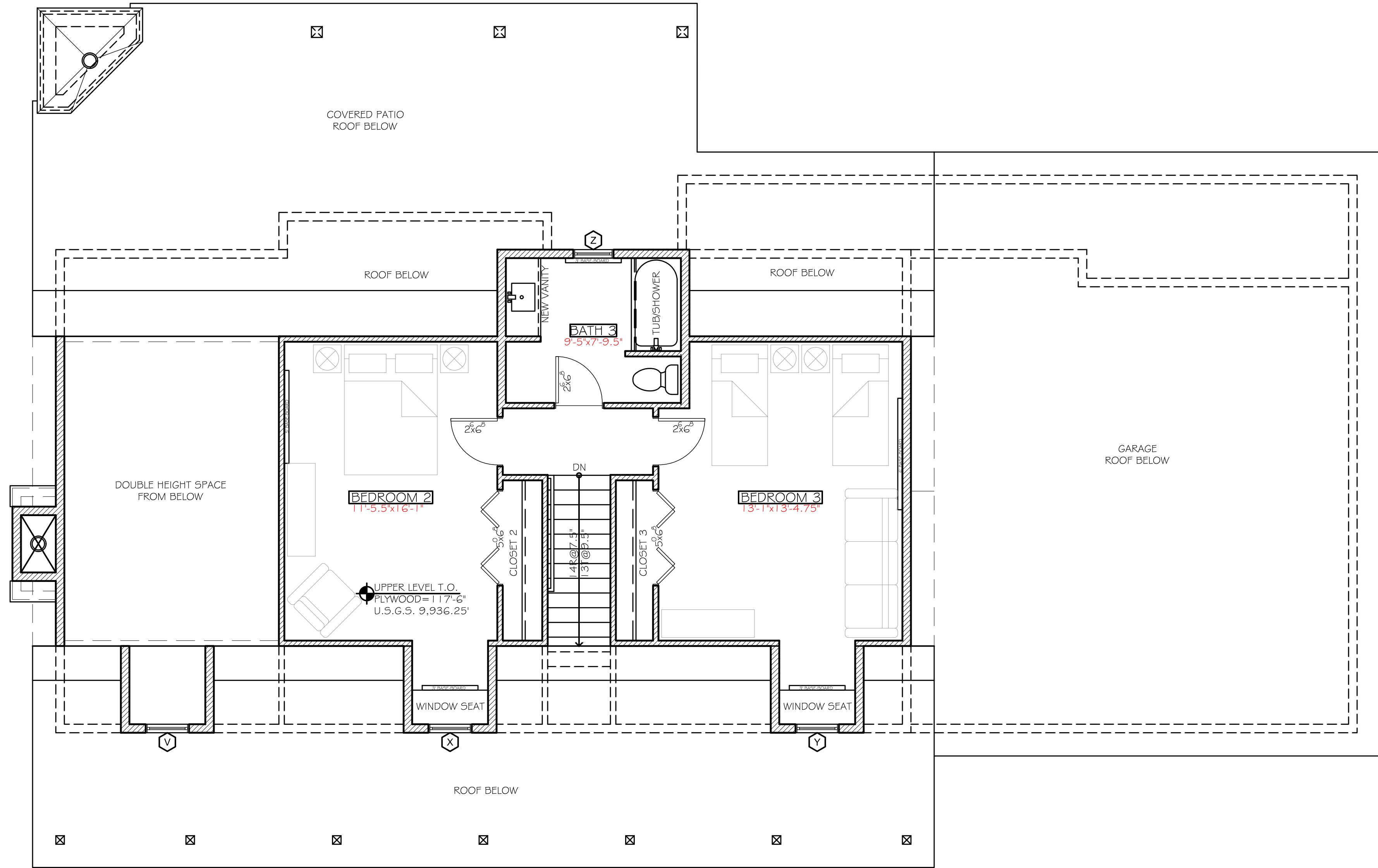
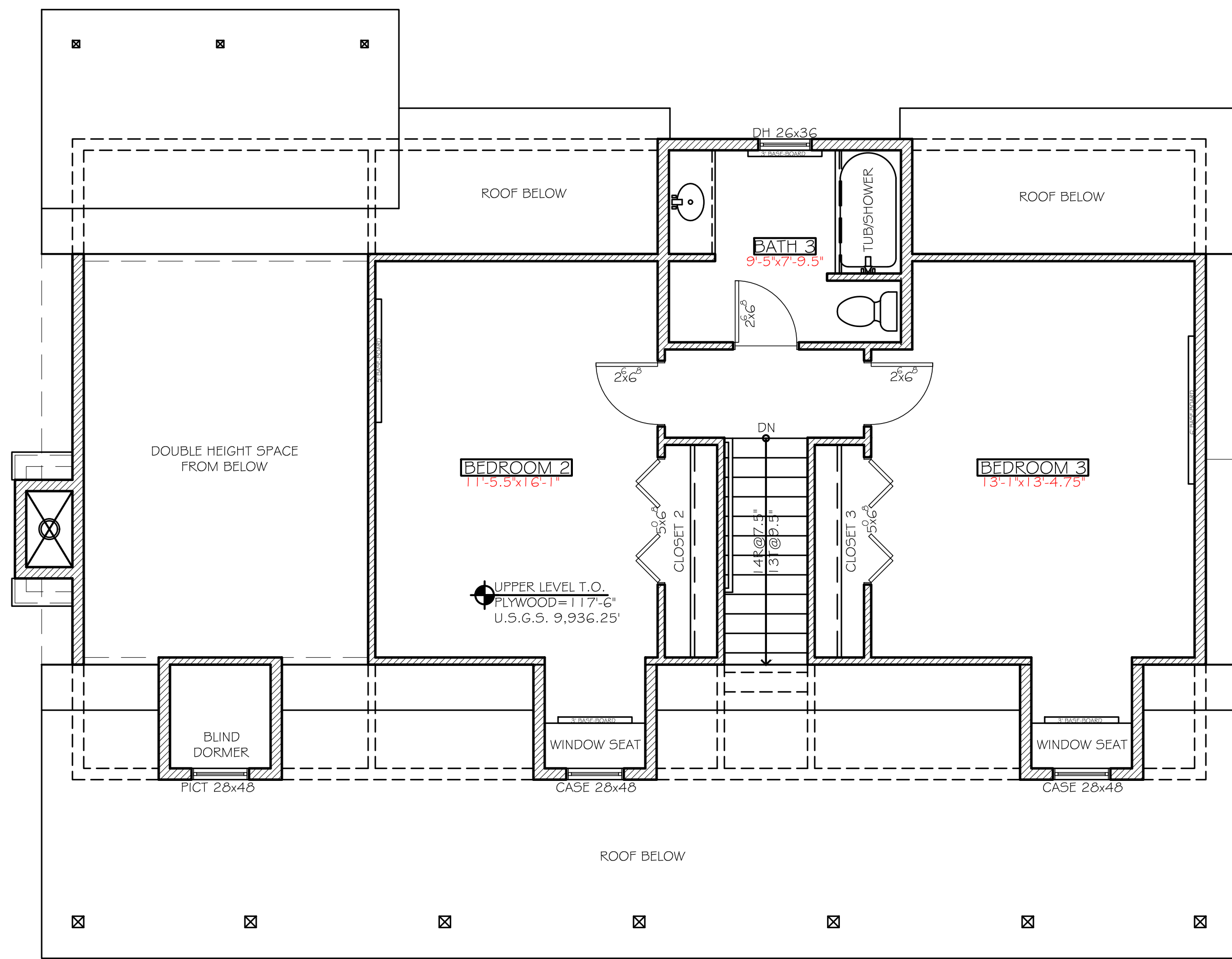
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EXISTING UPPER LEVEL FLOOR PLAN

1/4"=1'-0"

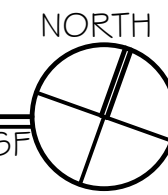
EXISTING FINISHED AREA: 662 SF



PROPOSED UPPER LEVEL FLOOR PLAN

1/4"=1'-0"

EXISTING FINISHED AREA: 662 SF



61 Twilight Renovation / Addition

61 Twilight Trail (CR 573),
Lot 489, Lakeshore Subdivision,
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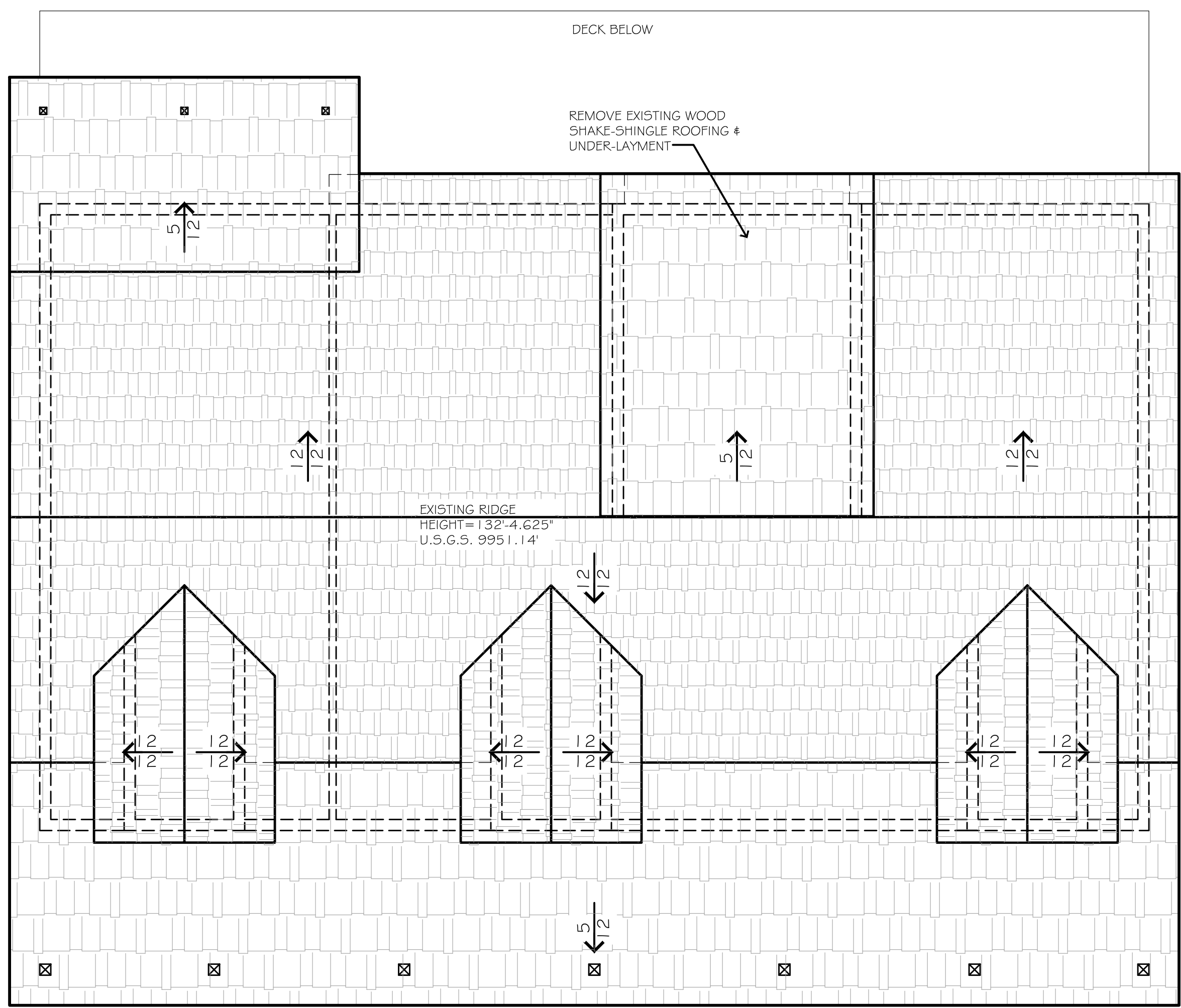
sheet

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of 10

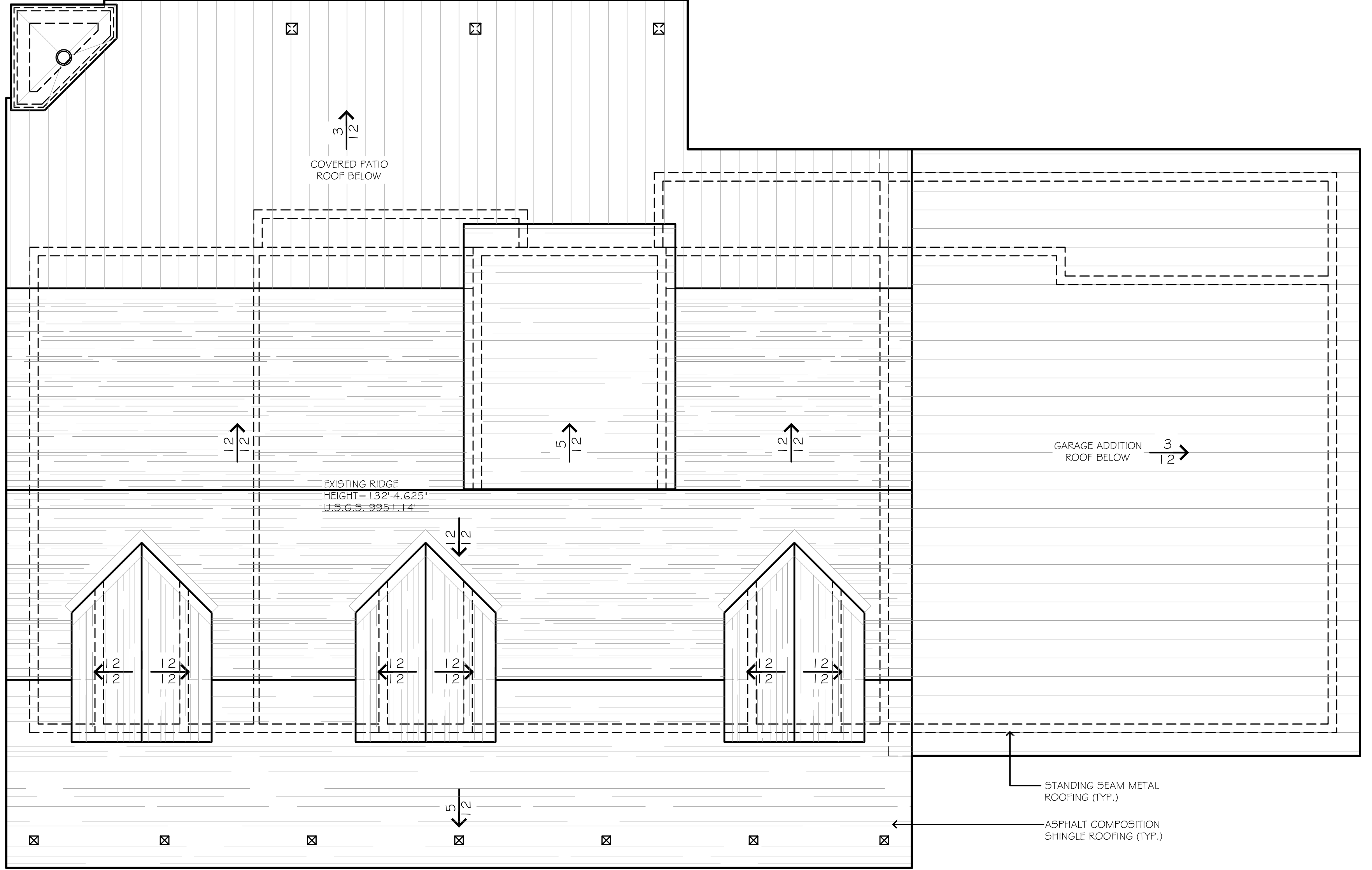
ROOFING NOTES

1. All roof overhang dimensions are finish dimensions.
2. Plywood roof sheathing to be covered with Grace Vycor Ice & Water Shield membrane below composition shingles. Apply heat resistant Grace Vycor "Ultra" Ice & Water Shield membrane below metal roofing. Roofing membrane to be applied per manufacturer's recommendations.
3. Roof material shall be GAF Timberline HDZ composition shingles over existing 5/12 & 12/12 slope roof surfaces.
4. Roof material shall be Western States Metal Roofing Western Lock Standing Seam metal roofing over existing 3/12 slope roof surfaces.
5. Verify location of all plumbing vents/penetrations prior to installation - locate away from roof valleys and within 5'-0" of roof ridge.
6. All valley, eave and wall flashing and all roof penetrations shall be pre-finished galvanized metal, unless noted otherwise.
7. All ridge & high eave elevations are given to top of finished roofing.
8. Provide additional structural support, & electrical harnesses for future PV solar array.



EXISTING ROOF PLAN

1/4"=1'-0" EXISTING ROOF AREA: 1731 SF



PROPOSED ROOF PLAN

1/4"=1'-0" PROPOSED ROOF AREA: 2937 SF

61 Twilight Renovation / Addition

61 Twilight Trail (CR 573),
Lot 489, Lakeshore Subdivision,
Town of Blue River, Colorado



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PROPOSED SOUTH ELEVATION

1/4"=1'-0"



EXISTING SOUTH ELEVATION

1/4"=1'-0"

61 Twilight Renovation / Addition

61 Twilight Trail (CR 573),
Lot 485, Lakeshore Subdivision,
Town of Blue River, Colorado



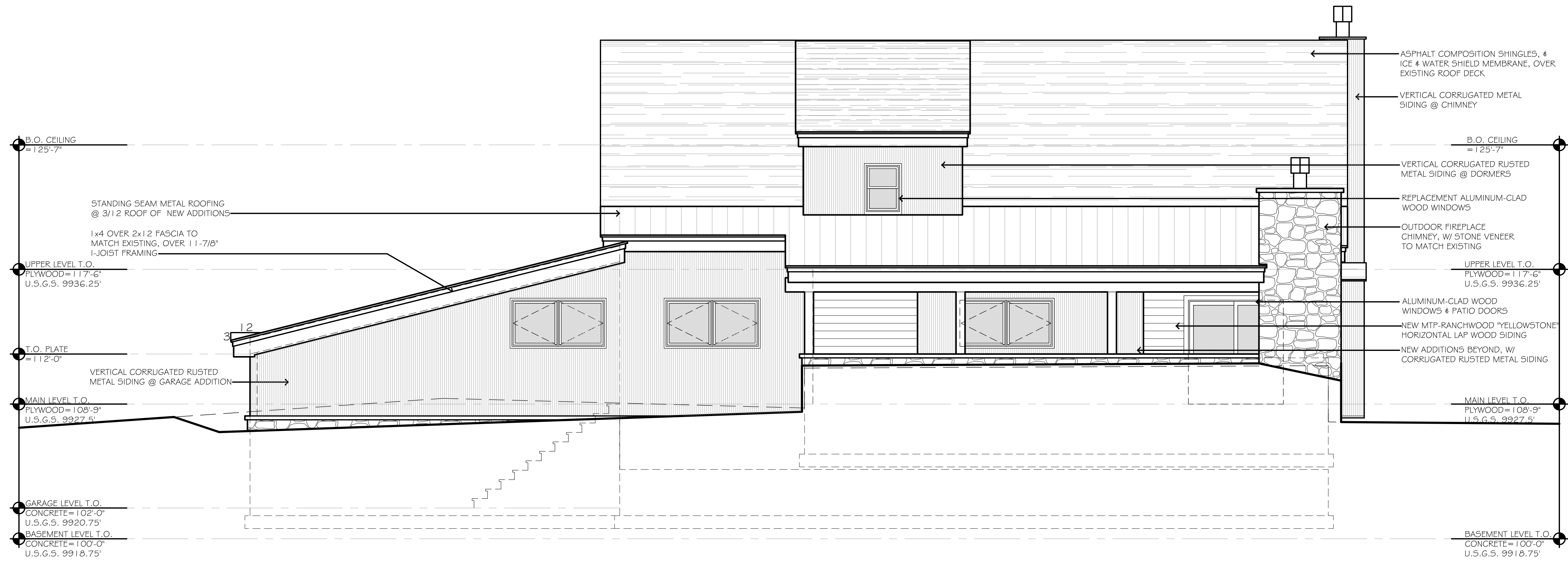
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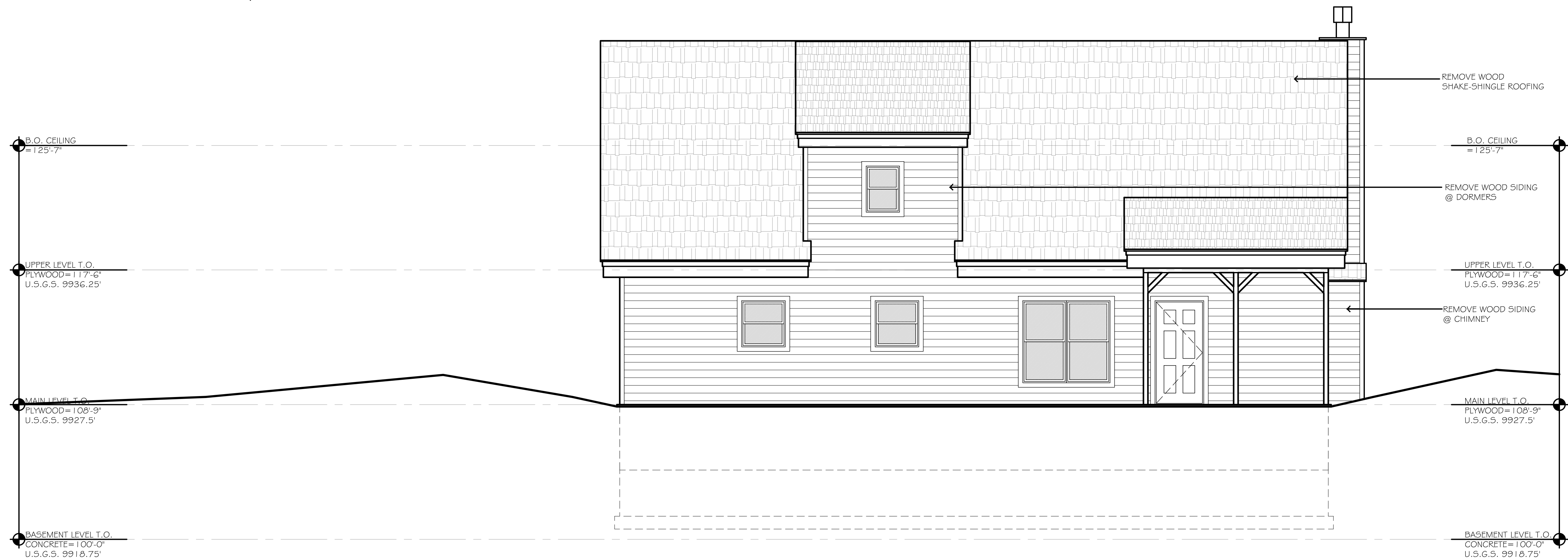
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PROPOSED NORTH ELEVATION

1/4"=1'-0"



EXISTING NORTH ELEVATION

1/4"=1'-0"

61 Twilight Renovation / Addition

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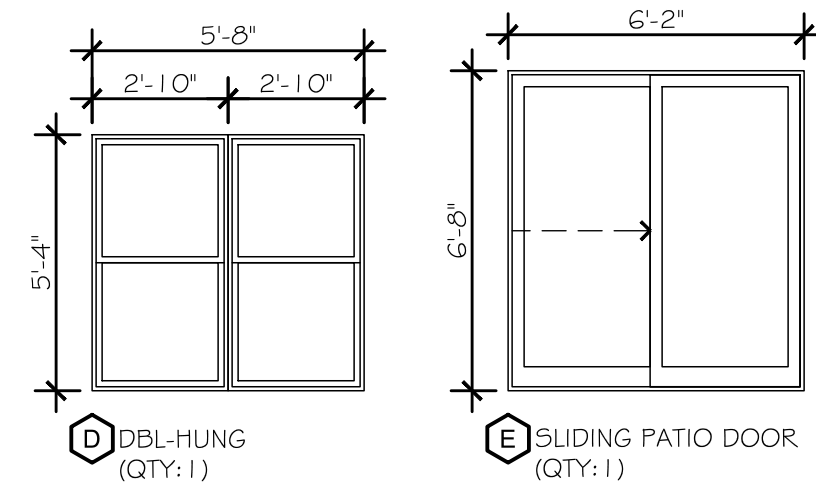
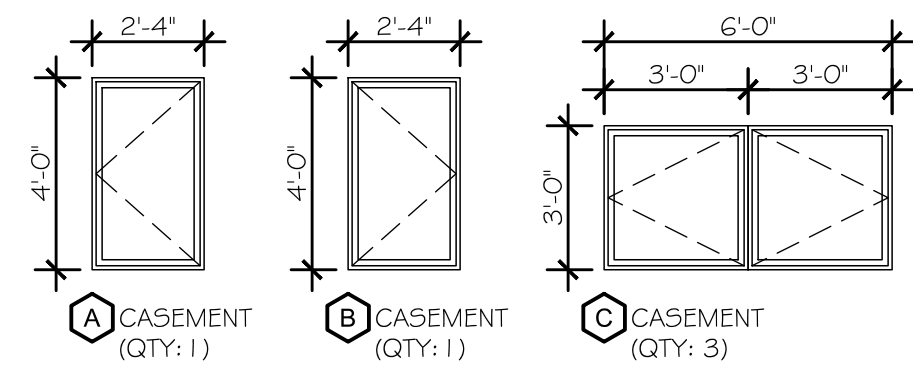
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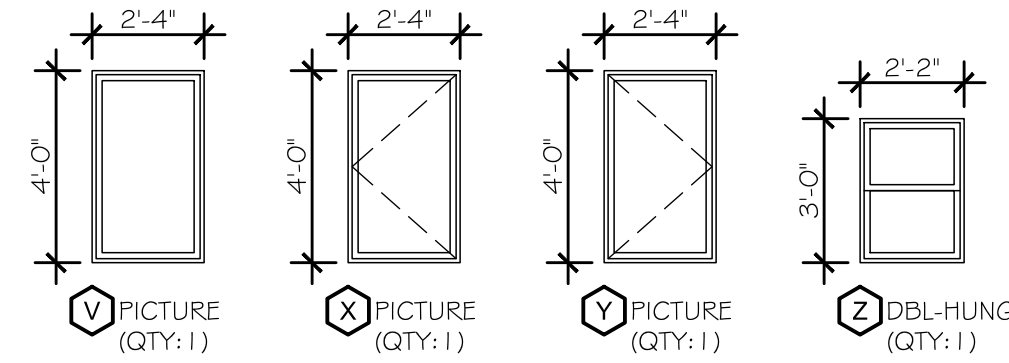
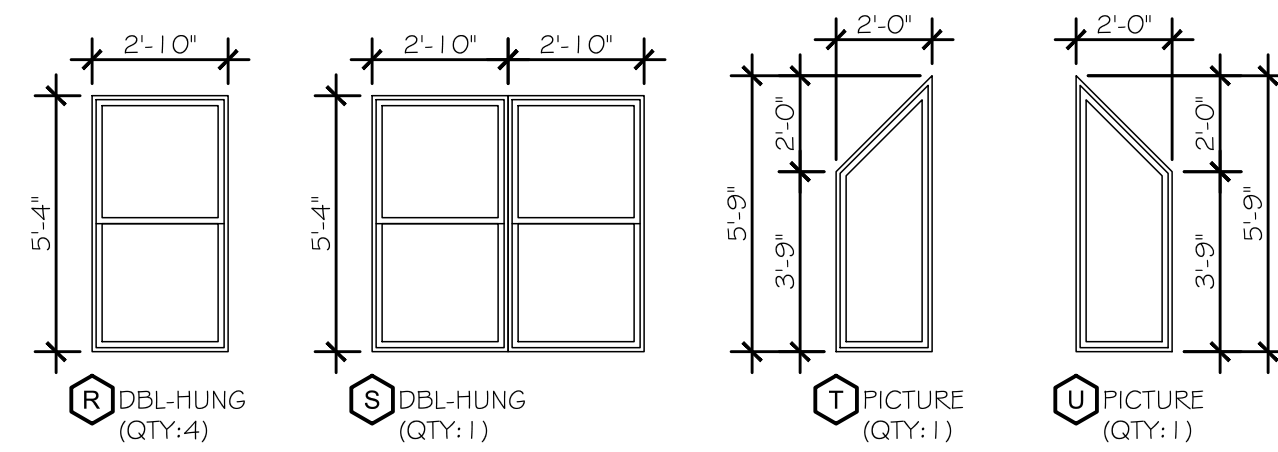
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WINDOW SCHEDULE



NEW WINDOWS NEW / ADDITION WINDOWS

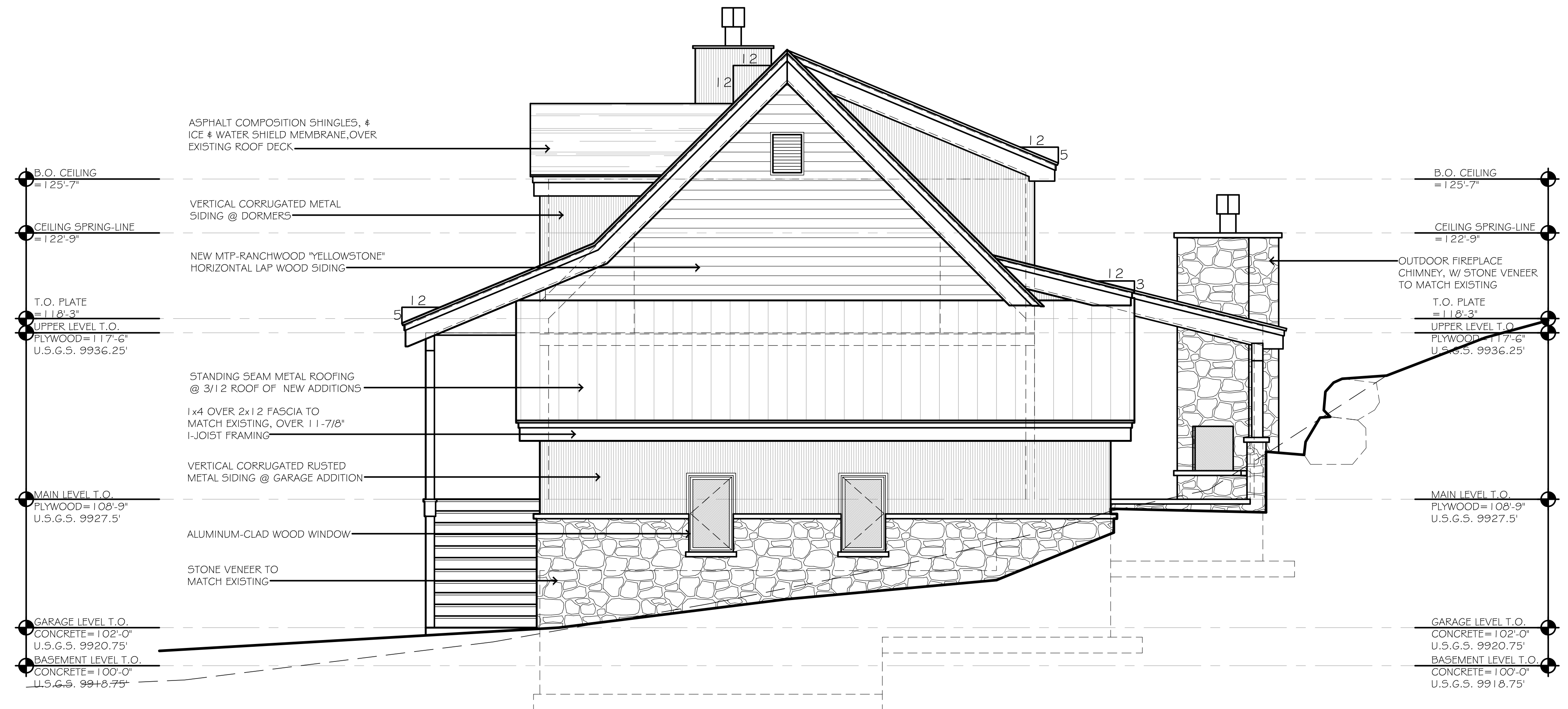


REPLACEMENT WINDOWS REPLACEMENT WINDOWS

WINDOW NOTES

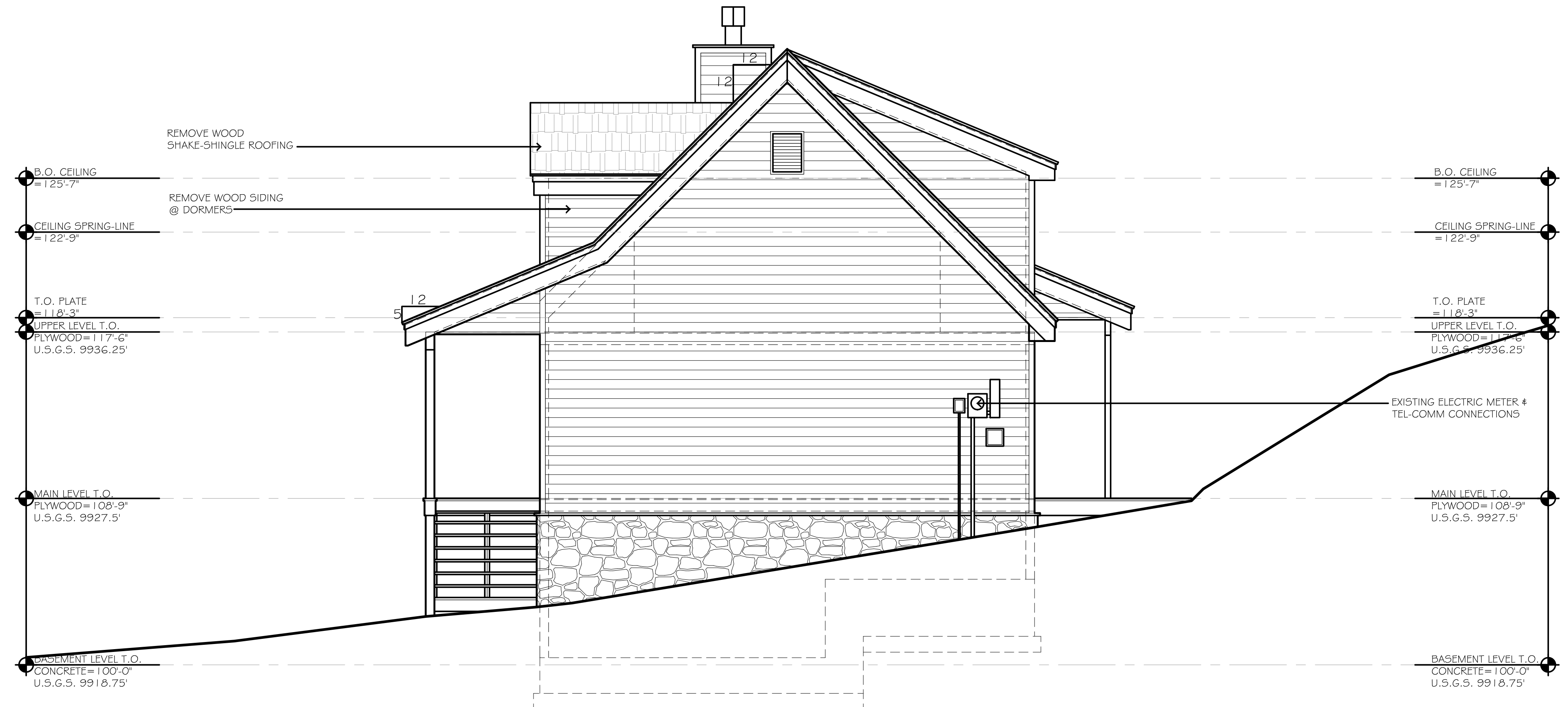
- All windows shall be wood frame and sash with aluminum exterior cladding. Contractor & Owner shall have the option to substitute vinyl frame & sash windows.
- Window schedule dimensions are frame dimensions. Verify all rough opening dimensions with window supplier.
- Verify window frame & rough opening dimensions for all replacement windows.
- See building elevations and sections for venting operation.
- All vented units shall be provided with screens.
- Patio and sliding glass doors to be provided by window manufacturer.
- Windows shall have wood casing & sills on the interior, with jamb extensions for 2x6 walls.
- Units shown as combined, muller combinations may be manufactured and shipped as smaller units, then field combined / muller at Window Manufacturer / Contractor option.
- All glazing shall be insulated, 2-pane glass, suitable for installation at 10,000' (altitude) and tempered where required by code.
- Provide insulated double-pane glazing with maximum .32 U-value per 2018 IECC.
- All exterior openings shall be wrapped with 6" Tyvek or Ice & Water Shield. Provide 2G ga. 1 1/2"x1 1/2" head flashing at all exterior openings, prime and paint or pre-finish to match window trim.
- General contractor and supplier to cross reference plans and elevations for window quantities, sizes and locations.
- Window supplier to advise General Contractor / Architect if additional reinforcement is required.
- Window supplier to provide submittal of window specifications & shop drawings for Architect review prior to fabrication.
- See elevations & sections for rough opening heights, dimensioned from the top of concrete slabs and topping slabs. Coordinate window head heights with exterior and interior door head heights where possible.
- Windows are typically dimensioned on the floor plans to the center line of window.

WINDOW SYMBOLS ARE SHOWN ON PLANS AS **A**



PROPOSED EAST ELEVATION

1/4"=1'-0"



EXISTING EAST ELEVATION

1/4"=1'-0"

61 Twilight Renovation / Addition

61 Twilight Trail (CR 573),
Lot 485, Lakeshore Subdivision,
Town of Blue River, Colorado



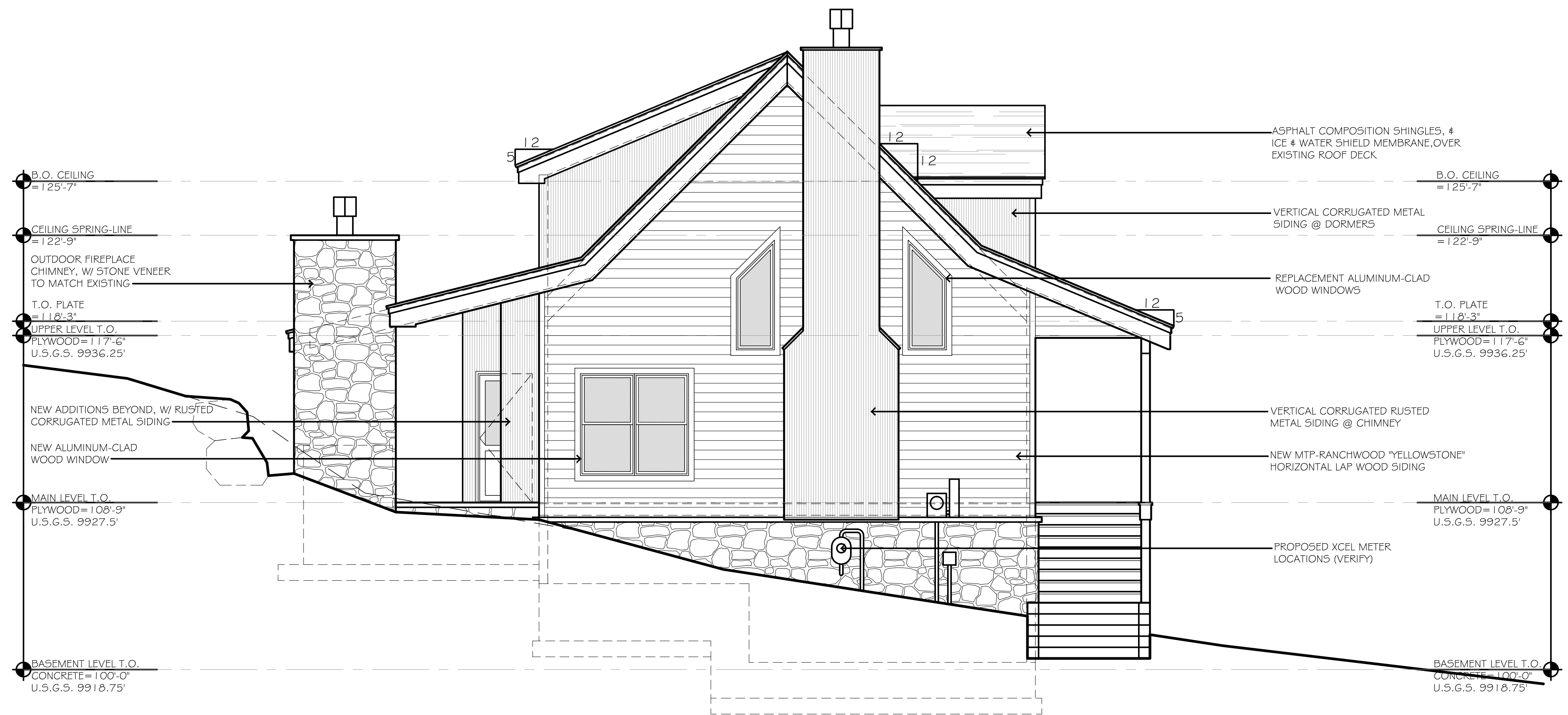
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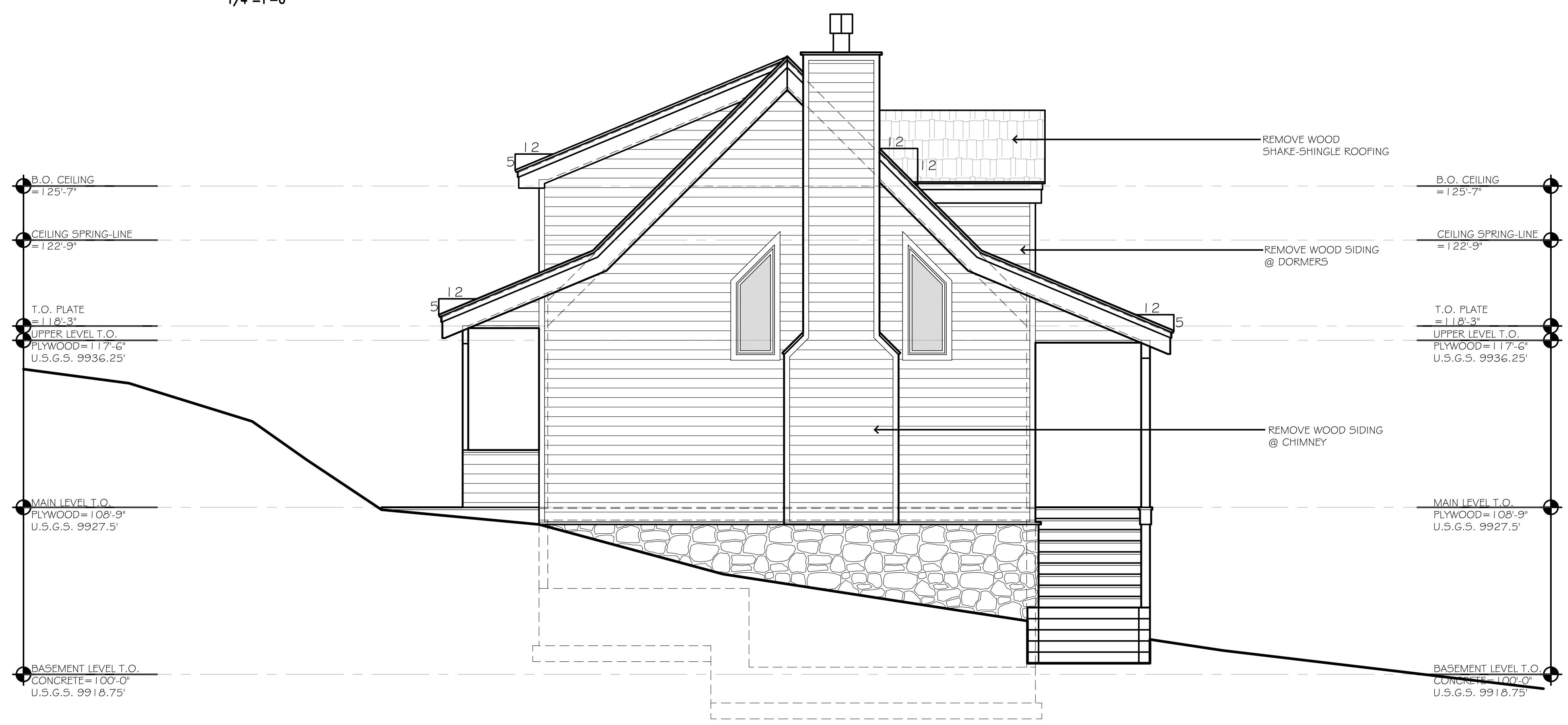
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PROPOSED WEST ELEVATION

1/4"=1'-0"



EXISTING WEST ELEVATION

1/4"=1'-0"

61 Twilight Renovation / Addition

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Composition Shingle Roofing:
GAF Timberline HDZ "Barkwood"



Standing Seam Metal Roofing:
WSMR "Charcoal Gray"



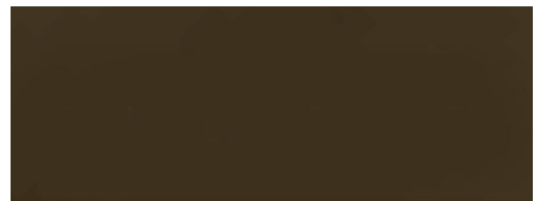
Horizontal Wood Siding:
MTP Ranchwood "Yellowstone"



Trim & Timber Stain:
SW-3532 "Hill Country"



Metal Siding Panels:
WSMR Corten AZP



Window Cladding:
Sierra Pacific-071 "Dark Bronze Pearl"



Existing Stone Veneer Base

Materials & Colors

61 Twilight Renovation / Addition #18224
Equinox Architecture LLC 4/8/25

A TOPOGRAPHIC MAP OF
LOT 489, THE LAKESHORE
GOOSE PASTURE TARN, BLUE RIVE ESTATES INC.
 SUMMIT COUNTY, COLORADO

LOT 478

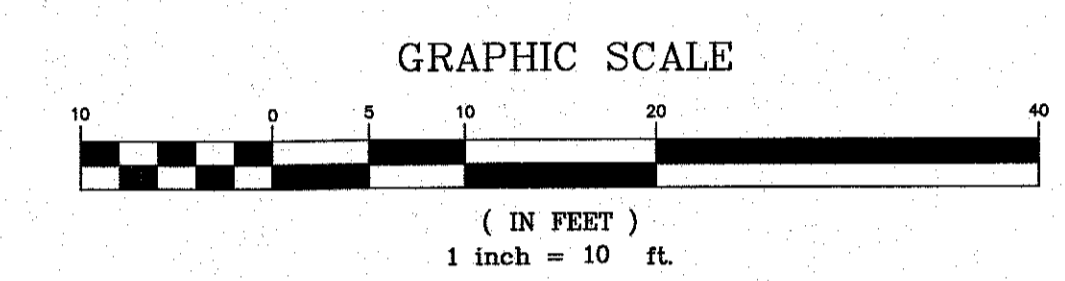
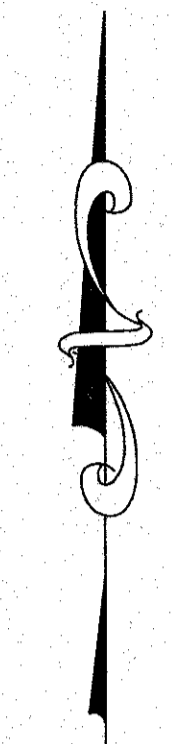
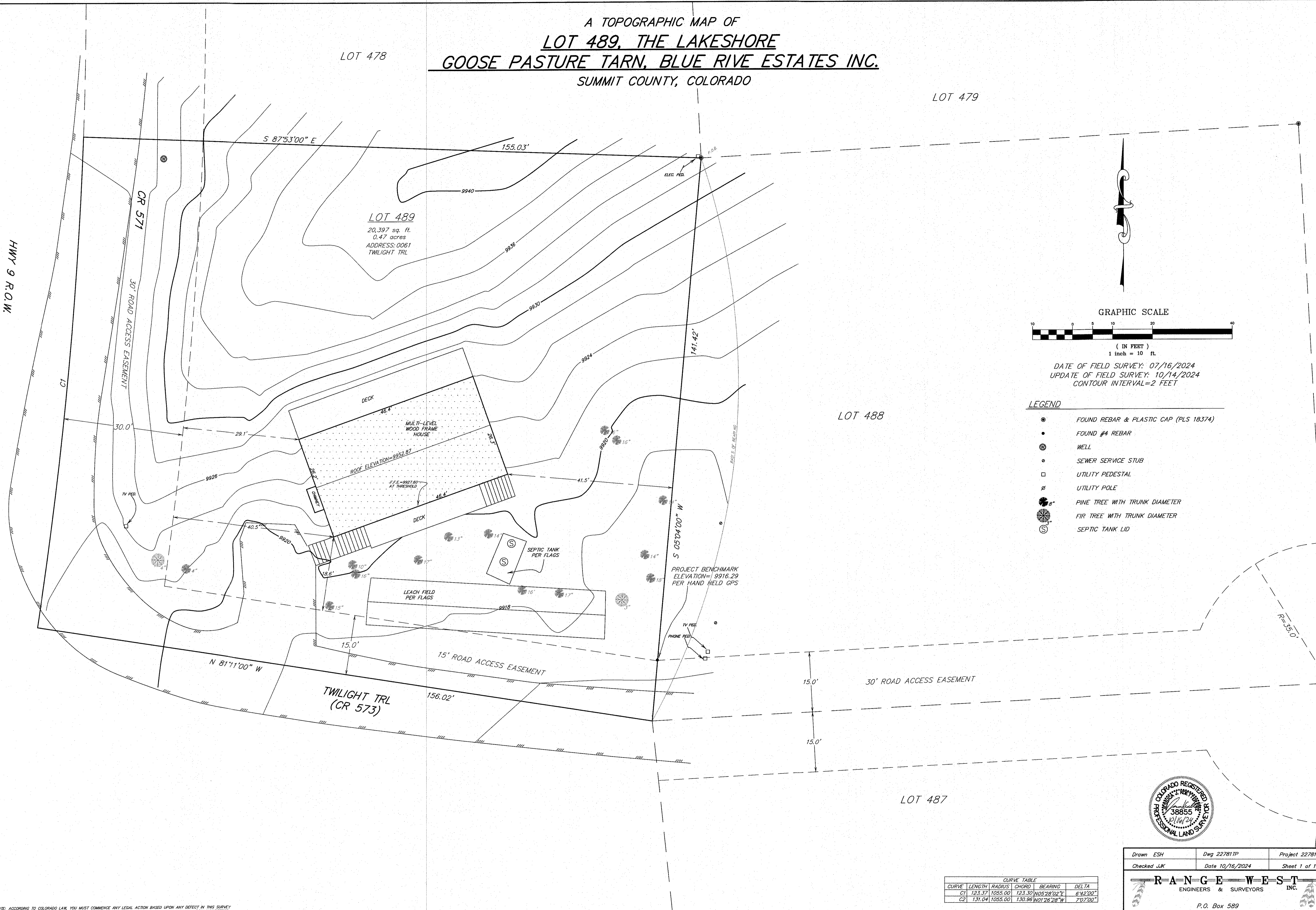
LOT 479

LOT 489
 20,397 sq. ft.
 0.47 acres
 ADDRESS: 0061
 TWILIGHT TRL

LOT 488

LOT 487

HWY 9 R.O.W



DATE OF FIELD SURVEY: 07/16/2024
 UPDATE OF FIELD SURVEY: 10/14/2024
 CONTOUR INTERVAL=2 FEET

LEGEND

- FOUND REBAR & PLASTIC CAP (PLS 18374)
- FOUND #4 REBAR
- ⊙ WELL
- SEWER SERVICE STUB
- UTILITY PEDESTAL
- ⊘ UTILITY POLE
- ⊕ PINE TREE WITH TRUNK DIAMETER
- ⊕ FIR TREE WITH TRUNK DIAMETER
- ⊙ SEPTIC TANK LID

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C1	123.37	1055.00	123.30	N08°28'02"E	6°42'00"
C2	131.04	1055.00	130.96	N01°26'28"W	7°07'00"



Drawn ESH	Dwg 22781TP	Project 22781
Checked JJK	Date 10/16/2024	Sheet 1 of 1

RANGE WEST
 ENGINEERS & SURVEYORS INC.
 P.O. Box 589
 Silverthorne, CO 80498 970-468-6281

NOTE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT, IN NO EVENT MAY ANY ACTION BE BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

TO: Michelle Eddy, CMC/CPM - Town Manager/Clerk
FROM: Kyle Parag, Plan Reviewer - CAA
DATE: April 29, 2025
RE: Planning/Zoning/Architectural Guidelines review – 0039 Lodestone Trl

Below please find staff's analysis that outlines the review with the Town's Zoning regulations and adopted Architectural Design Guidelines for the structure proposed

Zoning Regulation analysis –

Proposal: A new single-family residence with an attached garage. The proposed 2 story, 4 bedroom, 3.5 bath home, includes 2,933 s.f. of living space and an attached 841 s.f., 2 vehicle garage for a combined 4,389 square feet.

Zoning district: R-1

Lot Size: ~ 23,402 sq. ft.
80,000 sq. ft. Required– Existing Non-Conforming

Lot Width: ~ 133'
100 ft. Required - Complies

Setbacks: Proposed principal residence complies with required setbacks based upon submitted docs.

Height: Complies with required height limitations. The height at the highest roof ridge is proposed at 34'

Garage Stds: The proposed garage is ~841 sq. ft. and complies with the standards for structures less than 5,000 sq. ft. in habitable size.

Parking Stds: Parking requirements will be met through the proposed garage

Architectural Design Guideline analysis -

Please note the following key to the interpretation of the analysis table:

Y	Element is in substantial compliance with the design guidelines
N	Does not comply with the design guidelines
PC	Subject to Planning Commission Specific approval
	Requires additional information from applicant
N/A	Not Applicable to the application

STANDARD	NOTES/REMARKS	SUBSTANTIAL COMPLIANCE
DEVELOPMENT STANDARD		
Article 3: Easements	Easements are indicated. Xcel easement is indicated as proposed	Y
Article 4: Buildable Area/setbacks	Front setback is difficult to determine but complies with both the front of the lot and the road easement design.	Y
Article 5 Building Design Standards		
Article 5-20 Building Height	Height is indicated at 34', verified as measured correctly.	Y
Article 5-60 Foundation	Foundation is not exposed, indicated stone.	Y
Article 5-70 Roofs	Roof design is multi directional gable with varying slopes. Indicates general conformance.	Y
Article 5-80 Garages	Garage door has a contemporary design but complements the home with wooden look. Windows are indicated	Y
Article 5-90 Window and doors	Windows are sized to complement the home, front door is substantial, primarily glass.	Y
Article 5-100 Balconies and railings	Horizontal metal is indicated	Y

Article 5-110 Chimney and Roof Penetrations	Metal Flue is indicated. Metal is not consistent with 5-110, as material shall be consistent with the structure if determined to be a chimney.	PC
Article 6 Building Materials and Colors		
Article 6-20 Materials	Siding is vertical board and batten with stone and wood accents. Shows general conformance	Y
Article 6-30 Colors	Colors are provided and show general compliance.	Y
Article 7 Accessory Improvements		
Article 7-(20-40, 110) Berms, Garages, sheds and Gazebos	None indicated. Garage is indicated at 841 Sqft	Y
Article 7-50 Driveways	Width indicated at 20'. Slope is 6%. Exceeds 12' as required in 7-50	N
Article 7-60 Parking Areas	Parking is interior garage	Y
Article 7-100 Decks	Large covered deck is proposed, shows general conformance	Y
Article 7-120 Hot Tubs	Hot tub is located on lower level, shows general conformance.	Y
Article 7-140 Fences	None indicate	Y
Article 7-150 Retaining walls	Boulder retaining wall is indicated, height from 2-3'	Y
Article 8 Signs		
Article 8 Signs	None indicated	Y
Article 9 Lighting		

Article 9 Lighting	Downcast lights are indicated	Y
Article 13 Environmental Regulations		
Article 13-20 Wetlands	None indicated	Y

Submittal Requirements

****ALL Submittals Must be Electronic****

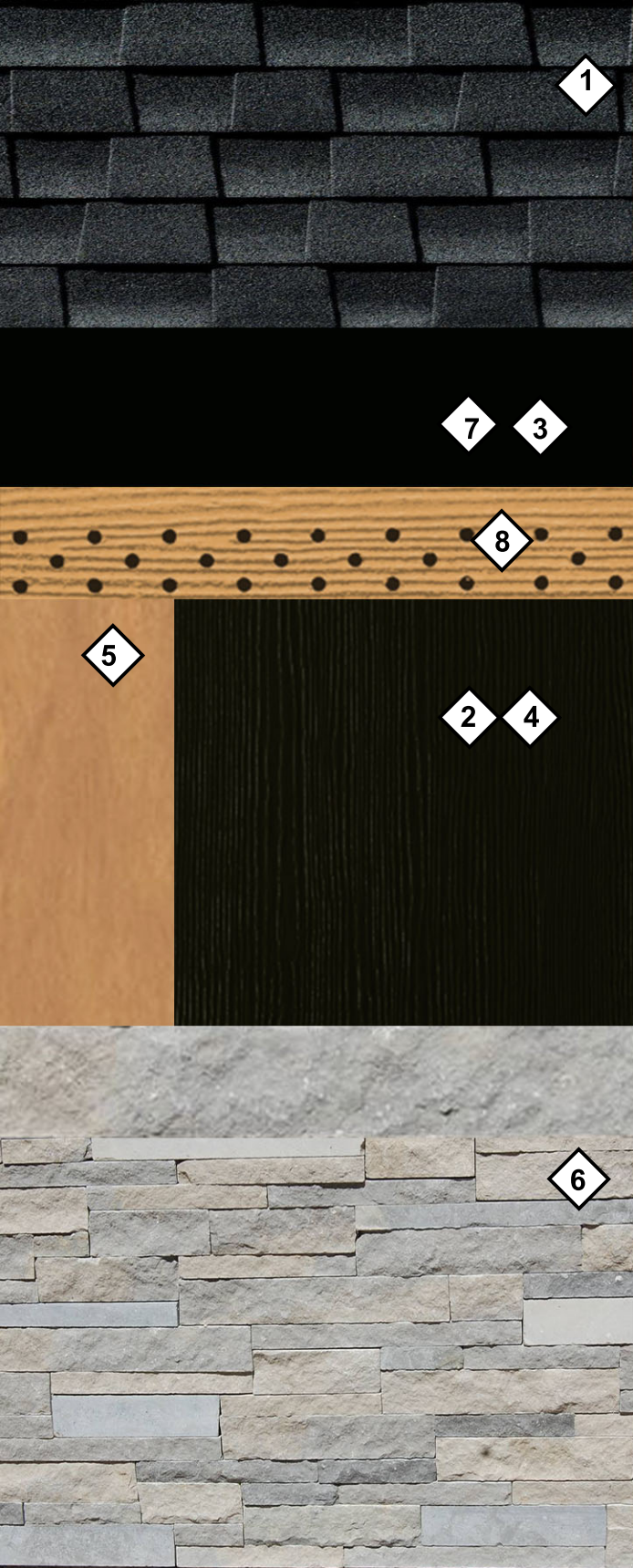
Emailed to: info@townofblueriver.org

Planning & Zoning Review Submittal Requirements

****Please indicate via check box item included as well as page number in submitted packet.**

Completed <input checked="" type="checkbox"/>	Item	Description	Page #
	Site Plan	Scale: 1" = 10'; May appear on a single sight plan. IF on a separate page, please indicate the page.	SP-1.1
<input checked="" type="checkbox"/>		Property Boundaries	
<input checked="" type="checkbox"/>		Building Envelope with setbacks	
<input checked="" type="checkbox"/>		Proposed Buildings	
<input checked="" type="checkbox"/>		Structures (existing & proposed)	
<input checked="" type="checkbox"/>		Driveway & Grades	
<input type="checkbox"/>		A wetlands delineation & Stream crossing structures where applicable.	
<input checked="" type="checkbox"/>		Topographic survey, prepared and stamped by a licensed surveyor, indicating site contours at 2' intervals, easements, and significant natural features such as rock outcroppings, drainages and mature tree stands.	
<input checked="" type="checkbox"/>	on power pole	Transformer & vault location (if installed by owner or existing)	
<input checked="" type="checkbox"/>		Well location; septic if applicable	
<input checked="" type="checkbox"/>		Snow storage areas and calculations	
<input checked="" type="checkbox"/>		Major site improvements	
<input checked="" type="checkbox"/>		Existing & proposed grading & drainage	
	Landscaping Plan	*May be included in the site plan**	SP-1.1
<input checked="" type="checkbox"/>		Landscaping must indicate tree removal for defensible space requirement; any trees 6" or more primarily noting the removal of any ponderosa pines or large trees. Clear cutting of a site is not allowed.	
<input checked="" type="checkbox"/>		Indicate the percentage of trees removed and revegetation to be conducted.	
		Upon completion of the construction project, all land must be raked and	

X		reseeded with native seed prior to issuance of CO. in cases of completion during snow coverage and/or winter, CO may be issued with conditions for completions within 60 days of the last snow and a deposit.	
X		Any major structures (retaining walls; fences; landscaping rocks) must be indicated in detail on plans in conformance with the design regulations.	
X		Indicating building walls, floors and roof relative to the site, including existing and proposed grades, retaining wall and proposed site improvements.	
	Floor Plans	Scale 1/8" = 1'	A-1.1,1.2
X		Indicate the general layout of all rooms, approximate size, and total square footage of enclosed space for each floor level.	
	Exterior Elevations	Scale same as floor plans	A-2.1,2.2
X		Detail to indicate the architectural character of the residence, fenestration and existing and proposed grades. Elevations must include a description of exterior materials and colors.	
	Roof Plan	Scale same as floor plans	A-1.3
X		Indicate the proposed roof pitch, overhang lengths, flue locations, roofing materials and elevations of major ridge lines and all eave lines.	
X	Materials Sheet	Display materials to be used. Color renderings are suggested as well. In cases of additions, if matching the existing structure, photos of current home.	



**1. COMPOSITION
SHINGLE ROOFING**

**MFGR: CERTAINTEED
LANDMARK PRO
COLOR: MAX DEF MOIRE
BLACK**

2. FASCIA and TRIM

**MFGR: JAMES HARDIE
PROFILE: 5/4 X
COLOR: MIDNIGHT SOOT**

3. WINDOW CLAD

**MFGR: SIERRA PACIFIC
COLOR: BLACK**

**4. VERTICAL BOARD
and BATTEN**

**MFGR: JAMES HARDIE
COLOR: MIDNIGHT SOOT**

**5. BEAMS and
COLUMNS**

**MFGR: SHERWIN WILLIAMS
COLOR: CROSSROADS**

6. STONE VENEER

**MFGR: GALLEGOS STONE CO
COLOR: #366
COURTLAND LOW RISE**

7. METALS

COLOR: MATTE BLACK

8. SOFFITS

**MFGR: JAMES HARDIE
COLOR: CYPRUS YELLOW**

bhh *Partners*

P.O. BOX 931, 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6880
P.O. BOX 2113, 560 ADAMS AVENUE SILVERTHORNE, CO 80498 (970) 513-1000



SEIFRIED MOUNTAIN HOUSE

0039 LODESTONE TRAIL, BLUE RIVER, COLORADO 80424

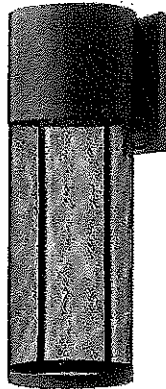
Hinkley Lighting 2305KZ

Buckeye Bronze Aria Single Light 21-3/4" High Outdoor Wall Sconce

Item # bci1883897 Model # 2305KZ Aria Collection

How did you feel about this item? Be the first to review this product.

HINKLEY
LIGHTING



- Handcrafted from aluminum
- Includes black metal shade
- Requires (1) 100 watt Medium (E26) bulb
- Capable of being dimmed when used with incandescent bulbs
- Rated for wet locations
- Dark sky compliant fixture
- 2 year manufacturer warranty on the finish with a 12 components warranty

Dimensions

- Height: 21-3/4"
- Width: 7"
- Depth: 8-3/4"
- Extension: 8-3/4"
- Product Weight: 5.0 lbs
- Backplate Height: 8-1/4"
- Backplate Width: 4-1/2"

Electrical Specifications

- Bulb Base: Medium (E26)
- Number of Bulbs: 1
- Bulb Included: No
- Watts Per Bulb: 100 watts
- Wattage: 100 watts
- Voltage: 120 volts

Additional Hinkley Lighting Links

- [View the Manufacturer Warranty](#)
- [Browse All Hinkley Lighting Products](#)
- [Hinkley Lighting Aria Collection](#)

This product is listed under the following manufacturer number(s):

Hinkley Lighting 2305BK

Black

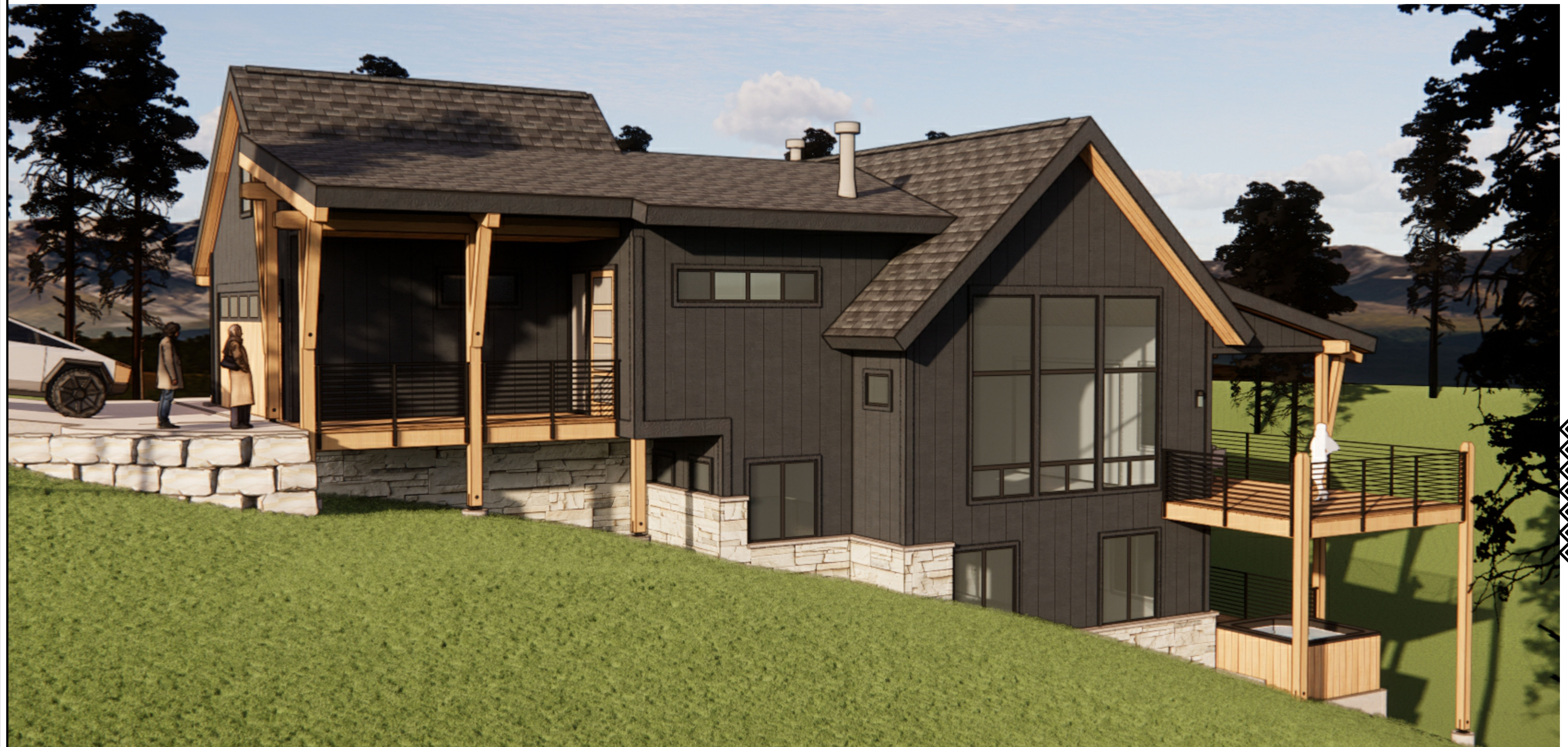
Hinkley Lighting 2305KZ

Buckeye Bronze

SEIFRIED MOUNTAIN HOUSE

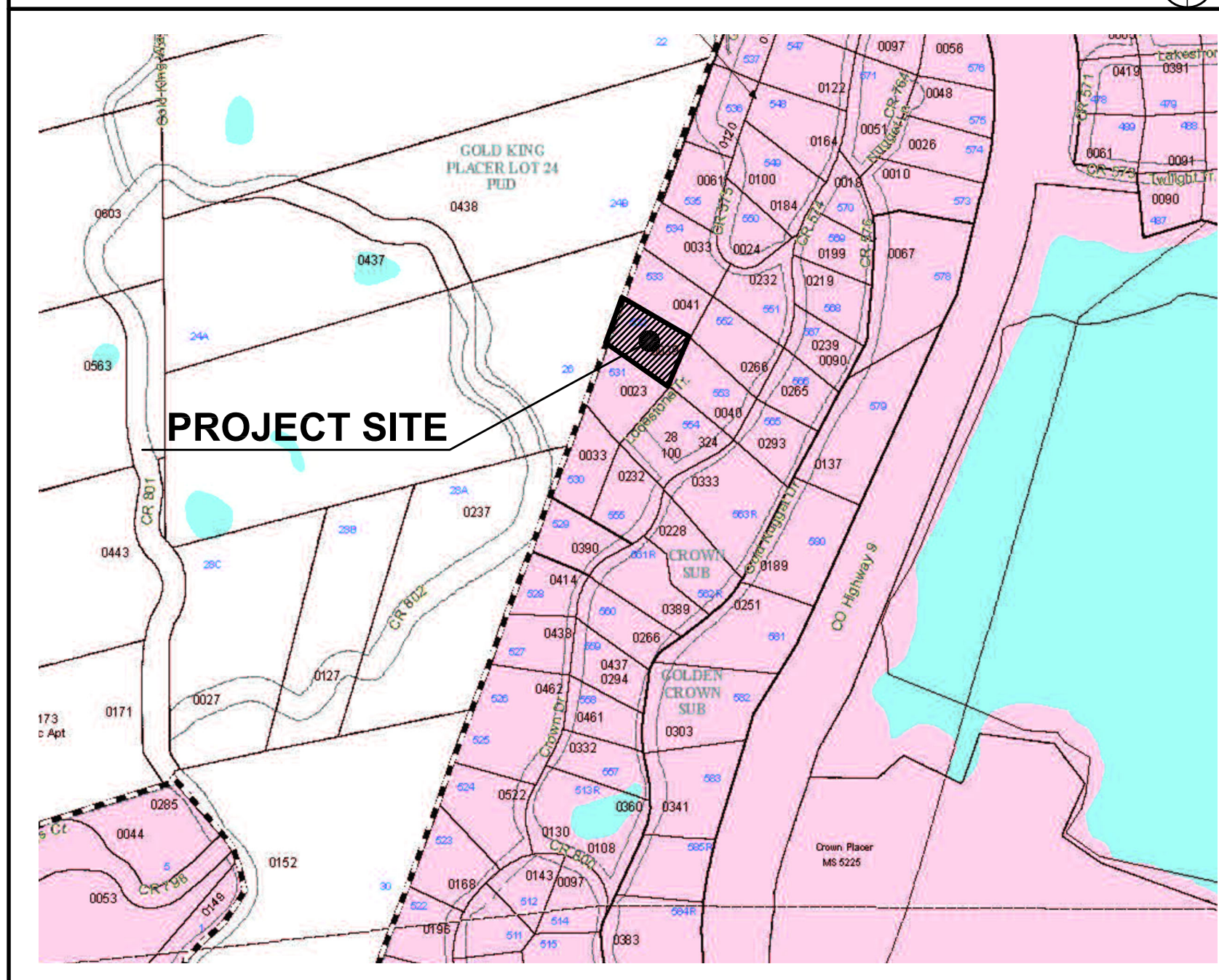
GENERAL NOTES

- 1) COPYRIGHT:
All plans, designs, and concepts shown in these drawings are the exclusive property of BHH Partners, Planners and Architects, A.L.A./P.C. and shall not be used, disclosed, or reproduced for any purpose whatsoever without the Architect's written permission.
- 2) CODES:
This project is governed by the applicable building code as adopted by the jurisdiction of record in Colorado. Code compliance is mandatory. The drawings and specifications shall not permit work that does not conform to these codes. The General Contractor and Subcontractors shall be responsible for satisfying all applicable codes and obtaining all permits and required approvals. Building areas are shown for code purposes only and shall be recalculated for any other purposes.
- 3) FIELD VERIFICATION:
Verify all dimensions, conditions, and utility locations on the job site prior to beginning any work or ordering any materials. Notify Architect of any conflicts or discrepancies in the drawings immediately.
- 4) DIMENSIONS:
Written dimensions always take precedence over scaled dimensions. DO NOT SCALE DRAWINGS. Verify all dimensions shown prior to beginning any work and notify Architect of any conflicts or discrepancies for interpretation or clarification. Plan dimensions are to the face of framing members, face of wood furring or face of concrete walls unless otherwise noted. Section or elevation dimensions are to top of concrete, top of plywood, or top of wall plates or beams unless otherwise noted.
- 5) DISCREPANCIES:
The Owner has requested the Architect to provide limited architectural and engineering services. In the event additional details or guidance is needed by the Contractor for construction of any aspect of this project, he shall immediately notify the Architect. Failure to give simple notice shall relieve the Architect of responsibility. Do not proceed in areas of discrepancy until all such discrepancies have been fully resolved with written direction from the Architect.
- 6) DUTY OF COOPERATION:
Release of these plans contemplates further cooperation among the Owner, his Contractor, and the Architect. Design and construction are complex. Although the Architect and his Consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect, and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the Architect. Failure to notify the Architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the Architect shall relieve the Architect from responsibility for all consequences.
- 7) CHANGES TO THE WORK:
Any items described herein that impact project budget or time shall be requested from the Contractor via a written change order request prior to such work. Performance of such work without approval by change order indicates General Contractor's acknowledgment of no increase in contract sum or time. Changes from the plans or specifications made without consent of the Architect are unauthorized and shall relieve the Architect of responsibility for any and all consequences resulting from such changes.
- 8) WORKMANSHIP:
It is the intent and meaning of these drawings that the Contractor and each Subcontractor provide all labor, materials, transportation, supplies, equipment, etc., to obtain a complete job within the recognized standards of the industry.
- 9) SUBSTITUTIONS:
Substitution of "equal" products will be acceptable with Architect's written approval. See specifications.
- 10) CONSTRUCTION SAFETY:
These drawings do not include the necessary components for construction safety. The General Contractor shall provide for the safety, care of utilities and adjacent properties during construction, and shall comply with state and federal safety regulations.
- 11) EXCAVATION PROCEDURES:
Upon completion of any excavation, the Owner shall retain a soils engineer to inspect the subsurface conditions in order to determine the adequacy of foundation design. See specifications. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER.
- 12) FIELD CUTTING OF STRUCTURAL MEMBERS:
The General Contractor shall field coordinate and obtain approval from Engineer before any cutting, notching or drilling of any cast-in-place concrete, steel framing, or any other structural elements which may affect the structural integrity of the building. Refer to the appropriate Code Requirements, manufacturer's or supplier's instructions, and structural drawings for additional requirements.
- 13) WEATHER CONDITIONS:
The Owner has been advised that due to harsh winter conditions, roof and deck surfaces must be maintained reasonably free of ice and snow to ensure minimal problems with these surfaces. All roofing, roofing membranes, and waterproofing shall be approved in writing by product manufacturer (W.R. Grace for bluthene, etc.) prior to proceeding with any work. Failure to provide these written approvals removes all responsibility for the work from the Architect.
- 14) BUILDING AREA
Building areas are shown for code purposes only and shall be recalculated for any other use.
- 15) PROJECT STAKING
The general contractor shall verify all existing grades and stake all building corners and the driveway location for Owner/Architect and jurisdiction approval prior to beginning any site clearing.
- 16) SITE DISTURBANCE
It is the responsibility of the contractor to protect the existing trees to remain and adjacent properties from damage during construction. Provide protective fencing throughout construction.
- 17) PROJECT GRADES
The general contractor shall check and verify all grades including paved area slopes prior to pouring any foundations. Survey work should be verified in detail. See numbers 5 and 6.
- 18) EXTERIOR MATERIAL MOCK UP
The General Contractor shall provide a mock up of all exterior materials for review by the Owner and Architect. This mock up shall be provided and signed off in writing prior to any exterior stain or exterior finish work. The sample shall include fascia, trim, window cladding and all other exterior finishes including a 3'-0"x3'-0" (min) sample of exterior stonework if applicable. This mock up shall be retained on site until the final punch.



VIEW FROM NORTH

VICINITY MAP



LEGAL DESCRIPTION

LOT 532
THE CROWN SUBDIVISION
XX AC. / XX SQ. FT.

0039 LODESTONE TRAIL
BLUE RIVER, COLORADO

AREA CALCULATIONS

	UN-FINISHED	FINISHED	TOTAL
LOWER	00	1,764	1,764 SF
MAIN	841	1,784	2,625 SF
TOTAL	841 SF	2,933 SF	4,389 SF

5/8" TYPE GYPSUM BOARD USED THROUGHOUT
NOTE: SQUARE FOOTAGES ARE CALCULATED FOR CODE PURPOSES ONLY AND SHOULD BE RECALCULATED FOR ANY OTHER PURPOSES.

FINISHED FLOOR ELVs.

	U.S.G.S.	= ARCHITECTURAL
LOWER LEVEL - T.O. CONC.	9,988'	= 100'-0"
MAIN LEVEL - T.O. PLYWD.	9,999'	= 111'-0"
GARAGE LEVEL - T.O. CONC.	10,005.5'	= 117'-6"

SHEET INDEX

- T-1.1 TITLE SHEET and GENERAL NOTES
- SP-1.1 PROPOSED SITE and LANDSCAPE PLAN
- A-1.1 LOWER LEVEL PLAN and ROOM FINISH SCHEDULE
- A-1.2 MAIN LEVEL PLAN and ROOM FINISH SCHEDULE
- A-1.3 ROOF PLAN
- A-2.1 BUILDING ELEVATIONS
- A-2.2 BUILDING ELEVATIONS
- A-2.3 BUILDING PERSPECTIVES

BID ALTERNATES

- ALTERNATE NO. 1 - ALTERNATE INSULATION SYSTEMS- Provide additional cost for complete Closed Cell Insulation Systems in walls, roofs, cantilevered floors and underslab. Provide submittal and breakdown of proposed alternate.
- ALTERNATE NO. 2 - INSULATION UPGRADE - Provide cost for insulation at roofs and exterior walls to be of closed cell foam throughout.
- ALTERNATE NO. 3 - FOUNDATION WALL WATERPROOFING - If recommended by the Soils Engineer, provide upgraded waterproofing (Bluthene 3000 System and waffle drain). Provide cost for all concrete walls.
- ALTERNATE NO. 4 - SEALANT PACKAGE UPGRADE - Provide cost to add "Knauf" Eco-seal™ sealant package to home prior to insulation work. Install water-based elastomeric sealant system in strict accordance with manufacturer's requirements.
- ALTERNATE NO. 5 - COPPER PIPING/ PEX PIPING - Provide cost for domestic hot water and domestic cold water piping for both materials for owner consideration. (Pex piping requires written owner approval. Pex domestic water piping is not recommended by Architect).
- ALTERNATE NO. 6 - WOOD CEILING OPTIONS - Provide additional alternates for Owner consideration as deemed appropriate by the General Contractor. Verify scope with Owner.
- ALTERNATE NO. 7 - UNDER SLAB INSULATION - Provide bid alternate for closed cell foam under all ground slabs for the project (vapor barrier is not needed).
- ALTERNATE NO. 8 - EPOXY FLOOR - Provide cost to apply epoxy paint coating, as selected by Owner, at garage floor. Heavy duty latex to be in base bid.
- ALTERNATE NO. 9 - EMERGENCY WATER SHUTOFF CONTROL - Provide additional cost for adding a self-contained, wireless leak detection and automatic water shutoff system. Provide a "Water Cop" valve and (3) "Water Hound" wireless shutoff sensors by Smart Home Products, www.smarthomecatalog.com.
- ALTERNATE NO. 10 - ERV/HRV SYSTEM - Provide cost savings for deletion of HRV system in lieu of continuously running fan. Coordinate location with Owner and Architect.
- ALTERNATE NO. 11 - MAKE UP AIR UNIT - Provide options for reduction or deletion of makeup air unit for range hood. Provide submittal.
- ALTERNATE NO. 12 - CAMERA SYSTEM - Provide added cost for camera system to be integrated with security system.
- ALTERNATE NO. 13 - WIRELESS SATELLITE DISH - Provide additional cost for providing satellite dish, internet and television with all related equipment.
- ALTERNATE NO. 14 - MOTORIZED WINDOW SHADES - Provide additional cost for motorized window shades enclosed in wood valance for great room window walls.
- ALTERNATE NO. 15 - ENVIRONMENTAL PRODUCTS - Provide additional cost for substitution of environmental, sustainable or non-toxic building products.

SURVEYOR:

LITTLEHORN ENGINEERING, LLC.
351 U.S. HIGHWAY 285
SUITE 201
FAIRPLAY, CO. 80440
719.836.7120
design@johlittlehorn.com

SOILS ENGINEER:

LITTLEHORN ENGINEERING, LLC.
351 U.S. HIGHWAY 285
SUITE 201
FAIRPLAY, CO. 80440
719.836.7120
design@johlittlehorn.com

M/E/P ENGINEER:

DMCE ENGINEERING
1480 HOYT STREET, SUITE 200
LAKEWOOD, COLORADO 80215-4728
JOSHUA L. COOK - P.E.
720.798.5041
josh@dmce.com

STRUCT'L ENGINEER:

ENGINEERING DESIGNWORKS
1855 SKI TIME SQUARE, UNIT E2C
STEAMBOAT SPRINGS, COLORADO 80477
970.879.4890
carl@engineeringdesignworks.com

CONTRACTOR:

FCS, INC.
LOU FISHMAN
8989 EAST CEDAR HILL PL.
LONETREE, CO. 80124
970.485.4550
lou@fbmanage.com

ARCHITECT:

BHH Partners of COLORADO
560 ADAMS AVENUE
SILVERTHORNE, COLORADO 80498
(970) 513-1000
ZANE LEVIN (principal architect) zlevin@bhpartners.com
TED SHAFFER (arch1 manager) tshaffer@bhpartners.com

OWNER:

RYAN and COURTNEY SEIFRIED
10323 LONGWOOD WAY
HIGHLANDS RANCH, CO. 80130

REVISIONS:

JOB NO: 12315.1
DATE: 04.14.25
DRAWN BY: T.SHAFFER
CHECKED BY: S.SHAINHOLTZ

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TOBR PLANNING & ZONING:
05.06.25

bhh Partners of Colorado
560 ADAMS AVE., P.O. BOX 2113, SILVERTHORNE, CO 80498, (970) 452-8680, www.bhhpartners.com

SEIFRIED MOUNTAIN HOUSE
0039 LODESTONE TRAIL, BLUE RIVER, COLORADO 80424 (LOT 532, THE CROWN SUBDIVISION)

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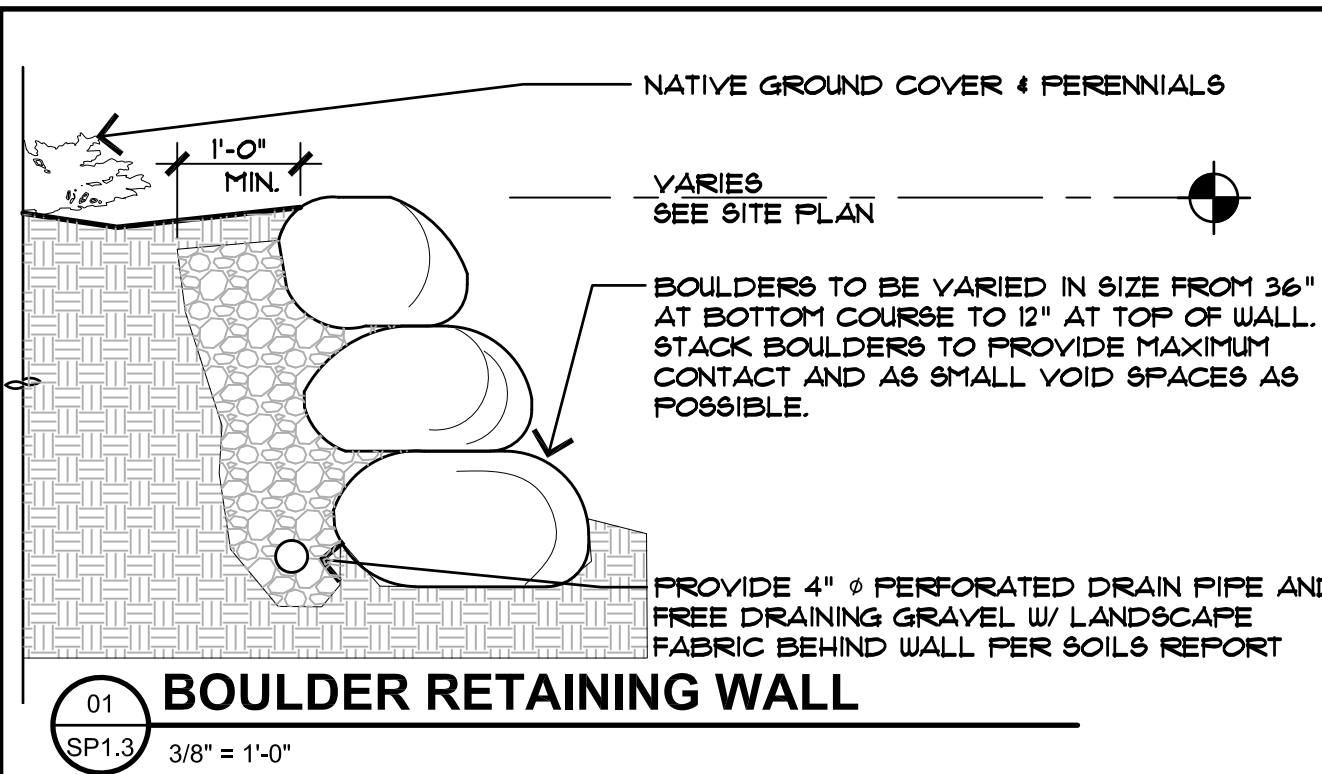
SHEET NUMBER:

T-1.1

TITLE SHEET, GENERAL NOTES, SCHEDULES AND INFORMATION

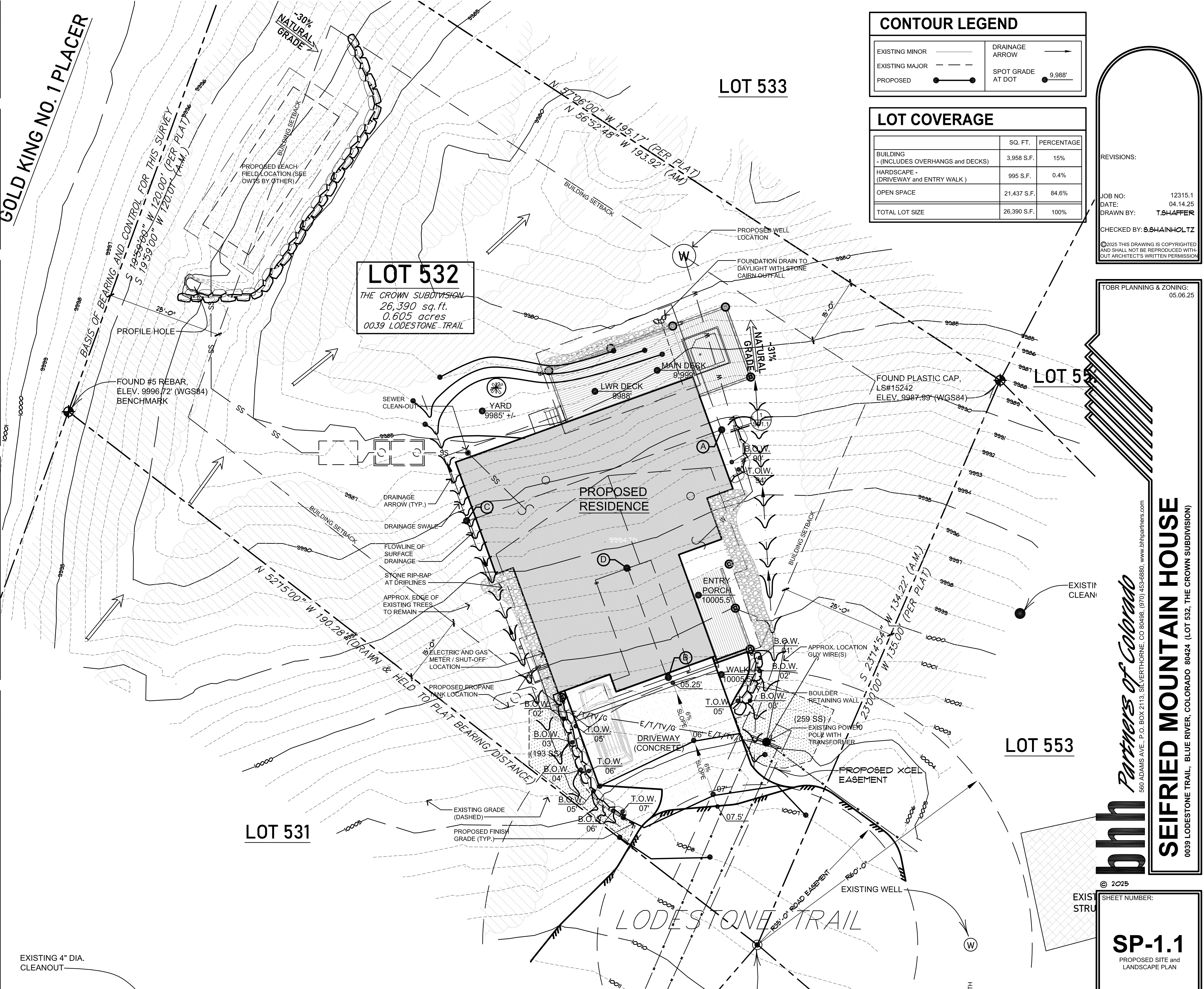
REQUIRED SNOWSTACK		
	SQ. FT.	PERCENTAGE
HARDSCAPE - (DRIVEWAY, ENTRY WALK AND PATIO)	946 S.F.	100%
REQ'D SNOW STACK (25% OF HARDSCAPE)	237 S.F.	25%
TOTAL SNOW STACK PROVIDED	452 S.F.	48%

BUILDING HEIGHT TABLE						
RIDGE POINT	RIDGE ELEVATION	NATURAL EXIST'G GRADE ELEVATION (APPROX.)	FINISHED GRADE ELEVATION	AS MEASURED FROM	CALCULATIONS	HEIGHT
(A)	10,024.6'	9,990.75'	9,991.15'	EXIST'G GRADE	10,024.6' - 9,991.15' =	33.45'
(B)	10,027.94'	10,001.5'	10,005.5'	EXIST'G GRADE	10,027.94' - 10,001.5' =	26.44'
(C)	10,024.6'	9,991'	9,990.75'	EXIST'G GRADE	10,024.6' - 9,990.75' =	33.85'
(D)	10,027.94'	9,996'	10,005.5'	EXIST'G GRADE	10,027.94' - 9,996' =	31.64'



- ### REVEGETATION NOTES
- REVEGETATE ALL DISTURBED AREAS ON THE SITE WITH:
- SHORT DRY GRASS MIX #2 LB/1,000 SF:
 - HARD FESCUE 30%
 - CREeping RED FESCUE 30%
 - SHEEP FESCUE 25%
 - CANADA BLUEGRASS 10%
 - CANBY BLUEGRASS 5%
 - SLOPES OVER 3:1 SHALL BE HAY TACKIFIED OR NETTED.
 - MOUNTAIN MAGIC WILDFLOWER MIX #1 LB/10,000 SF:
 - BABY'S BREATH
 - CALIFORNIA POPPY
 - BLUE FLAX
 - WALLFLOWER
 - FENSTEMON, ROCKY MOUNTAIN
 - ROCKY MOUNTAIN BLUE COLUMBINE MIX #1 LB/25,000 SF OR WESTERN NATIVE WILDFLOWER MIX #1 LB/6,000 SF:
 - CONEFLOWER, WESTERN
 - SULFUR FLOWER
 - NODDING GROUNDSEL
 - WESTERN LARKSPUR
 - AMERICAN VETCH
 - FENSTEMON, SMALL FLOWERED
 - FENSTEMON, ROCKY MOUNTAIN
 - FENSTEMON, WABATCH
 - FENSTEMON, RYDBERGSS
 - GAILLARDIA/BLANKETFLOWER

- ### LANDSCAPE NOTES
- PROVIDE 3" (MIN.) CLAYFREE TOPSOIL AND SEED ALL DISTURBED AREAS WITH SHORT SEED MIX (AS APPROVED BY SUMMIT COUNTY STRIP AND STOCKPILE EXISTING TOPSOIL IN CONSTRUCTION AREA. SCREEN TOPSOIL PRIOR TO INSTALLATION.)
 - KEEP EXISTING TREES WHERE POSSIBLE. TAKING INTO CONSIDERATION DRIP LINES AND ROOT STRUCTURE. PROTECT EXISTING TREES WITH FENCING LOCATED AT OR OUTSIDE DRIP LINE OF TREE. STOCKPILE AND REUSE EXISTING TREES WHERE POSSIBLE.
 - GENERAL CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS PER SPECIFICATIONS AND CODE REQUIREMENTS.
 - PRIOR TO ANY LANDSCAPE WORK, REMOVE ALL DEBRIS, PAINT, CONCRETE, STUMPS, SLASH, ETC. FROM LANDSCAPE AREA.
 - LOCATE ALL PLANTINGS TO AVOID SNOW STACKING & SNOW SLIDE AREAS FROM ABOVE.
 - SHRUBS ARE TO BE FIELD LOCATED AS APPROVED BY OWNER AND ARCHITECT.
 - ALL NEW LANDSCAPING TO BE IRRIGATED WITH DRIP IRRIGATION SYSTEM. MAXIMUM 1,000 SF IRRIGATED SPACE. PROVIDE SUBMITTAL.
 - ALL NEW PLANTINGS SHOULD BE HIGH ALTITUDE GROWN AND OR COLLECTED TO ENSURE BETTER SURVIVAL.
 - NATURALIZE GROUPING OF TREES BY VARYING HEIGHT & LOCATION WHEREVER POSSIBLE.
 - SCREEN ALL UTILITY PEDESTALS WITH LANDSCAPE MATERIAL.
 - PROVIDE 3" TO 4" DIAMETER STONE RIP-RAP OVER WEED BARRIER FABRIC AT BUILDING DRIP LINES. UNDULATE EDGES AND PROVIDE LANDSCAPE EDGING AT RIPRAP TO TOPSOIL JUNCTURE.
 - INSTALL & BACKFILL ALL PLANTINGS WITH SOIL MIX INCLUDING ORGANIC SOIL AMENDMENTS PER SPECIES REQUIREMENTS AND LANDSCAPE DETAILS.
 - ROOT FEED ALL NEWLY PLANTED TREES DURING INSTALLATION. PROVIDE LIQUID GROWTH TREE STIMULATOR AND SOLUBLE FERTILIZER AT RECOMMENDED RATE FOR EACH TREE SPECIES.
 - PROVIDE 3" OF SHREDDED BARK MULCH AT ALL SHRUB AND TREE WELLS.
 - LANDSCAPE BOULDERS OF 2' OR LARGER SHALL BE RETAINED ON SITE FOR USE IN LANDSCAPE WORK. BURY DECORATIVE BOULDERS ONE-HALF OF DIAMETER AS APPROVED BY TOWN OF BLUE RIVER PRIOR TO INSTALLATION.
 - ALL ROCK OUTCROPPINGS THAT ARE TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITY.
 - ADDITIONAL CONSULTATION WITH A QUALIFIED LANDSCAPE PROFESSIONAL AT OWNER OPTION IS RECOMMENDED.
 - NOTE: ALL LANDSCAPING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH SUMMIT COUNTY AND TOWN OF BLUE RIVER.



CONTOUR LEGEND

EXISTING MINOR	—	DRAINAGE ARROW	→
EXISTING MAJOR	- - -	SPOT GRADE AT DOT	● 9.988'
PROPOSED	●		

LOT COVERAGE

	SQ. FT.	PERCENTAGE
BUILDING - (INCLUDES OVERHANGS and DECKS)	3,958 S.F.	15%
HARDSCAPE - (DRIVEWAY and ENTRY WALK)	995 S.F.	0.4%
OPEN SPACE	21,437 S.F.	84.6%
TOTAL LOT SIZE	26,390 S.F.	100%

REVISIONS:

JOB NO: 12315.1
DATE: 04.14.25
DRAWN BY: T.SHAFFER
CHECKED BY: S.SHAINHOLTZ

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05.06.25

bhh Partners of Colorado
560 ADAMS AVE., P.O. BOX 2113, SILVERTHORNE, CO 80488, (970) 452-6860, www.bhhpartners.com

SEIFRIED MOUNTAIN HOUSE
0039 LODESTONE TRAIL, BLUE RIVER, COLORADO 80424 (LOT 532, THE CROWN SUBDIVISION)

© 2025
SHEET NUMBER:
SP-1.1
PROPOSED SITE and LANDSCAPE PLAN

MAIN ROOM FINISH SCHEDULE

#	ROOM NAME	FLOOR	WALLS	CEILING	NOTES
	MATERIAL	BASE	MATERIAL	MATERIAL	HEIGHT
201	ENTRY	SLATE	WOOD	1	11'-0"
202	LIVING	WOOD	WOOD	1	VAULTED
203	KITCHEN	WOOD	WOOD	1	VAULTED
204	DINING	WOOD	WOOD	1	VAULTED
205	FOYER	WOOD	WOOD	1	16'-4"
206	PANTRY	WOOD	WOOD	1	9'-9 7/8"
207	VESTIBULE	WOOD	WOOD	1	9'-9 7/8"
208	MASTER SUITE	WOOD	WOOD	1	VAULTED
209	MASTER BATH	TILE	WOOD	1	9'-9 7/8"
210	SHOWER	TILE	TILE	1	9'-9 7/8"
211	WATER CLOSET	TILE	WOOD	1	9'-9 7/8"
212	CLOSET	WOOD	WOOD	1	9'-9 7/8"
213	CLOSET	WOOD	WOOD	1	9'-9 7/8"
214	NOT USED	WOOD	WOOD	1	9'-9 7/8"
215	POWDER	WOOD	WOOD	1	9'-9 7/8"

DOOR TYPE SCHEDULE

ID	WIDTH	HEIGHT	OPERATION	NOTES
O1	10'-0"	9'-0"	TRIPLE SLIDER	
O2	12'-0"	9'-0"	TRIPLE SLIDER	
O3	4'-0"	9'-0"	RT HAND SWING	
O4	18'-0"	8'-0"	OVERHEAD	WIDUS ON UPPER
O5	2'-4"	1'-0"	RH SWING	
O6	2'-4"	1'-0"	LH SWING	
O7	2'-8"	1'-0"	RH SWING	
O8	2'-8"	1'-0"	LH SWING	
O9	3'-0"	1'-0"	RH SWING	
O10	3'-0"	1'-0"	LH SWING	
O11	4'-0"	1'-0"	DBL. RAIL	(2) DOORS
O12	3'-0"	1'-0"	DBL. RAIL	(2) DOORS
O13	5'-0"	1'-0"	DBL. SLIDING	
O14	9'-0"	8'-0"	OVERHEAD	

NOTE: SEE ELEVATIONS FOR DOOR ID TAGS

WINDOW TYPE SCHEDULE

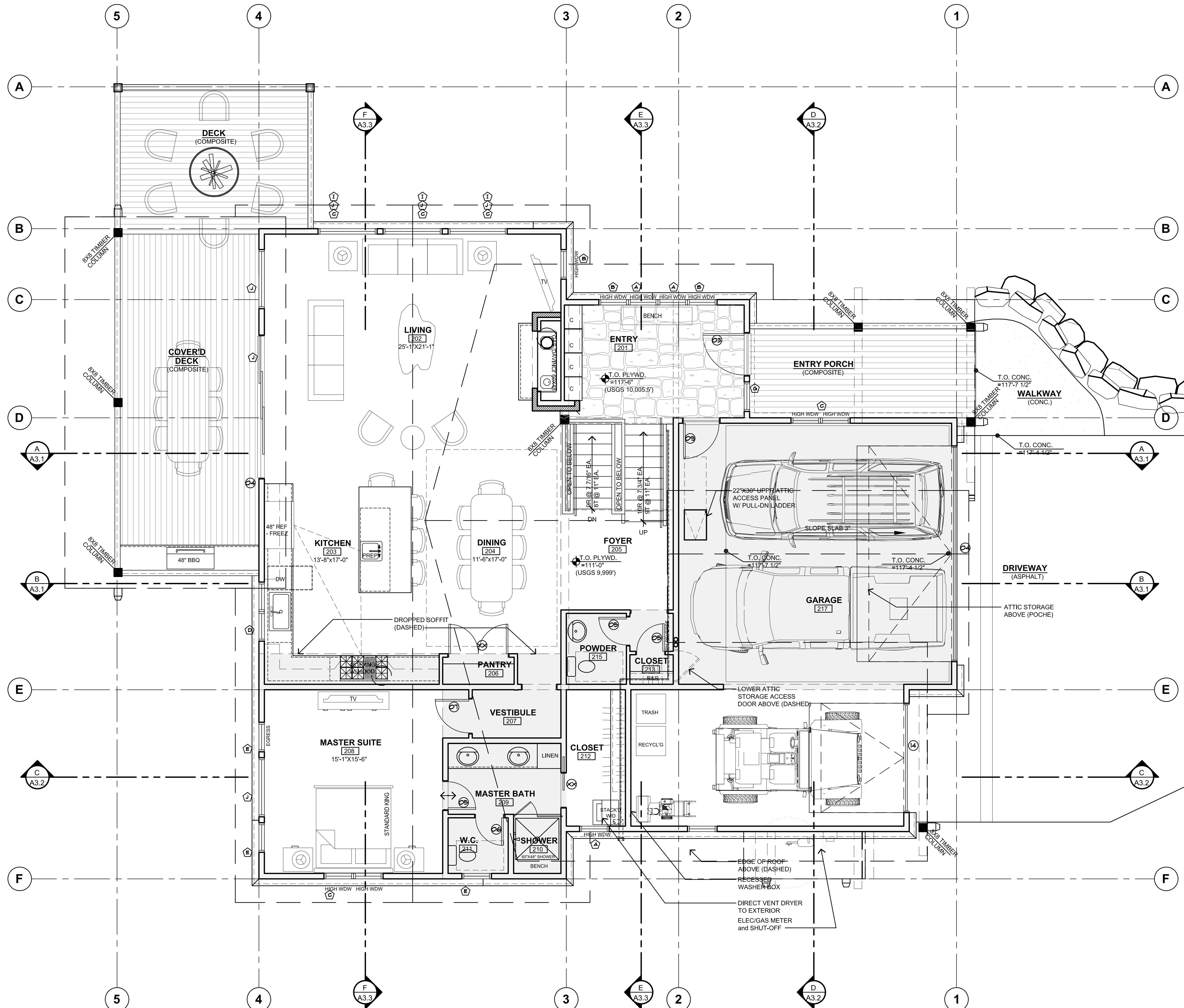
ID	WIDTH	HEIGHT	OPERATION	NOTES
A	2'-6"	2'-0"	FIXED	
B	2'-6"	2'-0"	AWNING	
C	5'-0"	2'-0"	DBL. AWNING	
D	5'-0"	5'-0"	DBL. CASEMENT	
E	2'-6"	6'-0"	CASEMENT	
F	5'-0"	6'-0"	DBL. CASEMENT	
G	2'-6"	9'-0"	FIXED	TEMPERED
H	5'-0"	4'-0"	FIXED	
I	5'-0"	5'-0"	FIXED	
J	5'-0"	6'-0"	FIXED	

NOTE: SEE ELEVATIONS FOR WINDOW ID TAGS

ROOM FINISH NOTES

NOTE: VERIFY ALL INTERIOR FINISHES WITH OWNER

- 5/8" TYPE 'X' GYPSUM BOARD WITH LIGHT HAND TROWELED FINISH (PAINT)
- 1/2" CEMENT BOARD WITH TILED FINISH
- PROVIDE EPOXY FLOOR FINISH
- VERIFY MILLWORK WITH OWNER-PROVIDE SUBMITTAL
- PROVIDE RAIL DOOR & RAIL DOOR HARDWARE. VERIFY FINISH WITH OWNER
- TOP LOAD WASHER AND DRYER
- PROVIDE 60"x40" 'AQUAPEUTICS' OASIS LUXURY STEAM SHOWER. ROUGH-IN REQUIRED ELECTRICAL AND PLUMBING PER MANUFACTURER SPECIFICATIONS.
- PROVIDE SPECIAL FINISHES, LAVATORY, AND LIGHT FIXTURES PER OWNER
- VERIFY CLOSET SYSTEMS WITH OWNER
- OPTIONAL BUNK ALCOVE WITH NICHE & ELECTRICAL OUTLET (2 PER BUNK TYP.)



MAIN LEVEL PLAN

SCALE: 1/4" = 1'-0"

1,784 SF - FINISHED
841 SF - UNFINISHED



REVISIONS:

JOB NO: 12315.1
DATE: 04.14.25
DRAWN BY: T.SHAFFER

CHECKED BY: S.SHAINHOLTZ

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TOBR PLANNING & ZONING:
05.06.25

bhh Partners of Colorado
560 ADAMS AVE., P.O. BOX 2113, SILVERTHORNE, CO 80488, (970) 452-6660, www.bhhpartners.com
SEIFRIED MOUNTAIN HOUSE
0039 LODGESTONE TRAIL, BLUE RIVER, COLORADO 80424 (LOT 532, THE CROWN SUBDIVISION)

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SHEET NUMBER:

A-1.2
MAIN LEVEL PLAN

ROOF NOTES:

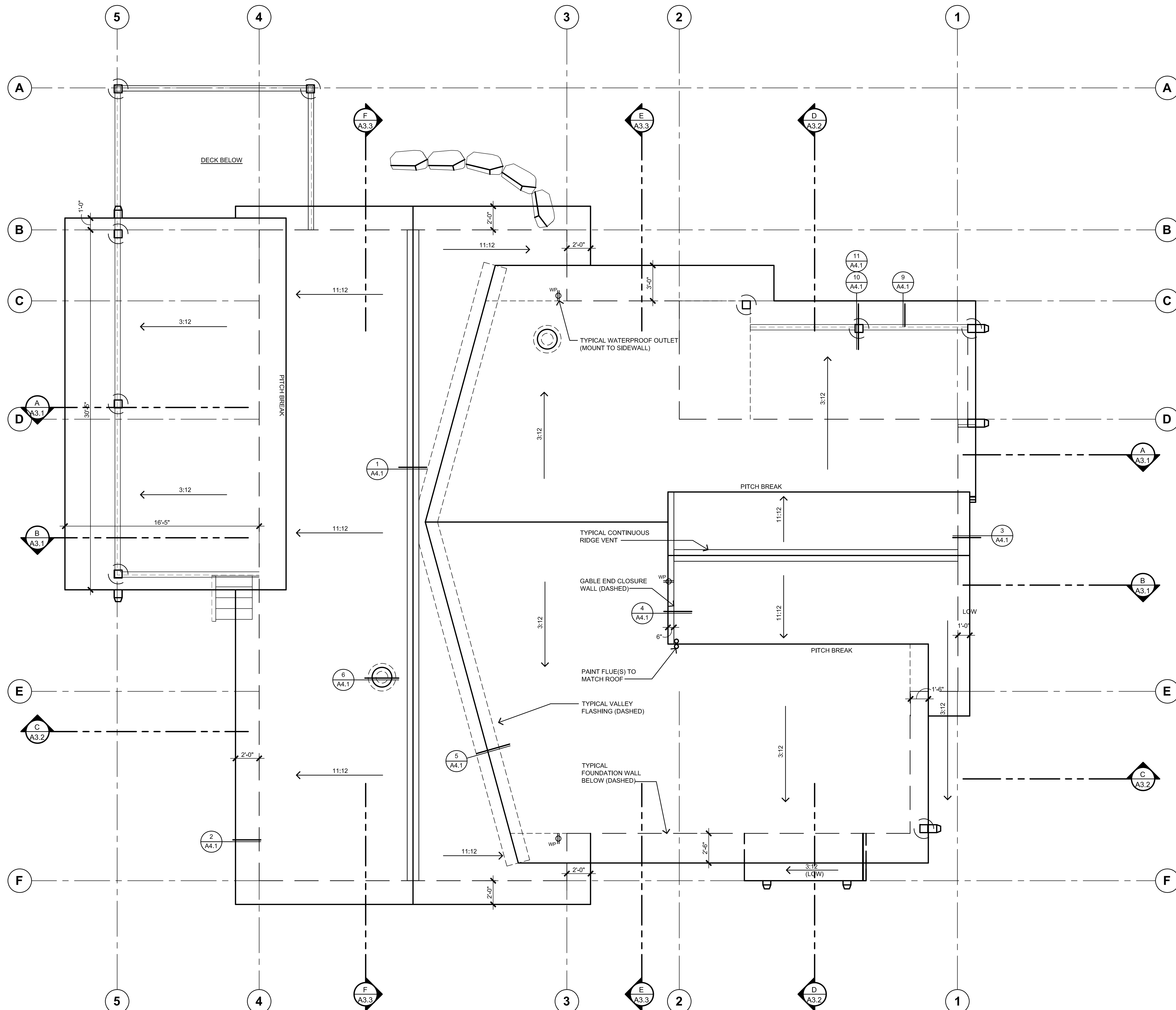
1. PROVIDE HEAT TAPE @ HEATED GUTTERS & DOWNSPOUTS. PROVIDE ELECTRIC OUTLET FOR HEAT TAPE AT EACH DOWNSPOUT LOCATION.
2. PAINT ALL EXPOSED PIPING EXTENDING THROUGH ROOF TO MATCH ROOF.
3. PROVIDE VALLEY FLASHING AT ALL VALLEYS.
4. OVERHANG DIMENSIONS ARE TO END OF RAFTER/TRUSSES - SEE DETAILS.
5. REFER TO PLAN FOR ALL ROOF OVERHANGS.
6. PROVIDE KICK-OUT FLASHING AT ALL EAVE/WALL JUNCTURES.
7. PROVIDE ADDITIONAL SOFFIT OUTLETS FOR CHRISTMAS LIGHTING - LOCATE PER OWNER INPUT.
8. SEE SHEET SP1.2 FOR BUILDING RIDGE HEIGHTS.
9. PROVIDE ILC AS REQUIRED.
10. CONTRACTOR TO COORDINATE HEATED GUTTER AND DOWNSPOUT LOCATIONS WITH ARCHITECT
11. ALL PLUMBING VENTS, BOILER VENTS, AND OTHER ROOF PENETRATIONS ARE WITHIN 5" OF RIDGE LINES. PAINT TO MATCH ROOF COLOR.

COLD ROOF NOTE:

THIS PROJECT INCLUDES A "COLD ROOF" DESIGN. PROVIDE INSULATION BAFFLES AT ALL RAFTER SPACES AND HOLD DOWN VALLEY FRAMING TO ENSURE AIRFLOW ABOVE ALL VALLEYS. THIS INCLUDES FLUSH VALLEYS (SEE DETAIL). IF NECESSARY DRILL HOLES FOR VENTILATION AS APPROVED BY THE STRUCTURAL ENGINEER. THIS INCLUDES BEAMS AND ALL AREAS THAT RESTRICT AIR FLOW FROM SOFFIT VENTS UP TO RIDGE VENTS. PROVIDE 1" DIAMETER HOLES @ 8" O.C. IN THESE AREAS. RETAIN 1 1/2" OF BEAM ABOVE VENTILATION HOLES. VERIFY WITH STRUCTURAL ENGINEER.

ROOFING NOTE:
REFER TO SPECIFICATIONS. PROVIDE ROOF PRIMER, ROOF MEMBRANE AND ALL ROOFING PER SPECIFICATION REQUIREMENTS. PROVIDE "W.R. GRACE" MANUFACTURER CERTIFICATION LETTER STATING THAT ALL MEMBRANES HAVE BEEN INSTALLED IN COMPLETE COMPLIANCE WITH ALL MANUFACTURER'S REQUIREMENTS.

MAINTENANCE NOTE:
THE OWNER HAS BEEN ADVISED THAT ALL ROOF AND DECK SURFACES MUST BE MAINTAINED RELATIVELY FREE OF SNOW & ICE.



ROOF PLAN

SCALE: 1/4" = 1'-0"

REVISIONS:

JOB NO: 12315.1
DATE: 04.14.25
DRAWN BY: T.SHAFFER
CHECKED BY: S.SHAINHOLTZ

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SEIFRIED MOUNTAIN HOUSE
0039 LODGESTONE TRAIL, BLUE RIVER, COLORADO 80424 (LOT 532, THE CROWN SUBDIVISION)

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SHEET NUMBER:

A-1.3

ROOF PLAN



WEST ELEVATION

SCALE: 1/4" = 1'-0"

NOTE: REFER TO SHEET A-2.1 FOR TYPICAL NOTES AND MATERIALS.



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS:

JOB NO: 12315.1
 DATE: 04.14.25
 DRAWN BY: T. SHAFFER
 CHECKED BY: S. SHAINHOLTZ

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TOBR PLANNING & ZONING:
 05.06.25

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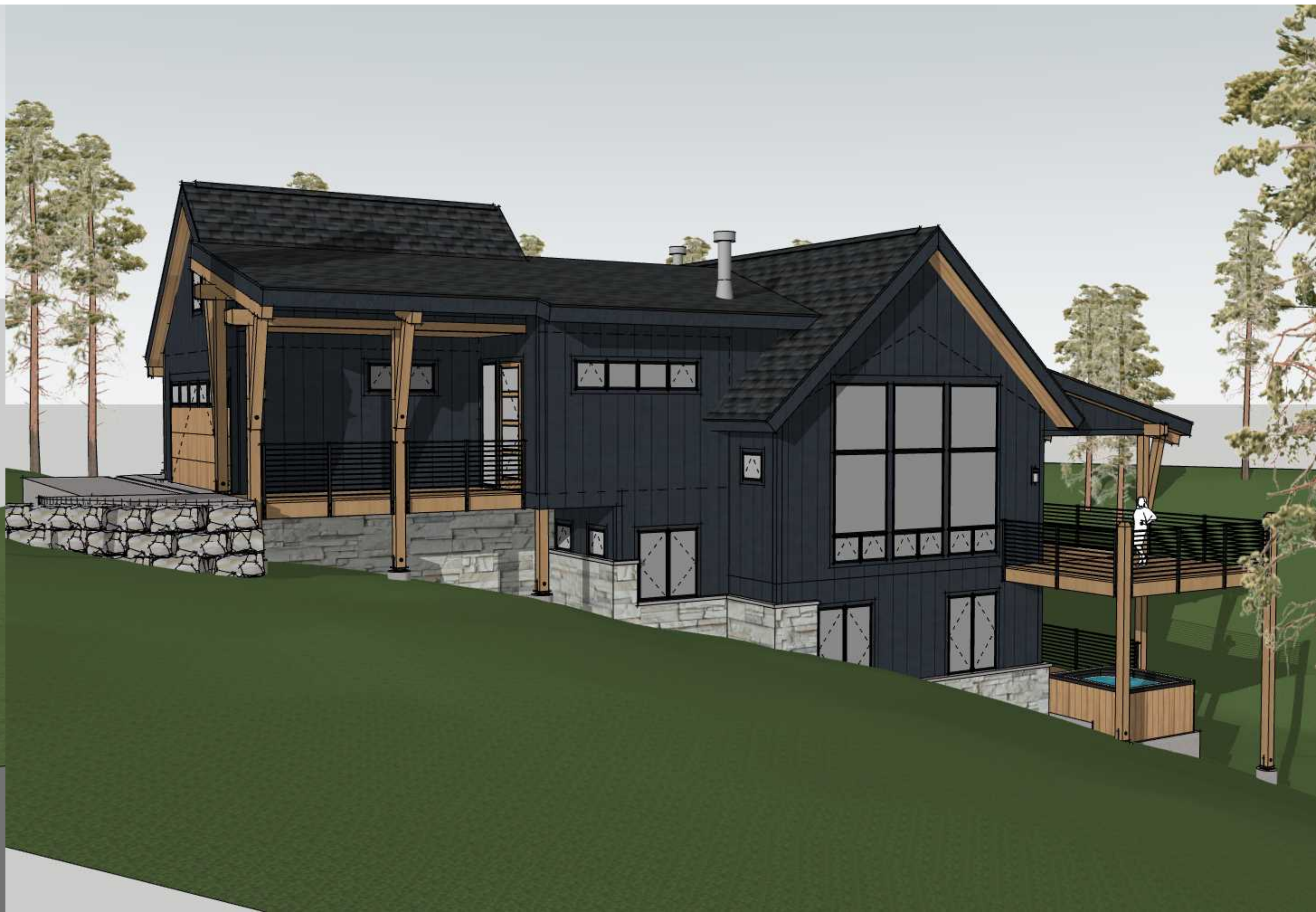
SEIFRIED MOUNTAIN HOUSE
 0039 LODGESTONE TRAIL, BLUE RIVER, COLORADO 80424 (LOT 532, THE CROWN SUBDIVISION)

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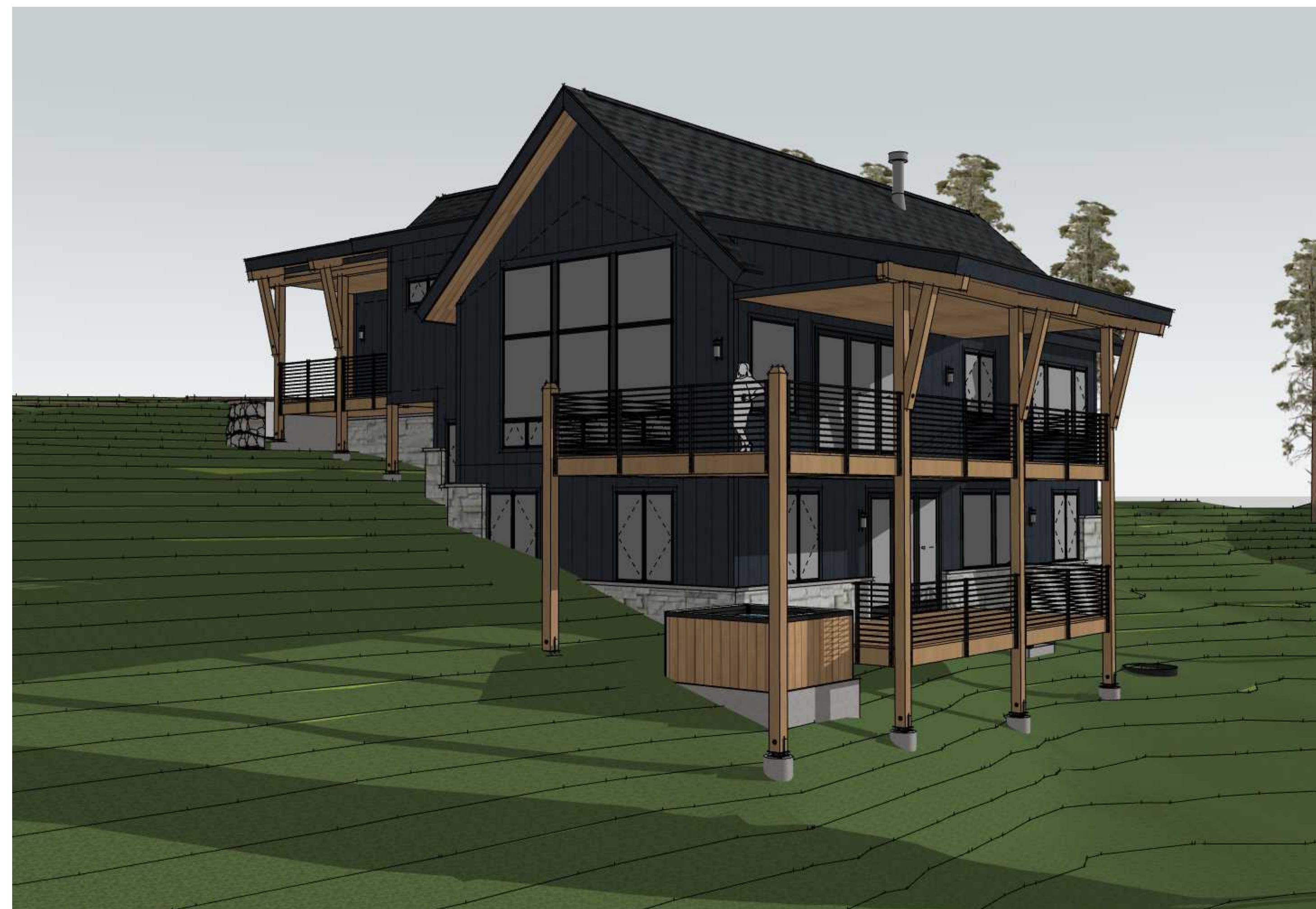
A2.2
 BUILDING ELEVATIONS



VIEW FROM SOUTHEAST



VIEW FROM NORTHEAST



VIEW FROM NORTHWEST



VIEW FROM SOUTHWEST

REVISIONS:

JOB NO: 12315.1
 DATE: 04.14.25
 DRAWN BY: T. SHAFFER
 CHECKED BY: S. SHAINHOLTZ

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TOBR PLANNING & ZONING: 05.06.25

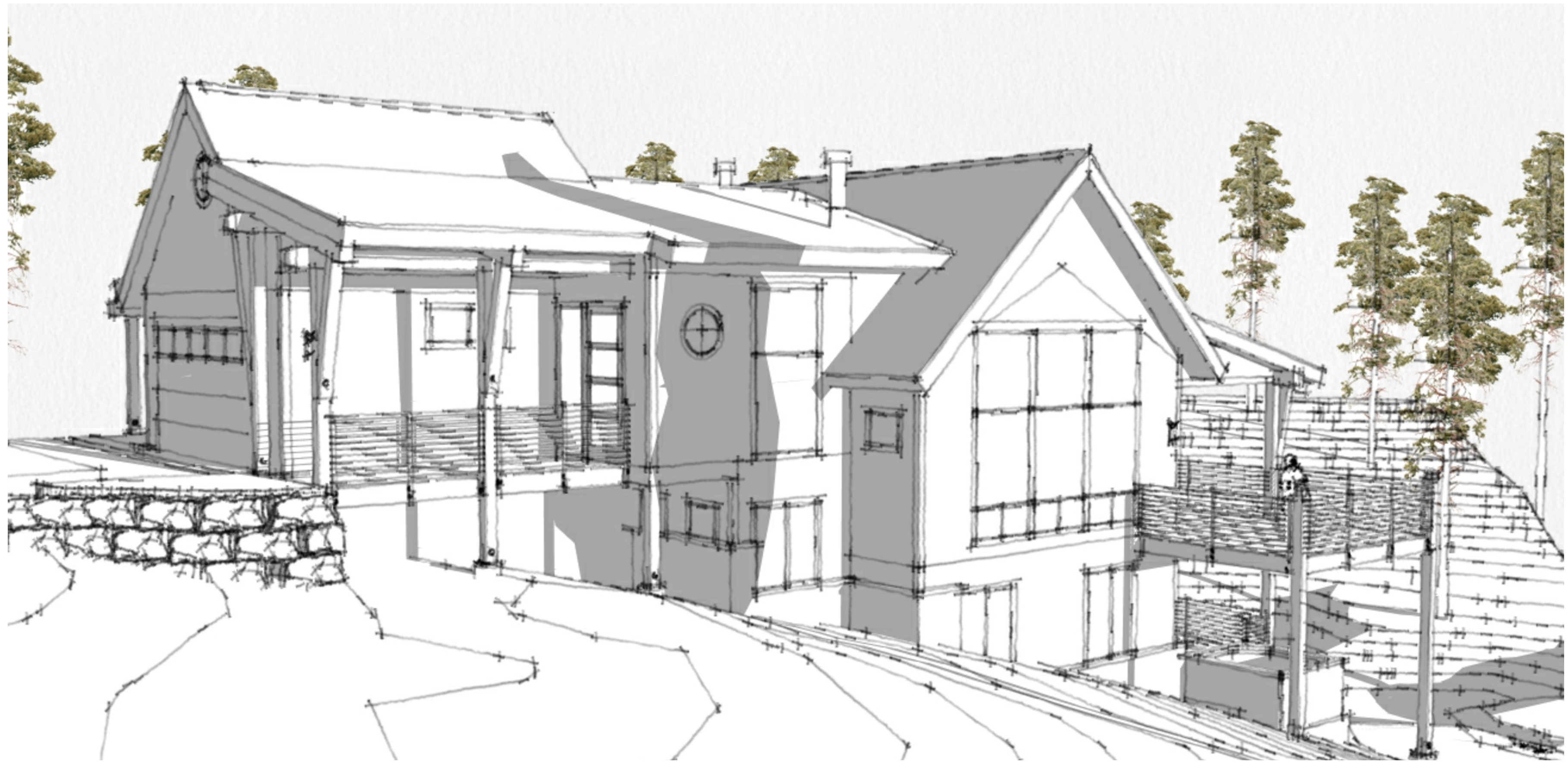
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A2.3
 BUILDING
 PERSPECTIVES

SEIFRIED MOUNTAIN HOUSE



VIEW FROM NORTH

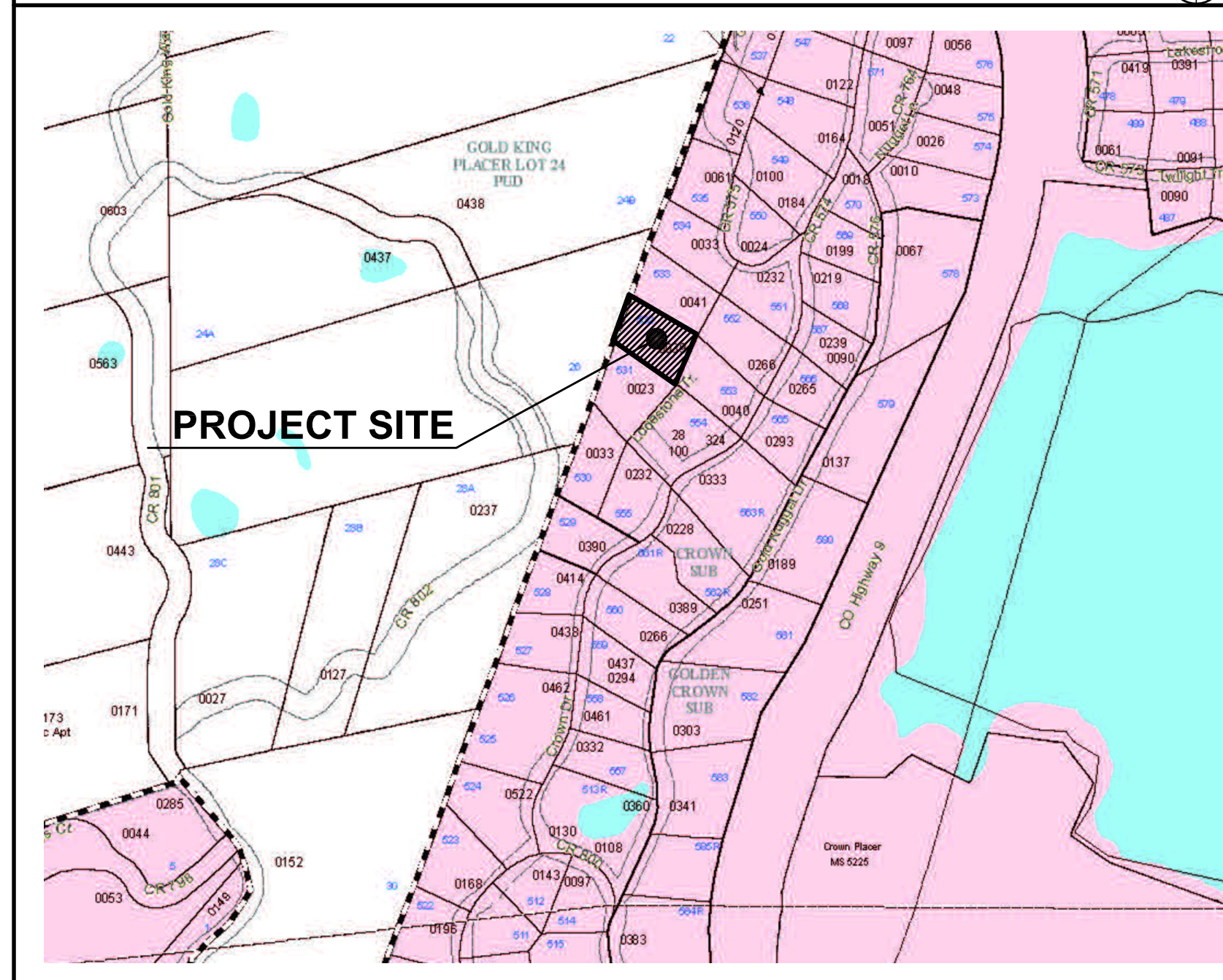
GENERAL NOTES

- 1) COPYRIGHT:
All plans, designs, and concepts shown in these drawings are the exclusive property of BHH Partners, Planners and Architects, A.L.A./P.C. and shall not be used, disclosed, or reproduced for any purpose whatsoever without the Architect's written permission.
- 2) CODES:
This project is governed by the applicable building code as adopted by the jurisdiction of record in Colorado. Code compliance is mandatory. The drawings and specifications shall not permit work that does not conform to these codes. The General Contractor and Subcontractors shall be responsible for satisfying all applicable codes and obtaining all permits and required approvals. Building areas are shown for code purposes only and shall be recalculated for any other purposes.
- 3) FIELD VERIFICATION:
Verify all dimensions, conditions, and utility locations on the job site prior to beginning any work or ordering any materials. Notify Architect of any conflicts or discrepancies in the drawings immediately.
- 4) DIMENSIONS:
Written dimensions always take precedence over scaled dimensions. DO NOT SCALE DRAWINGS. Verify all dimensions shown prior to beginning any work and notify Architect of any conflicts or discrepancies for interpretation or clarification. Plan dimensions are to the face of framing members, face of wood framing or face of concrete walls unless otherwise noted. Section or elevation dimensions are to top of concrete, top of plywood, or top of wall plates or beams unless otherwise noted.
- 5) DISCREPANCIES:
The Owner has requested the Architect to provide limited architectural and engineering services. In the event additional details or guidance is needed by the Contractor for construction of any aspect of this project, he shall immediately notify the Architect. Failure to give simple notice shall relieve the Architect of responsibility. Do not proceed in areas of discrepancy until all such discrepancies have been fully resolved with written direction from the Architect.
- 6) DUTY OF COOPERATION:
Release of these plans contemplates further cooperation among the Owner, his Contractor, and the Architect. Design and construction are complex. Although the Architect and his Consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect, and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the Architect. Failure to notify the Architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the Architect shall relieve the Architect from responsibility for all consequences.
- 7) CHANGES TO THE WORK:
Any items described herein that impact project budget or time shall be requested from the Contractor via a written change order request prior to such work. Performance of such work without approval by change order indicates General Contractor's acknowledgment of no increase in contract sum or time. Changes from the plans or specifications made without consent of the Architect are unauthorized and shall relieve the Architect of responsibility for any and all consequences resulting from such changes.
- 8) WORKMANSHIP:
It is the intent and meaning of these drawings that the Contractor and each Subcontractor provide all labor, materials, transportation, supplies, equipment, etc., to obtain a complete job within the recognized standards of the industry.
- 9) SUBSTITUTIONS:
Substitution of "equal" products will be acceptable with Architect's written approval. See specifications.
- 10) CONSTRUCTION SAFETY:
These drawings do not include the necessary components for construction safety. The General Contractor shall provide for the safety, care of utilities and adjacent properties during construction, and shall comply with state and federal safety regulations.
- 11) EXCAVATION PROCEDURES:
Upon completion of any excavation, the Owner shall retain a soils engineer to inspect the subsurface conditions in order to determine the adequacy of foundation design. See specifications. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER.
- 12) FIELD CUTTING OF STRUCTURAL MEMBERS:
The General Contractor shall field coordinate and obtain approval from Engineer before any cutting, notching or drilling of any cast-in-place concrete, steel framing, or any other structural elements which may affect the structural integrity of the building. Refer to the appropriate Code Requirements, manufacturer's or supplier's instructions, and structural drawings for additional requirements.
- 13) WEATHER CONDITIONS:
The Owner has been advised that due to harsh winter conditions, roof and deck surfaces must be maintained reasonably free of ice and snow to ensure minimal problems with these surfaces. All roofing, roofing membranes, and waterproofing shall be approved in writing by product manufacturer (W.R. Grace for bitulthene, etc.) prior to proceeding with any work. Failure to provide these written approvals removes all responsibility for the work from the Architect.
- 14) BUILDING AREA
Building areas are shown for code purposes only and shall be recalculated for any other use.
- 15) PROJECT STAKING
The general contractor shall verify all existing grades and stake all building corners and the driveway location for Owner/Architect and jurisdiction approval prior to beginning any site clearing.
- 16) SITE DISTURBANCE
It is the responsibility of the contractor to protect the existing trees to remain and adjacent properties from damage during construction. Provide protective fencing throughout construction.
- 17) PROJECT GRADES
The general contractor shall check and verify all grades including paved area slopes prior to pouring any foundations. Survey work should be verified in detail. See numbers 5 and 6.
- 18) EXTERIOR MATERIAL MOCK UP
The General Contractor shall provide a mock up of all exterior materials for review by the Owner and Architect. This mock up shall be provided and signed off in writing prior to any exterior stain or exterior finish work. The sample shall include fascia, trim, window cladding and all other exterior finishes including a 3'-0"x3'-0" (min) sample of exterior stonework if applicable. This mock up shall be retained on site until the final punch.

BID ALTERNATES

- ALTERNATE NO. 1 - ALTERNATE INSULATION SYSTEMS- Provide additional cost for complete Closed Cell Insulation Systems in walls, roofs, cantilevered floors and underslab. Provide submittal and breakdown of proposed alternate.
- ALTERNATE NO. 2 - INSULATION UPGRADE - Provide cost for insulation at roofs and exterior walls to be of closed cell foam throughout.
- ALTERNATE NO. 3 - FOUNDATION WALL WATERPROOFING - If recommended by the Soils Engineer, provide upgraded waterproofing (Bituthene 3000 System and waffle drain). Provide cost for all concrete walls.
- ALTERNATE NO. 4 - SEALANT PACKAGE UPGRADE - Provide cost to add "Knauf" Eco-seal™ sealant package to home prior to insulation work. Install water-based elastomeric sealant system in strict accordance with manufacturer's requirements.
- ALTERNATE NO. 5 - COPPER PIPING/ PEX PIPING - Provide cost for domestic hot water and domestic cold water piping for both materials for owner consideration. (Pex piping requires written owner approval. Pex domestic water piping is not recommended by Architect).
- ALTERNATE NO. 6 - WOOD CEILING OPTIONS - Provide additional alternates for Owner consideration as deemed appropriate by the General Contractor. Verify scope with Owner.
- ALTERNATE NO. 7 - UNDER SLAB INSULATION - Provide bid alternate for closed cell foam under all ground slabs for the project (vapor barrier is not needed).
- ALTERNATE NO. 8 - EPOXY FLOOR - Provide cost to apply epoxy paint coating, as selected by Owner, at garage floor. Heavy duty latex to be in base bid.
- ALTERNATE NO. 9 - EMERGENCY WATER SHUTOFF CONTROL - Provide additional cost for adding a self-contained, wireless leak detection and automatic water shutoff system. Provide a "Water Cop" valve and (3) "Water Hound" wireless shutoff sensors by Smart Home Products, www.smarthomecatalog.com.
- ALTERNATE NO. 10 - ERV/HRV SYSTEM - Provide cost savings for deletion of HRV system in lieu of continuously running fan. Coordinate location with Owner and Architect.
- ALTERNATE NO. 11 - MAKE UP AIR UNIT - Provide options for reduction or deletion of makeup air unit for range hood. Provide submittal.
- ALTERNATE NO. 12 - CAMERA SYSTEM - Provide added cost for camera system to be integrated with security system.
- ALTERNATE NO. 13 - WIRELESS SATELLITE DISH - Provide additional cost for providing satellite dish, internet and television with all related equipment.
- ALTERNATE NO. 14 - MOTORIZED WINDOW SHADES - Provide additional cost for motorized window shades enclosed in wood valance for great room window walls.
- ALTERNATE NO. 15 - ENVIRONMENTAL PRODUCTS - Provide additional cost for substitution of environmental, sustainable or non-toxic building products.

VICINITY MAP



LEGAL DESCRIPTION

LOT 532
THE CROWN SUBDIVISION
XX AC. / XX SQ. FT.

0039 LODGESTONE TRAIL
BLUE RIVER, COLORADO

AREA CALCULATIONS

	UN-FINISHED	FINISHED	TOTAL
LOWER	00	1,764	1,764 SF
MAIN	841	1,784	2,625 SF
TOTAL	841 SF	2,933 SF	4,389 SF

5/8" TYPE GYPSUM BOARD USED THROUGHOUT
NOTE: SQUARE FOOTAGES ARE CALCULATED FOR CODE PURPOSES ONLY AND SHOULD BE RECALCULATED FOR ANY OTHER PURPOSES.

FINISHED FLOOR ELVs.

	U.S.G.S.	= ARCHITECTURAL
LOWER LEVEL - T.O. CONC.	9,988'	= 100'-0"
MAIN LEVEL - T.O. PLYWD.	9,999'	= 111'-0"
GARAGE LEVEL - T.O. CONC.	10,005.5'	= 117'-6"

SHEET INDEX

- T-1.1 TITLE SHEET and GENERAL NOTES
- SP-1.1 PROPOSED SITE and LANDSCAPE PLAN
- A-1.1 LOWER LEVEL PLAN and ROOM FINISH SCHEDULE
- A-1.2 MAIN LEVEL PLAN and ROOM FINISH SCHEDULE
- A-1.3 ATTIC LEVEL PLAN
- A-1.4 ROOF PLAN
- A-2.1 BUILDING ELEVATIONS
- A-2.2 BUILDING ELEVATIONS
- A-2.3 BUILDING PERSPECTIVES
- A-3.1 BUILDING SECTIONS and NOTES
- A-3.2 BUILDING SECTIONS and TRUSS PROFILES
- A-3.3 BUILDING SECTIONS and TRUSS PROFILES
- A-4.1 ARCHITECTURAL DETAILS
- A-4.2 ARCHITECTURAL DETAILS
- A-5.1 OUTLINE SPECIFICATIONS
- A-5.2 OUTLINE SPECIFICATIONS
- A-5.3 OUTLINE SPECIFICATIONS
- S1 FOUNDATION PLAN
- S2 FOUNDATION DETAILS
- S3 ENTRY and MAIN FLOOR FRAMING PLAN
- S4 ROOF FRAMING PLAN
- CMP-1.1 CONSTRUCTION MANAGEMENT PLAN

SURVEYOR:

LITTLEHORN ENGINEERING, LLC.
351 U.S. HIGHWAY 285
SUITE 201
FAIRPLAY, CO. 80440
719.836.7120
design@johlittlehorn.com

SOILS ENGINEER:

LITTLEHORN ENGINEERING, LLC.
351 U.S. HIGHWAY 285
SUITE 201
FAIRPLAY, CO. 80440
719.836.7120
design@johlittlehorn.com

M/E/P ENGINEER:

DMCE ENGINEERING
1480 HOYT STREET, SUITE 200
LAKEWOOD, COLORADO 80215-4728
JOSHUA L. COOK - P.E.
720.798.5041
josh@dmce.com

ENGINEER:

ENGINEERING DESIGNWORKS
1855 SKI TIME SQUARE, UNIT E2C
STEAMBOAT SPRINGS, COLORADO 80477
970.879.4890
720.798.5041
carl@engineeringdesignworks.com

CONTRACTOR:

LEE HOLOMBO
3347 CEMETERY ROAD
TRENTON, KY. 42286
931.220.7787 - LEE
holombocoon@aol.com

ARCHITECT:

BHH Partners of COLORADO
560 ADAMS AVENUE
SILVERTHORNE, COLORADO 80498
(970) 513-1000
ZANE LEVIN (principal architect) zlevin@bhpartners.com
TED SHAFFER (arch1 manager) tshaffer@bhpartners.com

OWNER:

RYAN SEIFRIED

REVISIONS:

JOB NO: 12315.1
DATE: 04.08.25
DRAWN BY: T.SHAFFER
CHECKED BY: S.SHAHNHOLTZ

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PROGRESS SET: 04.08.25

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SEIFRIED MOUNTAIN HOUSE
0039 LODGESTONE TRAIL, BLUE RIVER, COLORADO 80424 (LOT 532, THE CROWN SUBDIVISION)

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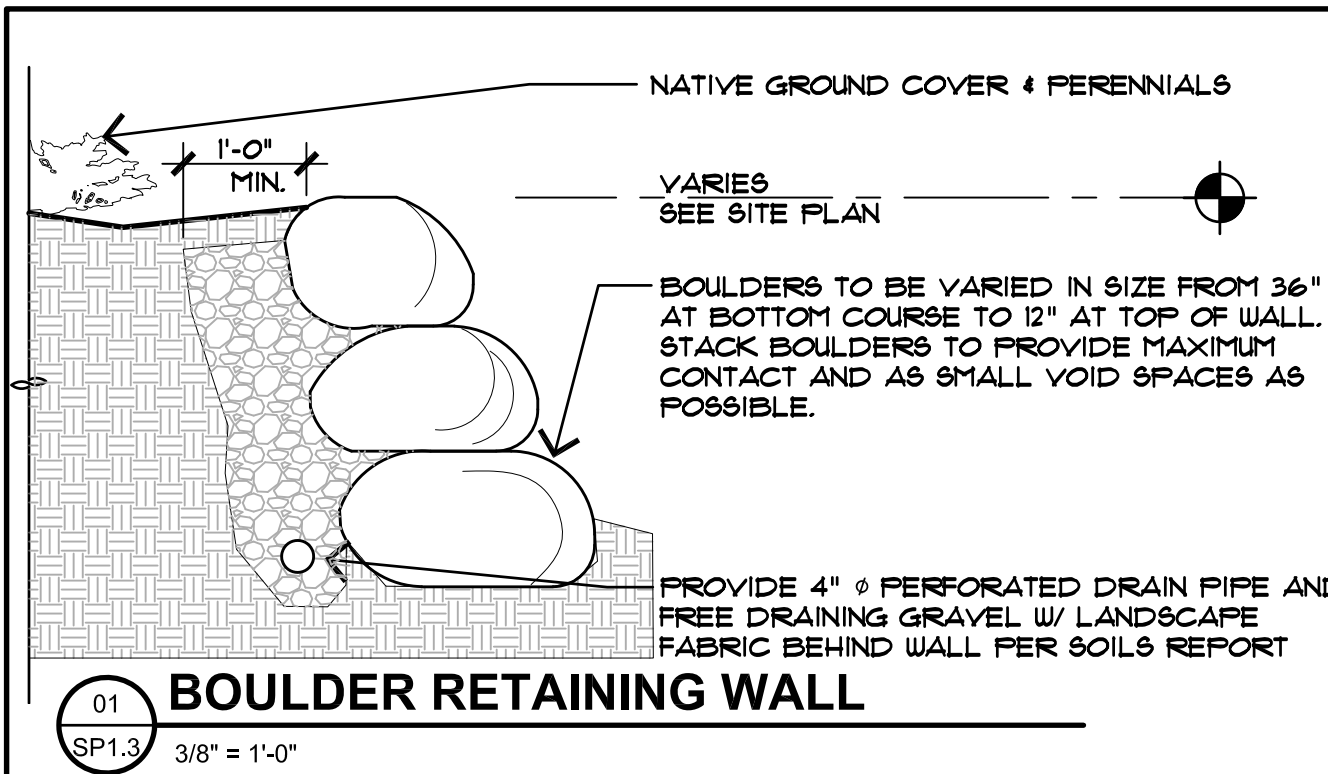
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T-1.1

TITLE SHEET, GENERAL NOTES, SCHEDULES AND INFORMATION

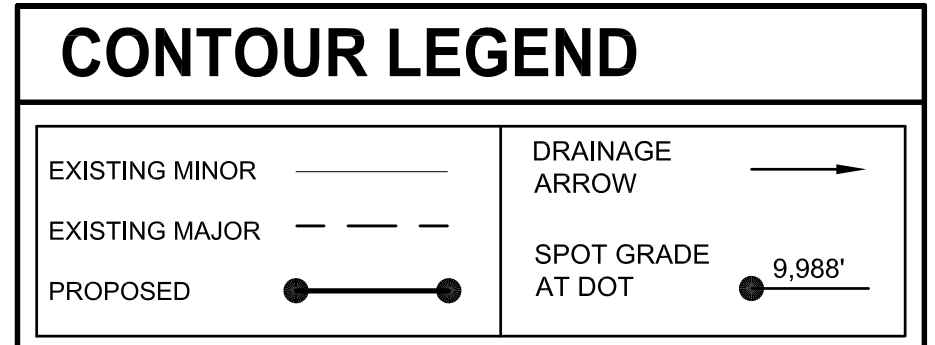
REQUIRED SNOWSTACK		
	SQ. FT.	PERCENTAGE
HARDSCAPE - (DRIVEWAY, ENTRY WALK AND PATIO)	696 S.F.	100%
REQ'D SNOW STACK (25% OF HARDSCAPE)	174 S.F.	25%
TOTAL SNOW STACK PROVIDED	452 S.F.	65%

BUILDING HEIGHT TABLE						
RIDGE POINT	RIDGE ELEVATION	NATURAL EXIST'G GRADE ELEVATION (APPROX.)	FINISHED GRADE ELEVATION	AS MEASURED FROM	CALCULATIONS	HEIGHT
(A)	10,024.6'	9,991.15'	9,991.15'	EXIST'G GRADE	10,024.6' - 9,991.15' =	33.45'
(B)	10,027.94'	10,001'	10,005.5'	EXIST'G GRADE	10,027.94' - 10,001' =	26.94'
(C)	10,024.6'	9,990.75'	9,990.75'	EXIST'G GRADE	10,024.6' - 9,990.75' =	33.85'
(D)	10,027.94'	9,996.15'	10,005.5'	EXIST'G GRADE	10,027.94' - 9,996.15' =	31.79'



- REVEGETATION NOTES**
- REVEGETATE ALL DISTURBED AREAS ON THE SITE WITH:
- SHORT DRY GRASS MIX #2 LB/1000 SF:
 HARD FESCUE 30%
 CREEPING RED FESCUE 30%
 SHEEP FESCUE 25%
 CANADA BLUEGRASS 10%
 CANBY BLUEGRASS 5%
- SLOPES OVER 3:1 SHALL BE HAY TACKIFIED OR NETTED.
- MOUNTAIN MAGIC WILDFLOWER MIX #1 LB/1000 SF:
 BABY'S BREATH BLANKETFLOWER
 CALIFORNIA POPPY SHIRLEY POPPY
 BLUE FLAX LUPINE MIX
 WALLFLOWER MAIDEN PINKS
 PENSTEMON, ROCKY MOUNTAIN WILD THYME
- ROCKY MOUNTAIN BLUE COLUMBINE MIX #1 LB/25000 SF OR WESTERN NATIVE WILDFLOWER MIX #1 LB/6000 SF:
 MOUNTAIN LUPINE CONEFLOWER, WESTERN PENSTEMON, SMALL FLOWERED COLUMBINE, COLORADO SULFUR FLOWER PENSTEMON, ROCKY MOUNTAIN GERANIUM, RICHARDSON NODDING GROUNDSEL PENSTEMON, WABATCH ASTER, ENGLEMANNS WESTERN LARKSPUR PENSTEMON, RYDBERGS ORANGE MOUNTAIN DAISY AMERICAN VETCH GAILLARDIA/BLANKETFLOWER GIANT LOUSEWORT

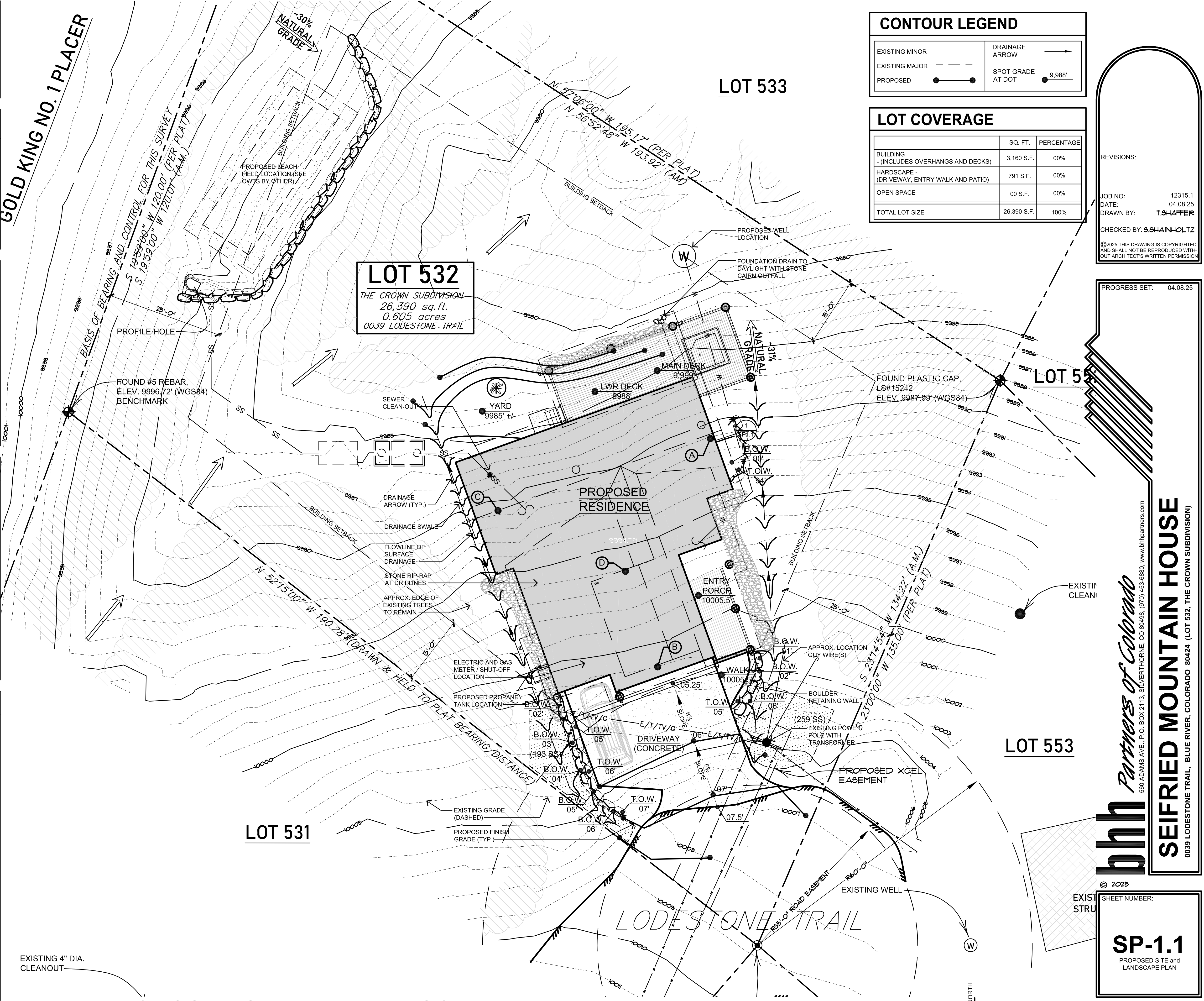
- LANDSCAPE NOTES**
- PROVIDE 3" (MIN.) CLAYFREE TOPSOIL AND SEED ALL DISTURBED AREAS WITH SHORT SEED MIX (AS APPROVED BY SUMMIT COUNTY STRIP AND STOCKPILE EXISTING TOPSOIL IN CONSTRUCTION AREA. SCREEN TOPSOIL PRIOR TO INSTALLATION.)
 - KEEP EXISTING TREES WHERE POSSIBLE. TAKING INTO CONSIDERATION DRIP LINES AND ROOT STRUCTURE. PROTECT EXISTING TREES WITH FENCING LOCATED AT OR OUTSIDE DRIP LINE OF TREE. STOCKPILE AND REUSE EXISTING TREES WHERE POSSIBLE.
 - GENERAL CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS PER SPECIFICATIONS AND CODE REQUIREMENTS.
 - PRIOR TO ANY LANDSCAPE WORK, REMOVE ALL DEBRIS, PAINT, CONCRETE, STUMPS, SLASH, ETC. FROM LANDSCAPE AREA.
 - LOCATE ALL PLANTINGS TO AVOID SNOW STACKING & SNOW SLIDE AREAS FROM ABOVE.
 - SHRUBS ARE TO BE FIELD LOCATED AS APPROVED BY OWNER AND ARCHITECT.
 - ALL NEW LANDSCAPING TO BE IRRIGATED WITH DRIP IRRIGATION SYSTEM. MAXIMUM 1,000 SF IRRIGATED SPACE. PROVIDE SUBMITTAL.
 - ALL NEW PLANTINGS SHOULD BE HIGH ALTITUDE GROWN AND OR COLLECTED TO ENSURE BETTER SURVIVAL.
 - NATURALIZE GROUPING OF TREES BY VARYING HEIGHT & LOCATION WHEREVER POSSIBLE.
 - SCREEN ALL UTILITY PEDESTALS WITH LANDSCAPE MATERIAL.
 - PROVIDE 3" TO 4" DIAMETER STONE RIP-RAP OVER WEED BARRIER FABRIC AT BUILDING DRIP LINES. UNULATE EDGES AND PROVIDE LANDSCAPE EDGING AT RIPRAP TO TOPSOIL JUNCTURE.
 - INSTALL & BACKFILL ALL PLANTINGS WITH SOIL MIX INCLUDING ORGANIC SOIL AMENDMENTS PER SPECIES REQUIREMENTS AND LANDSCAPE DETAILS.
 - ROOT FEED ALL NEWLY PLANTED TREES DURING INSTALLATION. PROVIDE LIQUID GROWTH TREE STIMULATOR AND SOLUBLE FERTILIZER AT RECOMMENDED RATE FOR EACH TREE SPECIES.
 - PROVIDE 3" OF SHREDDED BARK MULCH AT ALL SHRUB AND TREE WELLS.
 - LANDSCAPE BOULDERS OF 2' OR LARGER SHALL BE RETAINED ON SITE FOR USE IN LANDSCAPE WORK. BURY DECORATIVE BOULDERS ONE-HALF OF DIAMETER AS APPROVED BY TOWN OF BLUE RIVER PRIOR TO INSTALLATION.
 - ALL ROCK OUTCROPPINGS THAT ARE TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITY.
 - ADDITIONAL CONSULTATION WITH A QUALIFIED LANDSCAPE PROFESSIONAL AT OWNER OPTION IS RECOMMENDED.
 - NOTE: ALL LANDSCAPING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH SUMMIT COUNTY AND TOWN OF BLUE RIVER.



LOT COVERAGE		
	SQ. FT.	PERCENTAGE
BUILDING - (INCLUDES OVERHANGS AND DECKS)	3,160 S.F.	00%
HARDSCAPE - (DRIVEWAY, ENTRY WALK AND PATIO)	791 S.F.	00%
OPEN SPACE	00 S.F.	00%
TOTAL LOT SIZE	26,390 S.F.	100%

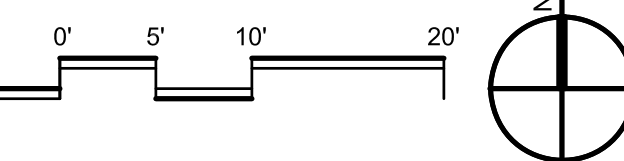
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PROPOSED SITE and LANDSCAPE PLAN

SCALE: 1" = 10'-0"



PROGRESS SET: 04.08.25

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SEIFRIED MOUNTAIN HOUSE
 0039 LODESTONE TRAIL, BLUE RIVER, COLORADO 80424 (LOT 532, THE CROWN SUBDIVISION)

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 SHEET NUMBER:
SP-1.1
 PROPOSED SITE and LANDSCAPE PLAN

MAIN ROOM FINISH SCHEDULE

#	ROOM NAME	FLOOR	WALLS	CEILING	NOTES
	MATERIAL	BASE MATERIAL	MATERIAL	MATERIAL	HEIGHT
201	ENTRY	SLATE	WOOD	1	11'-0"
202	LIVING	WOOD	WOOD	1	1 VAULTED
203	KITCHEN	WOOD	WOOD	1	1 VAULTED
204	DINING	WOOD	WOOD	1	1 VAULTED
205	FOYER	WOOD	WOOD	1	1 16'-4"
206	PANTRY	WOOD	WOOD	1	1 9'-9 7/8"
207	VESTIBULE	WOOD	WOOD	1	1 9'-9 7/8"
208	MASTER SUITE	WOOD	WOOD	1	1 VAULTED
209	MASTER BATH	TILE	WOOD	1	1 9'-9 7/8"
210	SHOWER	TILE	TILE	1	1 9'-9 7/8"
211	WATER CLOSET	TILE	WOOD	1	1 9'-9 7/8"
212	CLOSET	WOOD	WOOD	1	1 9'-9 7/8"
213	CLOSET	WOOD	WOOD	1	1 9'-9 7/8"
214	NOT USED	WOOD	WOOD	1	1 9'-9 7/8"
215	POWDER	WOOD	WOOD	1	1 9'-9 7/8"

DOOR TYPE SCHEDULE

ID	WIDTH	HEIGHT	OPERATION	NOTES
O1	10'-0"	9'-0"	TRIPLE SLIDER	
O2	12'-0"	9'-0"	TRIPLE SLIDER	
O3	4'-0"	9'-0"	RT HAND SWING	
O4	18'-0"	8'-0"	OVERHEAD	WIDUS ON UPPER
O5	2'-4"	1'-0"	RH SWING	
O6	2'-4"	1'-0"	LH SWING	
O7	2'-8"	1'-0"	RH SWING	
O8	2'-8"	1'-0"	LH SWING	
O9	3'-0"	1'-0"	RH SWING	
O10	3'-0"	1'-0"	LH SWING	
O11	4'-0"	1'-0"	DBL. RAIL	(2) DOORS
O12	3'-0"	1'-0"	DBL. RAIL	(2) DOORS
O13	5'-0"	1'-0"	DBL. SLIDING	
O14	9'-0"	8'-0"	OVERHEAD	

NOTE: SEE ELEVATIONS FOR DOOR ID TAGS

WINDOW TYPE SCHEDULE

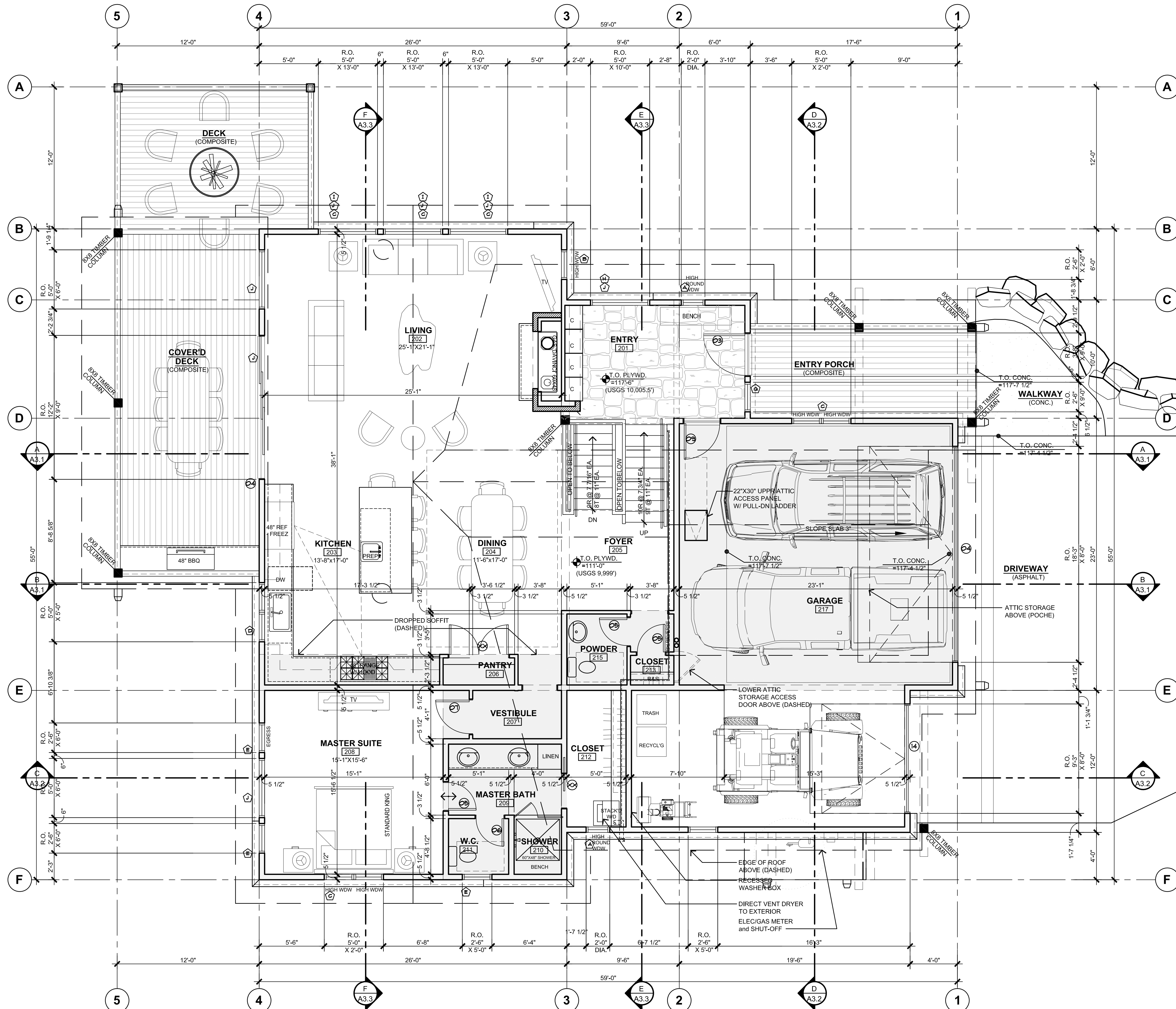
ID	WIDTH	HEIGHT	OPERATION	NOTES
A	2'-0"	DIAMETER	FIXED	
B	2'-6"	2'-0"	AWNING	
C	5'-0"	2'-0"	DBL. AWNING	
D	5'-0"	5'-0"	DBL. CASEMENT	
E	2'-6"	6'-0"	CASEMENT	
F	5'-0"	6'-0"	DBL. CASEMENT	
G	2'-6"	9'-0"	FIXED	TEMPERED
H	5'-0"	4'-0"	FIXED	
I	5'-0"	5'-0"	FIXED	
J	5'-0"	6'-0"	FIXED	

NOTE: SEE ELEVATIONS FOR WINDOW ID TAGS

ROOM FINISH NOTES

NOTE: VERIFY ALL INTERIOR FINISHES WITH OWNER

- 5/8" TYPE 'X' GYPSUM BOARD WITH LIGHT HAND TROWELED FINISH (PAINT)
- 1/2" CEMENT BOARD WITH TILED FINISH
- PROVIDE EPOXY FLOOR FINISH
- VERIFY MILLWORK WITH OWNER-PROVIDE SUBMITTAL
- PROVIDE RAIL DOOR & RAIL DOOR HARDWARE. VERIFY FINISH WITH OWNER
- TOP LOAD WASHER AND DRYER
- PROVIDE 60"x40" AQUAPEUTICS OASIS LUXURY STEAM SHOWER. ROUGH-IN REQUIRED ELECTRICAL AND PLUMBING PER MANUFACTURER SPECIFICATIONS.
- PROVIDE SPECIAL FINISHES, LAVATORY, AND LIGHT FIXTURES PER OWNER
- VERIFY CLOSET SYSTEMS WITH OWNER
- OPTIONAL BUNK ALCOVE WITH NICHE & ELECTRICAL OUTLET (2 PER BUNK TYP.)



MAIN LEVEL PLAN

SCALE: 1/4" = 1'-0"

1,784 SF - FINISHED
841 SF - UNFINISHED



REVISIONS:

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CHECKED BY: S.SHAINHOLTZ

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SEIFRIED MOUNTAIN HOUSE

0039 LODGESTONE TRAIL, BLUE RIVER, COLORADO 80424 (LOT 532, THE CROWN SUBDIVISION)

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SHEET NUMBER:

A-1.2
MAIN LEVEL PLAN

ROOF NOTES:

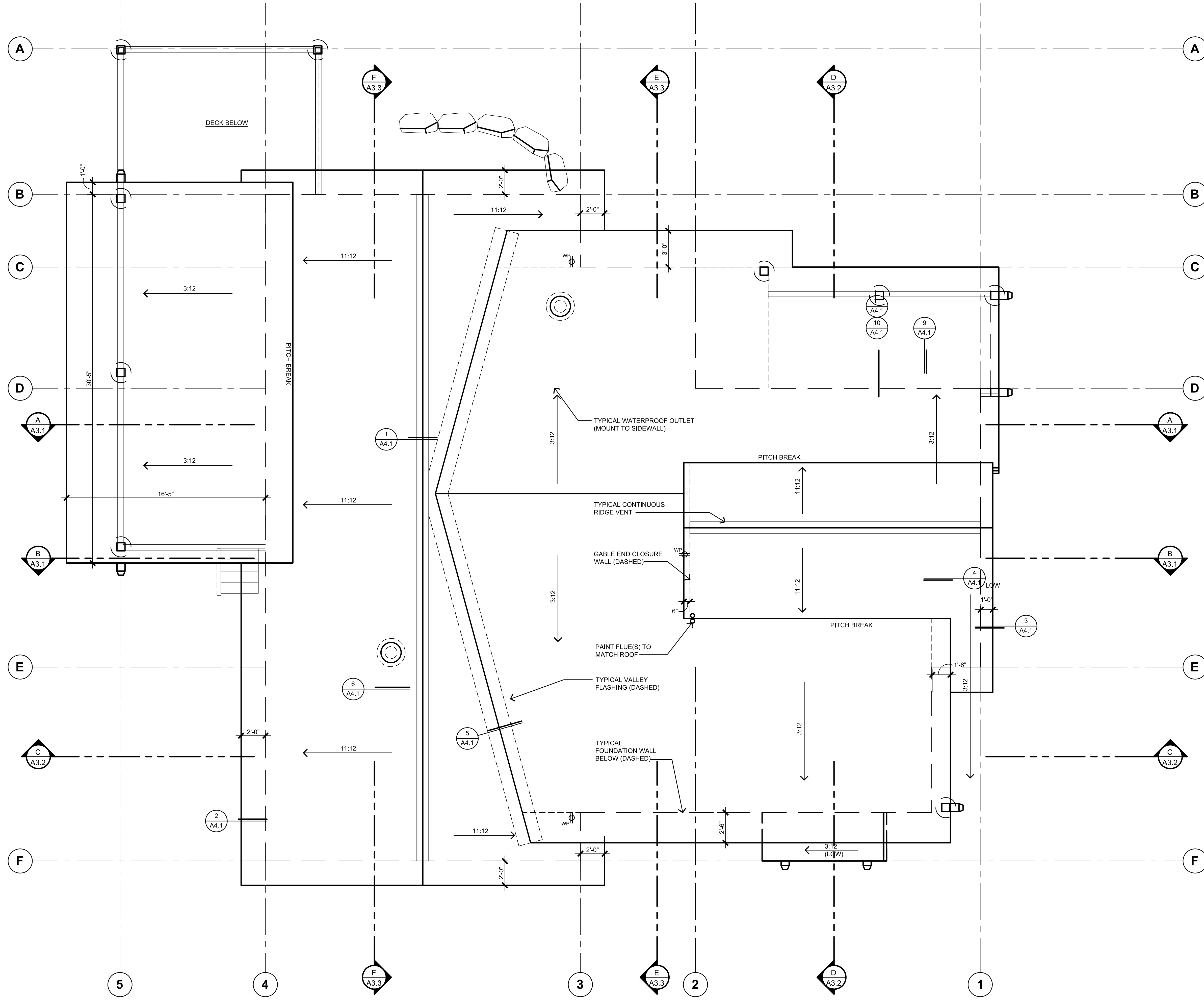
1. PROVIDE HEAT TAPE @ HEATED GUTTERS & DOWNSPOUTS. PROVIDE ELECTRIC OUTLET FOR HEAT TAPE AT EACH DOWNSPOUT LOCATION.
2. PAINT ALL EXPOSED PIPING EXTENDING THROUGH ROOF TO MATCH ROOF.
3. PROVIDE VALLEY FLASHING AT ALL VALLEYS.
4. OVERHANG DIMENSIONS ARE TO END OF RAFTER/TRUSSES - SEE DETAILS.
5. REFER TO PLAN FOR ALL ROOF OVERHANGS.
6. PROVIDE KICK-OUT FLASHING AT ALL EAVE/WALL JUNCTURES.
7. PROVIDE ADDITIONAL SOFFIT OUTLETS FOR CHRISTMAS LIGHTING - LOCATE PER OWNER INPUT.
8. SEE SHEET SP1.2 FOR BUILDING RIDGE HEIGHTS.
9. PROVIDE ILC AS REQUIRED.
10. CONTRACTOR TO COORDINATE HEATED GUTTER AND DOWNSPOUT LOCATIONS WITH ARCHITECT
11. ALL PLUMBING VENTS, BOILER VENTS, AND OTHER ROOF PENETRATIONS ARE WITHIN 5" OF RIDGE LINES. PAINT TO MATCH ROOF COLOR.

COLD ROOF NOTE:

THIS PROJECT INCLUDES A "COLD ROOF" DESIGN. PROVIDE INSULATION BAFFLES AT ALL RAFTER SPACES AND HOLD DOWN VALLEY FRAMING TO ENSURE AIRFLOW ABOVE ALL VALLEYS. THIS INCLUDES FLUSH VALLEYS (SEE DETAIL). IF NECESSARY DRILL HOLES FOR VENTILATION AS APPROVED BY THE STRUCTURAL ENGINEER. THIS INCLUDES BEAMS AND ALL AREAS THAT RESTRICT AIR FLOW FROM SOFFIT VENTS UP TO RIDGE VENTS. PROVIDE 1" DIAMETER HOLES @ 8' O.C. IN THESE AREAS. RETAIN 1 1/2" OF BEAM ABOVE VENTILATION HOLES. VERIFY WITH STRUCTURAL ENGINEER.

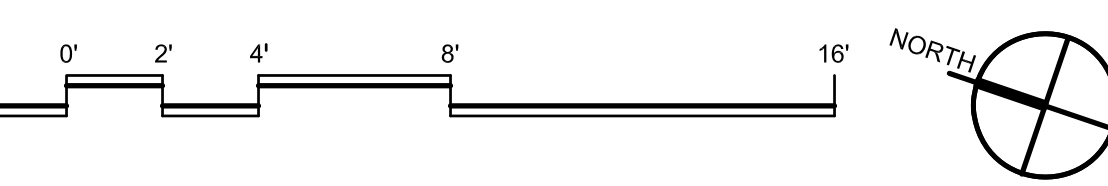
ROOFING NOTE:
REFER TO SPECIFICATIONS. PROVIDE ROOF PRIMER, ROOF MEMBRANE AND ALL ROOFING PER SPECIFICATION REQUIREMENTS. PROVIDE "W.R. GRACE" MANUFACTURER CERTIFICATION LETTER STATING THAT ALL MEMBRANES HAVE BEEN INSTALLED IN COMPLETE COMPLIANCE WITH ALL MANUFACTURER'S REQUIREMENTS.

MAINTENANCE NOTE:
THE OWNER HAS BEEN ADVISED THAT ALL ROOF AND DECK SURFACES MUST BE MAINTAINED RELATIVELY FREE OF SNOW & ICE.



ROOF PLAN

SCALE: 1/4" = 1'-0"



REVISIONS:

JOB NO: 12315.1
DATE: 04.08.25
DRAWN BY: T.SHAFFER
CHECKED BY: S.SHAINHOLTZ

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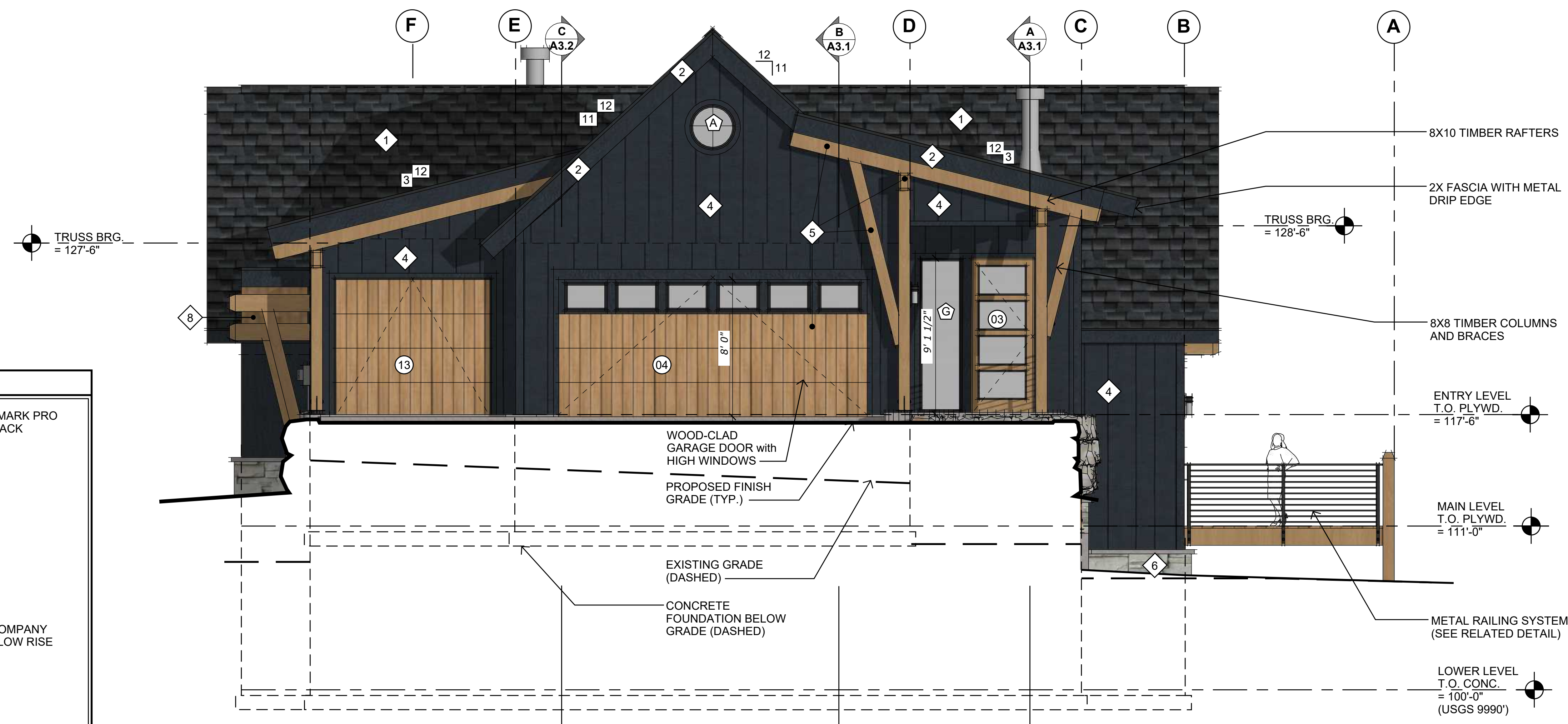
PROGRESS SET: 04.08.25

bhh Partners of Colorado
560 ADAMS AVE., P.O. BOX 2113, SILVERTHORNE, CO 80488, (970) 452-6680, www.bhhpartners.com
SEIFRIED MOUNTAIN HOUSE
0039 LODGESTONE TRAIL, BLUE RIVER, COLORADO 80424 (LOT 532, THE CROWN SUBDIVISION)

© 2025

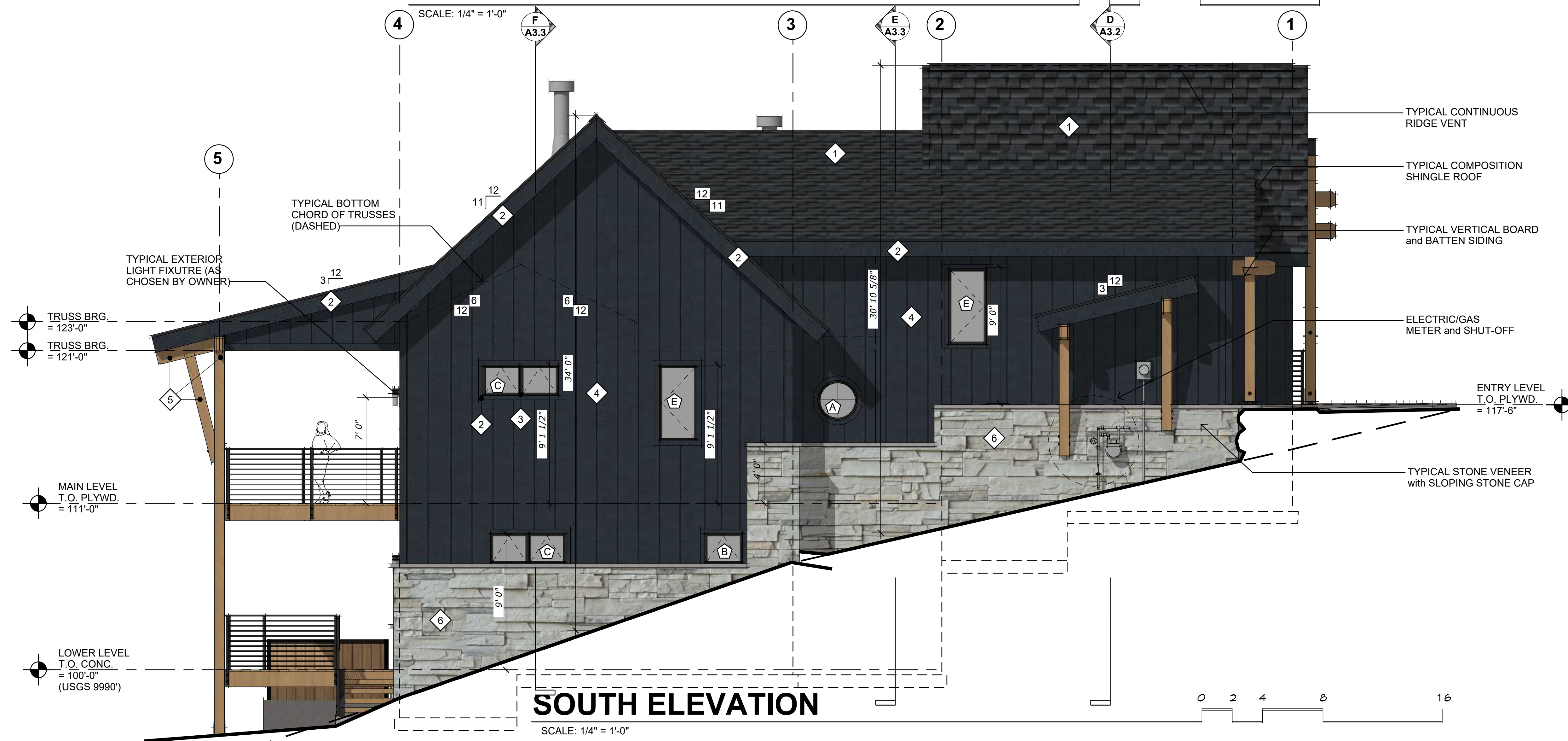
SHEET NUMBER:

A-1.4
ROOF PLAN



COLOR LEGEND	
1	COMPOSITION SHINGLE ROOFING 40 YR - MFGR: CERTAINTEED LANDMARK PRO - COLOR: MAX DEF MOIRE BLACK
2	FASCIA and TRIM - MFGR: JAMES HARDIE - COLOR: MIDNIGHT SOOT
3	WINDOW CLAD - MFGR: SIERRA PACIFIC - COLOR: BLACK
4	VERTICAL BOARD and BATTEN - MFGR: JAMES HARDIE - COLOR: MIDNIGHT SOOT
5	BEAMS and COLUMNS - MFGR: SHERWIN WILLIAMS - COLOR: CROSSROADS
6	STONE VENEER - MFGR: GALLEGOS STONE COMPANY - COLOR: #366 COURTLAND LOW RISE
7	METAL DRIP EDGE, METAL RAILINGS and ACCENTS - COLOR: MATTE BLACK
8	SOFFITS - MFGR: JAMES HARDIE - COLOR: CYPRUS YELLOW

EAST ELEVATION



SOUTH ELEVATION

REVISIONS:

JOB NO: 12315.1
DATE: 04.08.25
DRAWN BY: T. SHAFFER
CHECKED BY: S. SHAINHOLTZ

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PROGRESS SET: 04.08.25

bhh Partners of COLORADO
560 ADAMS AVENUE SILVERTHORNE, CO 80498 (970) 515-100

SEIFRIED MOUNTAIN HOUSE
0039 LODGESTONE TRAIL, BLUE RIVER, COLORADO 80424 (LOT 532, THE CROWN SUBDIVISION)

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A-2.1
BUILDING ELEVATIONS



WEST ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

NOTE: REFER TO SHEET A-2.1 FOR TYPICAL NOTES AND MATERIALS.

REVISIONS:

JOB NO: 12315.1
 DATE: 04.08.25
 DRAWN BY: T. SHAFFER
 CHECKED BY: S. SHAINHOLTZ

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PROGRESS SET: 04.08.25

bhh Partners of COLORADO
 560 ADAMS AVENUE SILVERTHORNE, CO 80488 (970) 515-100

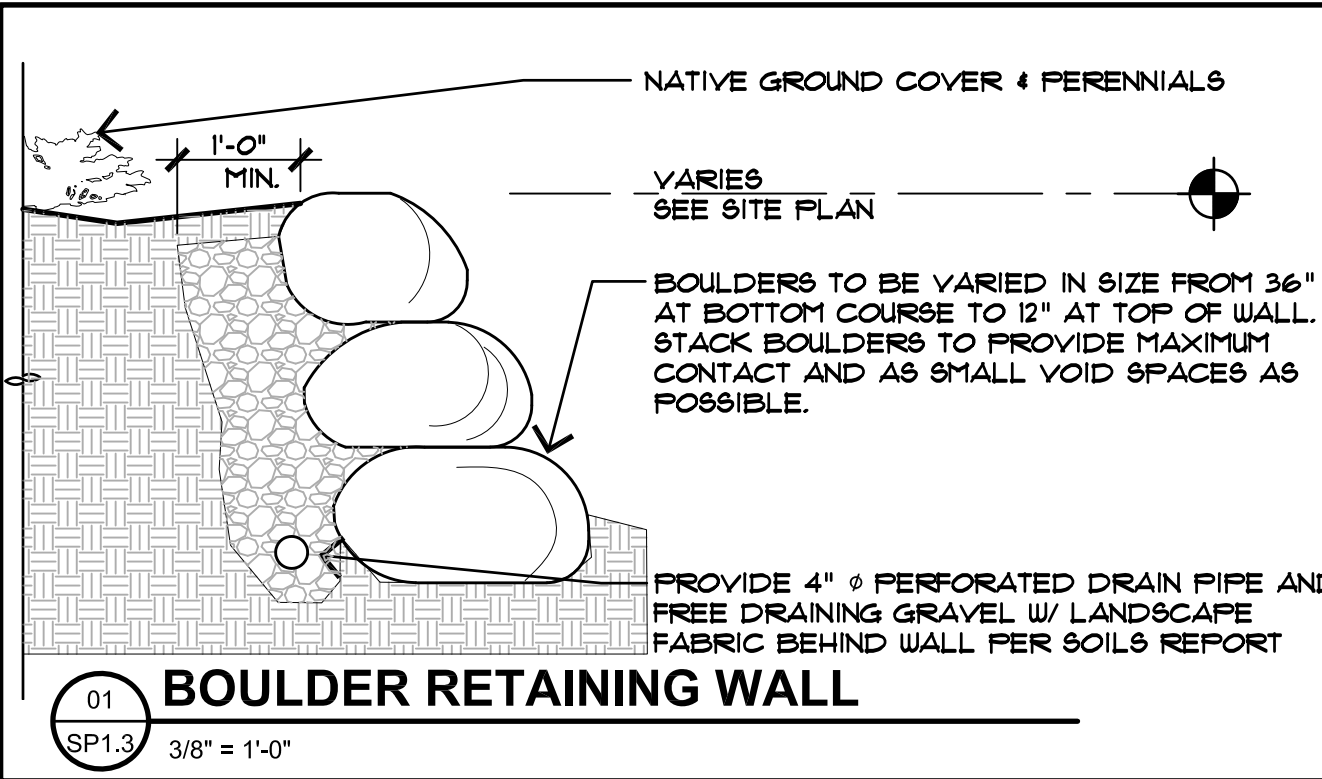
SEIFRIED MOUNTAIN HOUSE
 0039 LODGESTONE TRAIL, BLUE RIVER, COLORADO 80424 (LOT 532, THE CROWN SUBDIVISION)

© 2025

A2.2
 BUILDING ELEVATIONS

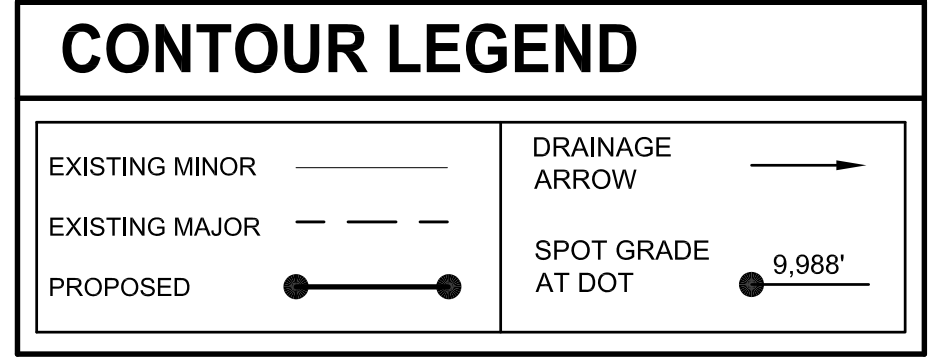
REQUIRED SNOWSTACK		
	SQ. FT.	PERCENTAGE
HARDSCAPE - (DRIVEWAY, ENTRY WALK AND PATIO)	946 S.F.	100%
REQ'D SNOW STACK (25% OF HARDSCAPE)	237 S.F.	25%
TOTAL SNOW STACK PROVIDED	452 S.F.	48%

BUILDING HEIGHT TABLE						
RIDGE POINT	RIDGE ELEVATION	NATURAL EXIST'G GRADE ELEVATION (APPROX.)	FINISHED GRADE ELEVATION	AS MEASURED FROM	CALCULATIONS	HEIGHT
(A)	10,024.6'	9,990.75'	9,991.15'	EXIST'G GRADE	10,024.6' - 9,991.15' =	33.45'
(B)	10,027.94'	10,001.5'	10,005.5'	EXIST'G GRADE	10,027.94' - 10,001.5' =	26.44'
(C)	10,024.6'	9,991'	9,990.75'	EXIST'G GRADE	10,024.6' - 9,990.75' =	33.85'
(D)	10,027.94'	9,996'	10,005.5'	EXIST'G GRADE	10,027.94' - 9,996' =	31.64'



- REVEGETATION NOTES**
- REVEGETATE ALL DISTURBED AREAS ON THE SITE WITH:
- SHORT DRY GRASS MIX #2 LB/1,000 SF:
 HARD FESCUE 30%
 CREEPING RED FESCUE 30%
 SHEEP FESCUE 25%
 CANADA BLUEGRASS 10%
 CANBY BLUEGRASS 5%
- SLOPES OVER 3:1 SHALL BE MAT TACKIFIED OR NETTED.
- MOUNTAIN MAGIC WILDFLOWER MIX #1 LB/10,000 SF:
 BABY'S BREATH BLANKETFLOWER
 CALIFORNIA POPPY SHIRLEY POPPY
 BLUE FLAX LUPINE MIX
 WALLFLOWER MAIDEN PINKS
 PENSTEMON, ROCKY MOUNTAIN WILD THYME
- ROCKY MOUNTAIN BLUE COLUMBINE MIX #1 LB/25,000 SF OR WESTERN NATIVE WILDFLOWER MIX #1 LB/6,000 SF:
 MOUNTAIN LUPINE CONEFLOWER, WESTERN PENSTEMON, SMALL FLOWERED COLUMBINE, COLORADO SULFUR FLOWER PENSTEMON, ROCKY MOUNTAIN GERANIUM, RICHARDSON NODDING GROUNDSEL PENSTEMON, WASATCH ASTER, ENGLEMANNS WESTERN LARKSPUR PENSTEMON, RYDBERGS ORANGE MOUNTAIN DAISY AMERICAN VETCH GAILLARDIA/BLANKETFLOWER GIANT LOUSEWORT

- LANDSCAPE NOTES**
- PROVIDE 3" (MIN.) CLAYFREE TOPSOIL AND SEED ALL DISTURBED AREAS WITH SHORT SEED MIX (AS APPROVED BY SUMMIT COUNTY STRIP AND STOCKPILE EXISTING TOPSOIL IN CONSTRUCTION AREA. SCREEN TOPSOIL PRIOR TO INSTALLATION.)
 - KEEP EXISTING TREES WHERE POSSIBLE. TAKING INTO CONSIDERATION DRIP LINES AND ROOT STRUCTURE. PROTECT EXISTING TREES WITH FENCING LOCATED AT OR OUTSIDE DRIP LINE OF TREE. STOCKPILE AND REUSE EXISTING TREES WHERE POSSIBLE.
 - GENERAL CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS PER SPECIFICATIONS AND CODE REQUIREMENTS.
 - PRIOR TO ANY LANDSCAPE WORK, REMOVE ALL DEBRIS, PAINT, CONCRETE, STUMPS, SLASH, ETC. FROM LANDSCAPE AREA.
 - LOCATE ALL PLANTINGS TO AVOID SNOW STACKING & SNOW SLIDE AREAS FROM ABOVE.
 - SHRUBS ARE TO BE FIELD LOCATED AS APPROVED BY OWNER AND ARCHITECT.
 - ALL NEW LANDSCAPING TO BE IRRIGATED WITH DRIP IRRIGATION SYSTEM. MAXIMUM 1,000 SF IRRIGATED SPACE. PROVIDE SUBMITTAL.
 - ALL NEW PLANTINGS SHOULD BE HIGH ALTITUDE GROWN AND OR COLLECTED TO ENSURE BETTER SURVIVAL.
 - NATURALIZE GROUPING OF TREES BY VARYING HEIGHT & LOCATION WHEREVER POSSIBLE.
 - SCREEN ALL UTILITY PEDESTALS WITH LANDSCAPE MATERIAL.
 - PROVIDE 3" TO 4" DIAMETER STONE RIP-RAP OVER WEED BARRIER FABRIC AT BUILDING DRIP LINES. UNULATE EDGES AND PROVIDE LANDSCAPE EDGING AT RIPRAP TO TOPSOIL JUNCTURE.
 - INSTALL & BACKFILL ALL PLANTINGS WITH SOIL MIX INCLUDING ORGANIC SOIL AMENDMENTS PER SPECIES REQUIREMENTS AND LANDSCAPE DETAILS.
 - ROOT FEED ALL NEWLY PLANTED TREES DURING INSTALLATION. PROVIDE LIQUID GROWTH TREE STIMULATOR AND SOLUBLE FERTILIZER AT RECOMMENDED RATE FOR EACH TREE SPECIES.
 - PROVIDE 3" OF SHREDDED BARK MULCH AT ALL SHRUB AND TREE WELLS.
 - LANDSCAPE BOULDERS OF 2' OR LARGER SHALL BE RETAINED ON SITE FOR USE IN LANDSCAPE WORK. BURY DECORATIVE BOULDERS ONE-HALF OF DIAMETER AS APPROVED BY TOWN OF BLUE RIVER PRIOR TO INSTALLATION.
 - ALL ROCK OUTCROPPINGS THAT ARE TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITY.
 - ADDITIONAL CONSULTATION WITH A QUALIFIED LANDSCAPE PROFESSIONAL AT OWNER OPTION IS RECOMMENDED.
 - NOTE: ALL LANDSCAPING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH SUMMIT COUNTY AND TOWN OF BLUE RIVER.

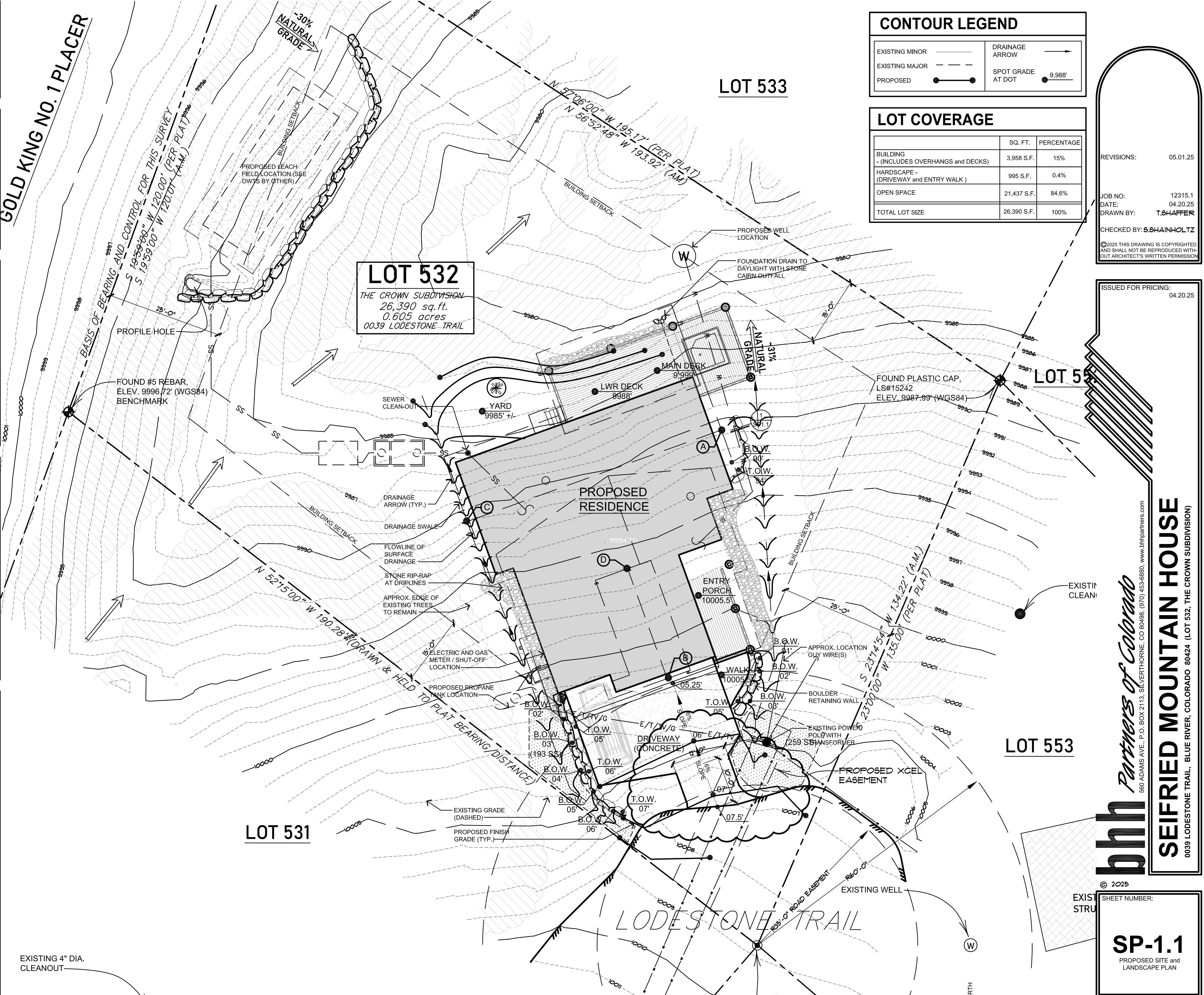


LOT COVERAGE		
	SQ. FT.	PERCENTAGE
BUILDING - (INCLUDES OVERHANGS and DECKS)	3,958 S.F.	15%
HARDSCAPE - (DRIVEWAY and ENTRY WALK)	995 S.F.	0.4%
OPEN SPACE	21,437 S.F.	84.6%
TOTAL LOT SIZE	26,390 S.F.	100%

REVISIONS: 05.01.25

JOB NO: 12315.1
 DATE: 04.20.25
 DRAWN BY: T.SHAFFER
 CHECKED BY: S.SHAINHOLTZ
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ISSUED FOR PRICING: 04.20.25





Building Permit Application

Email to: info@townofblueriver.org

Questions? Call (970) 547-0545 ext. 1

Lot Number: Lot 3 Subdivision: SPRUCE VALLEY RANCH
 Blue River Physical Address: 0064 TARNWOOD

Homeowner Information:

Name: JEFF & AMY SODER-QUIST
 Mailing Address: 1779 RIDGEWAY DRIVE, GHILOAM SPRINGS, AR 72761
 Phone: 479-549-7123
 Email: FOUR SODAS@ICLOUD.COM

Contractor Information

Company Name: TIM G. JOHNSON COMPANY
 Contact Name: TIM JOHNSON
 Mailing Address: P.O. BOX 2173
 Phone: 970-389-0454
 Email: TIMJOHNSON.COMPANY@YAHOO.COM
 Contractor Registration #: _____

***Please note a Town of Blue River Business License is required for all businesses to conduct business in the Town of Blue River including contractors, sub-contractors and architects. ***

Description of Project:

CARRIAGE HOUSE ADDITION

Distance to Property Line	Type of Heat: <u>GAS-BOILER</u>	Construction Type: <u>V</u>
North: <u>152.75'</u>	Roof: <u>COMP. ASPHALT</u>	Building Height: <u>26'</u>
South: <u>120.99'</u>	Exterior Walls: <u>STONE/WOOD</u>	No. Stories: <u>2</u>
East: <u>53.46'</u>	Interior Walls: <u>GYP</u>	Total # Bedrooms: <u>2</u>
West: <u>214.68'</u>	Basement Fin. Sq.Ft.: <u>N/A</u>	Total # Bathrooms: <u>3</u>
New Addition/Res. Sq.Ft.: <u>1759</u>	Main Level Sq.Ft.: <u>1327</u>	Septic or Sewer: <u>OWTS</u>
Garage Sq.Ft.: <u>460</u>	2 nd Level Sq.Ft.: <u>892</u>	
Total Square footage: <u>2219</u>	3 rd Level Sq.Ft.: <u>N/A</u>	

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATION WORK, & FIREPLACES. THIS PERMIT BECOMES NULL AND VOID IF CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN ____ OR IF CONSTRUCTION IS SUSPENDED OR ABANDONED FOR A PERIOD OF ____ AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS REGARDING BUILDING CONSTRUCTION AND TO BUILD ACCORDING TO THE APPROVED PLANS. THE GRANT OF A PERMIT DOES NOT PRESUMED TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

Signature of ~~Owner~~ Architect: [Signature] Date: 3/10/25

Submittal Requirements

ALL Submittals Must be Electronic

Emailed to: info@townofblueriver.org

Planning & Zoning Review Submittal Requirements

**Please indicate via check box item included as well as page number in submitted packet.

Completed <input type="checkbox"/>	Item	Description	Page #
<input checked="" type="checkbox"/>	Site Plan	Scale: 1" = 10'; May appear on a single sight plan. IF on a separate page, please indicate the page.	A1
<input checked="" type="checkbox"/>		Property Boundaries	A1
<input checked="" type="checkbox"/>		Building Envelope with setbacks	A1
<input checked="" type="checkbox"/>		Proposed Buildings	A1
<input checked="" type="checkbox"/>		Structures (existing & proposed)	A1
<input checked="" type="checkbox"/>		Driveway & Grades	A1
<input type="checkbox"/>	N/A	A wetlands delineation & Stream crossing structures where applicable.	
<input checked="" type="checkbox"/>		Topographic survey, prepared and stamped by a licensed surveyor, indicating site contours at 2' intervals, easements, and significant natural features such as rock outcroppings, drainages and mature tree stands.	
<input type="checkbox"/>		Transformer & vault location (if installed by owner or existing)	
<input checked="" type="checkbox"/>		Well location; septic if applicable	
<input checked="" type="checkbox"/>		Snow storage areas and calculations	
<input checked="" type="checkbox"/>		Major site improvements	
<input checked="" type="checkbox"/>		Existing & proposed grading & drainage	
	Landscaping Plan	*May be included in the site plan**	
		Landscaping must indicate tree removal for defensible space requirement; any trees 6" or more primarily noting the removal of any ponderosa pines or large trees. Clear cutting of a site is not allowed.	
		Indicate the percentage of trees removed and revegetation to be conducted.	
		Upon completion of the construction project, all land must be raked and	

		reseeded with native seed prior to issuance of CO. in cases of completion during snow coverage and/or winter, CO may be issued with conditions for completions within 60 days of the last snow and a deposit.	
		Any major structures (retaining walls; fences; landscaping rocks) must be indicated in detail on plans in conformance with the design regulations.	
		Indicating building walls, floors and roof relative to the site, including existing and proposed grades, retaining wall and proposed site improvements.	
✓	Floor Plans	Scale 1/8" = 1' 1/4" = 1'-0"	A2 & A3
✓		Indicate the general layout of all rooms, approximate size, and total square footage of enclosed space for each floor level.	
✓	Exterior Elevations	Scale same as floor plans 1/4" = 1'-0"	A5 & A6
✓		Detail to indicate the architectural character of the residence, fenestration and existing and proposed grades. Elevations must include a description of exterior materials and colors.	
✓	Roof Plan	Scale same as floor plans	A4
✓		Indicate the proposed roof pitch, overhang lengths, flue locations, roofing materials and elevations of major ridge lines and all eave lines.	
	Materials Sheet	Display materials to be used. Color renderings are suggested as well. In cases of additions, if matching the existing structure, photos of current home.	

TO MATCH EXISTING

Soderquist Carriage House

LEGAL DESCRIPTION
 Lot 3, Spruce Valley Ranch, Filing #1
 Summit County, Colorado

SHEET INDEX

A1	SITE PLAN, NOTES
A2	LOWER LEVEL FLOOR PLAN
A3	UPPER LEVEL FLOOR PLAN
A4	ROOF PLAN
A5	WEST & EAST ELEVATIONS
A6	SOUTH & NORTH ELEVATIONS
A7	BUILDING SECTIONS, WALL SECTION
A8	BUILDING SECTIONS, STAIR SECTION
S1	FOUNDATION PLAN, STRUCTURAL NOTES
S2	LOWER FLOOR FRAMING PLAN
S3	LOW ROOF & UPPER FLOOR FRAMING PLAN
S4	HIGH ROOF FRAMING PLAN
S5	STRUCTURAL DETAILS
ME1	LOWER LEVEL MECHANICAL / ELECTRICAL PLAN
ME2	UPPER LEVEL MECHANICAL / ELECTRICAL PLAN

AREA MATRIX

	FINISHED / LIVABLE	UNFINISHED	TOTAL
LOWER LEVEL	867 SF	460 SF	1327 SF
UPPER LEVEL	892 SF	0 SF	892 SF
TOTAL	1759 SF	460 SF	2219 SF
FOUNDATION FOOTPRINT:			1327 SF
ROOF AREA:			2198 SF
PORCH AREA:			100 SF
DECK AREA:			166 SF
PAVING / DRIVEWAY AREA:			512 SF
SNOWSTACK AREA:			144 SF

HEIGHT CALCULATIONS

LOWER LEVEL: 100'-0"=U.S.G.S. 9957'
 UPPER LEVEL: 110'-2"=U.S.G.S. 9567.17'

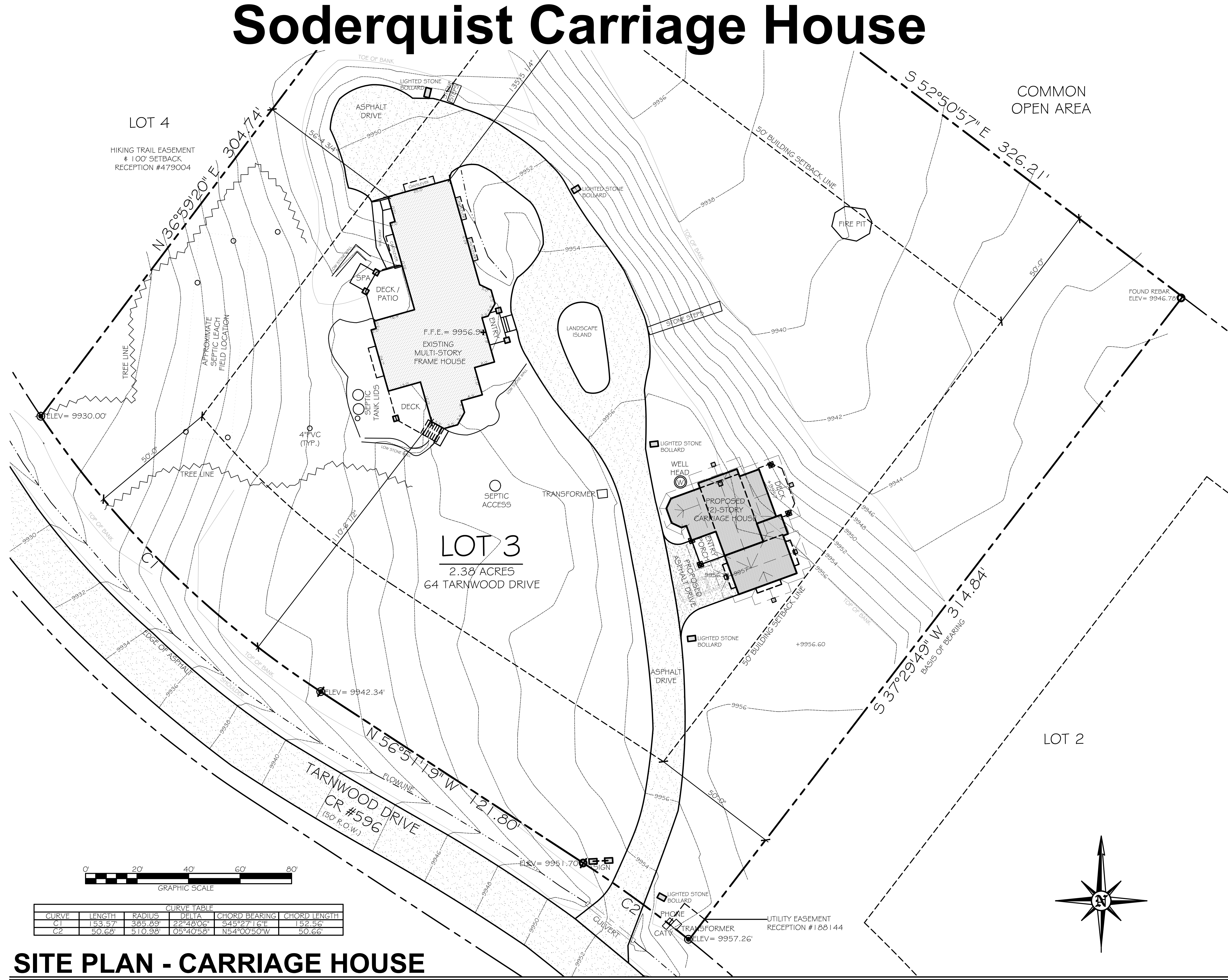
	ROOF ELEV.	NATURAL GRADE	PROPOSED	HEIGHT
1	9,982.42'	9,956.38'	9,957.00'	26.04'
2	9,982.42'	9,956.03'	9,956.00'	26.42'
3	9,982.42'	9,956.00'	9,957.00'	26.42'
4	9,980.67'	9,956.25'	9,956.00'	24.67'
5	9,973.42'	9,949.49'	9,949.49'	23.93'
6	9,972.25'	9,956.00'	9,956.00'	16.25'

NOTE:
 ALL RIDGES OR HIGH EAVES ARE MEASURED FROM THE TOP OF ROOF FINISH TO NATURAL OR PROPOSED GRADE, WHICH EVER IS GREATEST. THE GRADE ELEVATION IN THE SHADED BOX WAS SUBTRACTED FROM THE ROOF ELEVATION TO PRODUCE THE HEIGHT CALCULATION.

SURVEY LEGEND

	FOUND REBAR PIN # ALUMINUM CAP
	FOUND REBAR PIN # PLASTIC CAP
	UTILITY PEDESTAL
	WATER WELL HEAD
	SEWER MANHOLE
	SEWER CLEAN OUT

PROJECT #1899
 DATE OF FIELD SURVEY: 9/3/2020
 CONTOUR INTERVAL=2 FEET



SITE PLAN - CARRIAGE HOUSE

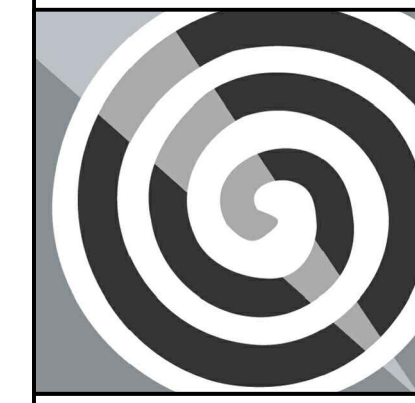
1"=20'-0"

CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	153.57'	385.89'	22°40'06"	S45°27'16"E	152.56'
C2	50.68'	510.98'	05°40'58"	N54°00'50"W	50.68'

PROJECT TEAM

OWNERS Jeff & Amy Soderquist 17799 Ridgeway Drive, Siloam Springs, AR 72761-8869 jsoderquist1@gmail.com	ARCHITECT EQUINOX Architecture LLC P.O. Box 6217 Breckenridge, CO 80424 (970) 453-9619 robbie@equinoxarchitecture.com	GENERAL CONTRACTOR Tim S. Johnson P.O. Box 2173 Breckenridge, CO 80424 (970) 389-0454 Timjohnson.company@yahoo.com	STRUCTURAL ENGINEER Sundquist Design Group P.O. Box 676 Conifer, CO 80433 (303) 838-2222 joe@sundquistdesign.com	SURVEYOR Schmidt Land Surveying, Inc. P.O. Box 5761 Frisco, CO 80443 (970) 409-9963 liz@schmidtlandsurveying.com	CIVIL ENGINEER Theobald Engineering & Construction P.O. Box 3817 Breckenridge, CO 80424 (970) 409-7978 robtheobald@yahoo.com	MECHANICAL ENGINEER
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Soderquist Carriage House
 64 Tarnwood Drive
 Lot 3, Spruce Valley Ranch, Filing # 1
 Summit County, Colorado



EQUINOX ARCHITECTURE LLC
 P.O. Box 6217, Breckenridge, CO 80424
 970.453.9619 (phone & fax)
 www.equinoxarchitecture.com

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 job # 15420
 date 3/13/25
 drawn by RKD
 checked by RKD
 Design Development

sheet
A1
 of 8

GENERAL NOTES

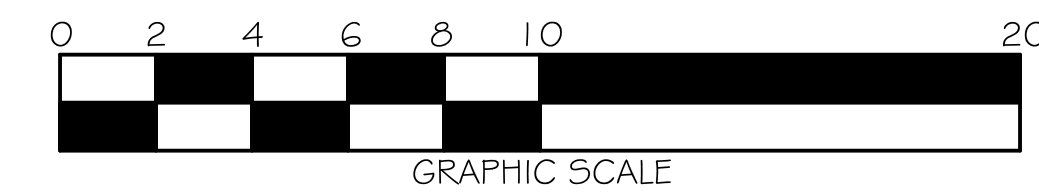
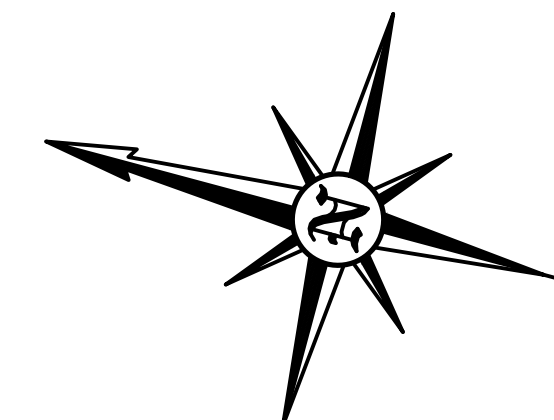
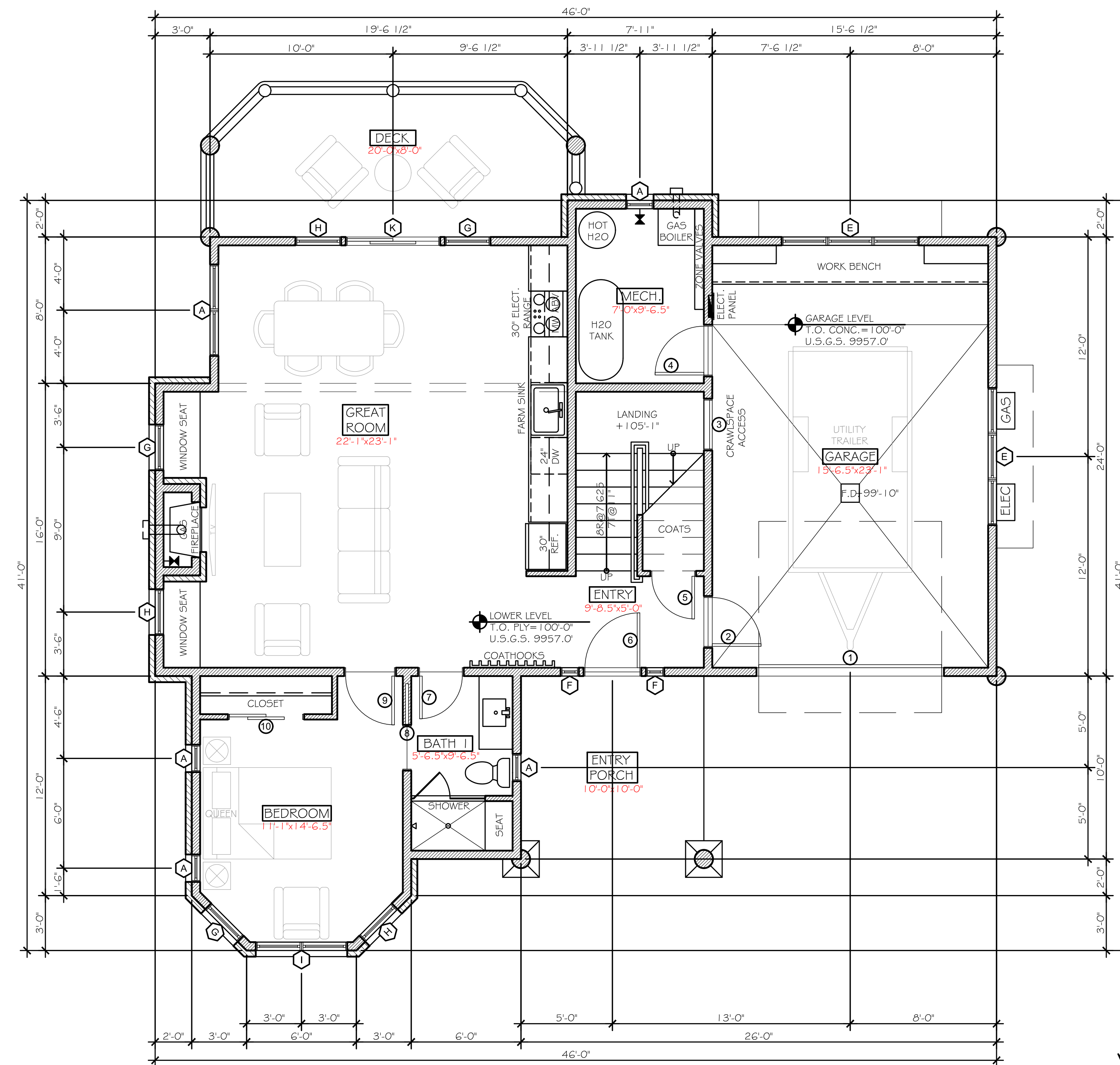
- The set of drawings contained within constitutes a "Builder's Set" only. The Contractor shall be responsible for all existing conditions, project coordination, finishes and detailing to complete the project per "Construction Industry Standards"
- These drawings are an instrument of service and are the exclusive property of EQUINOX Architecture LLC. They may not be duplicated, disclosed, or reproduced without the expressed written consent of EQUINOX Architecture LLC.
- Due to the complexity of the Design and Construction process, omissions and discrepancies may arise. Notify the Architect immediately to resolve any issues prior to any construction. Failure to do so shall relieve the Architect from any and all consequences.
- Changes from the plans made without consent of the Architect are unauthorized and shall relieve the Architect of responsibility of any and all consequences resulting from such changes.
- All construction and construction methods shall be in compliance of all applicable codes in force at the time of construction. This project is designed in accordance with the 2018 IRC as amended and adopted by the Town of Blue River Building Department.
- Contractor shall follow all Spruce Valley Ranch HOA, & Town of Blue River construction guidelines.
- All dimensions are to face of wood or concrete, verify all dimensions shown on plans prior to construction start (do not scale drawings) and notify Architect of any discrepancies.
- Floor elevations are given to top of concrete slabs and / or plywood sub-floor decking.
- Square footage calculations are for code purposes only and should be recalculated for any other purpose.
- See floor plans for stair rise and run dimensions.
- All interior walls and ceilings are to have 5/8" Type 'X' gypsum board, unless noted otherwise. Provide 5/8" moisture resistant gypsum board at walls and ceilings in moisture prone areas such as bathrooms and laundry room. Texture for all drywall areas to be selected or approved by Owner.
- Due to harsh winter conditions, roof and deck surfaces must be maintained relatively free of ice and snow in order to mitigate any possible problems with these surfaces.

DOOR SCHEDULE

#	SIZE	TYPE	MATER.	COMMENTS
1	10'-0"x8'-0"	OVERHEAD	FIBERGLASS	RADIUS TOP, INSULATED, 8-PANEL, CLAD TO MATCH EXISTING HOUSE
2	2'-8"x6'-8"	SWING (R.H.)	WOOD	SOLID CORE, 3-PANEL, 20 MIN. RATED, W/ THRESHOLD
3	2'-8"x4'-0"	SWING (L.H.)	WOOD	SOLID CORE, 1-PANEL
4	2'-8"x6'-8"	SWING (L.H.)	WOOD	SOLID CORE, 3-PANEL, 20 MIN. RATED, W/ THRESHOLD
5	2'-4"x6'-8"	SWING (L.H.)	WOOD	SOLID CORE, 3-PANEL
6	3'-0"x8'-0"	SWING (R.H.)	WOOD	RADIUS TOP, 3-PANEL W/ TOP-LIGHT, TO MATCH EXISTING HOUSE
7	2'-4"x6'-8"	SWING (R.H.)	WOOD	SOLID CORE, 3-PANEL, PRIVACY
8	2'-4"x6'-8"	POCKET	WOOD	SOLID CORE, 3-PANEL, PRIVACY
9	2'-8"x6'-8"	SWING (L.H.)	WOOD	SOLID CORE, 3-PANEL, PRIVACY
10	4'-0"x6'-8"	DBL. BI-PASS	WOOD	SOLID CORE, 3-PANEL (EACH DOOR)
11	2'-8"x6'-8"	SWING (R.H.)	WOOD	SOLID CORE, 3-PANEL, PRIVACY
12	2'-4"x6'-8"	POCKET	WOOD	SOLID CORE, 3-PANEL, PRIVACY
13	2'-4"x6'-8"	SWING (L.H.)	WOOD	SOLID CORE, 3-PANEL, PRIVACY
14	2'-4"x6'-8"	SWING (R.H.)	WOOD	SOLID CORE, 3-PANEL, PRIVACY
15	2'-8"x6'-8"	SWING (L.H.)	WOOD	SOLID CORE, 3-PANEL
16	4'-0"x6'-8"	DBL. BI-PASS	WOOD	SOLID CORE, 3-PANEL (EACH DOOR)
17	4'-0"x6'-8"	DBL. BI-PASS	WOOD	SOLID CORE, 3-PANEL (EACH DOOR)

DOOR NOTES

- See floor plans for door locations and swings.
- Doors and jambs to be fire rated where required by code. Fire Rated doors to be tight fitting solid core, 20-minute rated with threshold.
- Contractor to confirm all rough openings, swings, and jamb widths prior to ordering.
- All doors are to be solid core construction (1-3/4" thickness) with knotty alder, unless noted otherwise.
- Locate doors 4 1/2" from nearest perpendicular wall or centered in wall unless noted or drawn otherwise.
- Provide track, opener mechanism & remotes for over-head garage doors.
- Door symbols on plans are noted as ①.



LOWER LEVEL FLOOR PLAN

1/4"=1'-0"

LIVABLE 867 SF
GARAGE / MECH. 460 SF

Soderquist Carriage House

64 Tarnwood Drive
Lot 5, Spruce Valley Ranch, Filing # 1
Summit County, Colorado



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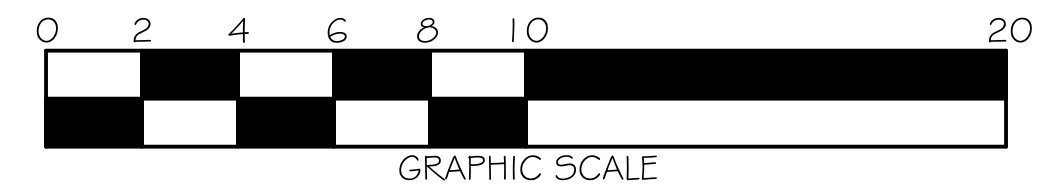
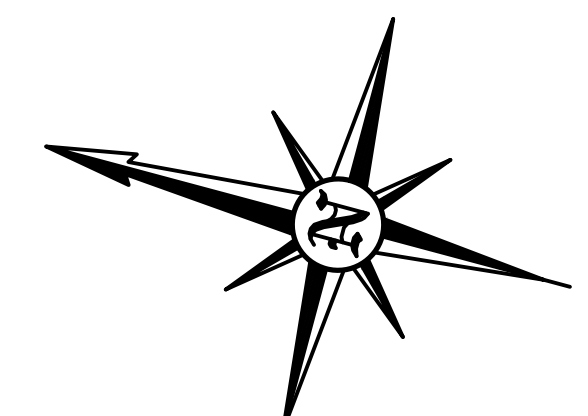
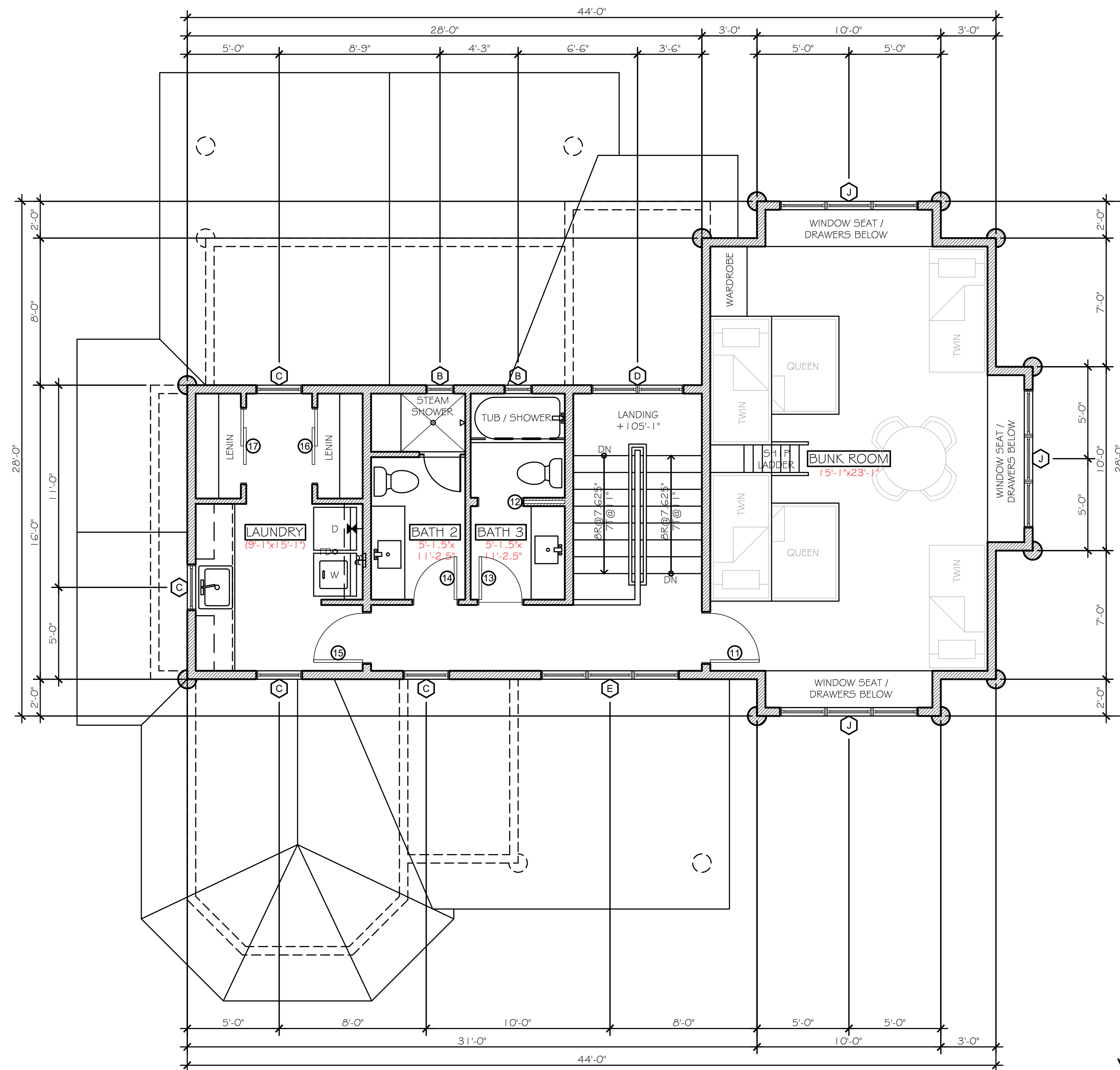
INSULATION NOTES

PROVIDE MINIMUM INSULATION FOR ASSEMBLIES PER 2018 IECC AS ADOPTED BY THE TOWN OF BLUE RIVER BUILDING DEPARTMENT AS FOLLOWS:

- 1) Exterior walls: R-23 Cavity + R-3 Exterior
- 2) Exterior Roof / Ceilings: R-49
- 3) Crawlspace / Cantilever Floors: R-38
- 4) Basement Walls: R-15 Continuous Insulated Sheathing or R-19 Cavity
- 5) Crawlspace Walls: R-15 Continuous Insulated Sheathing or R-19 Cavity
- 6) Under slab: R-10
- 7) Windows: U-.32
- 8) Skylights: U-.55

PROVIDE THE FOLLOWING INSULATION:

- EXTERIOR WALLS:** ZIP System continuous insulated sheathing (R-3), 2" of sprayed, closed-cell, polyurethane insulation (R-13), plus 3.5" fiber-glass batt insulation (R-13)
- ROOF:** 6" of sprayed, closed-cell, polyurethane insulation (R-39), plus 8" Blown-in batt (BIBS) insulation (R-29)
- GARAGE CEILING:** 1 1/2" Blown-in batt (BIBS) insulation (R-43)
- GARAGE INTERIOR WALL:** 5.5" Blown-in batt (BIBS) insulation (R-20)
- FOUNDATION WALLS:** 2" Continuous insulation exterior board (R-10), plus 1.5" of sprayed, closed-cell, polyurethane cavity insulation (R-10)
- UNDER-SLAB:** 2" Heatlok HFO under-slab, sprayed-foam insulation (R-15)
- INTERIOR FLOORS:** R-19 Fiberglass Batts with foil-face, facing upward
- INTERIOR WALLS:** R-11 Fiberglass Batts



UPPER LEVEL FLOOR PLAN

1/4"=1'-0"

NORTH
LIVABLE 892 SF

Soderquist Carriage House

64 Tarnwood Drive
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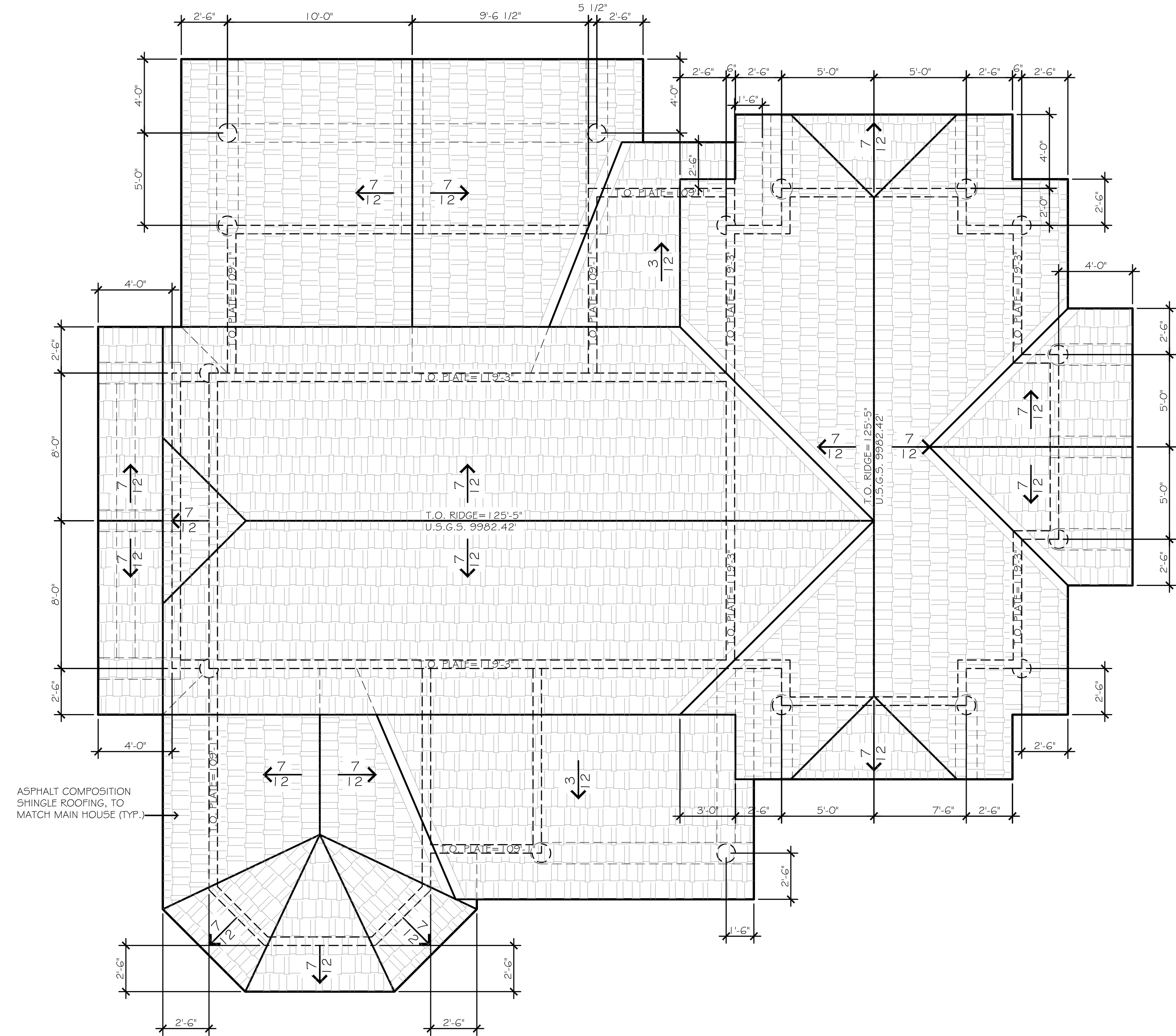
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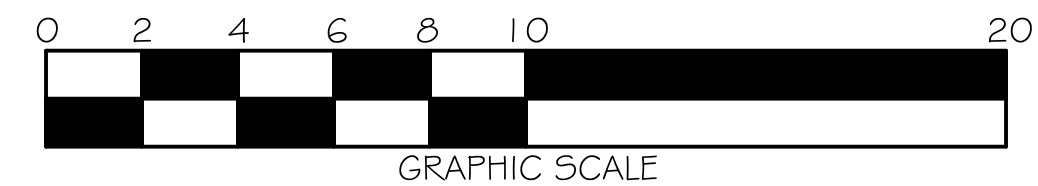
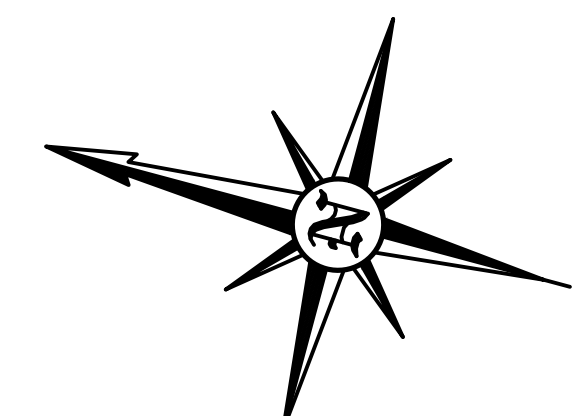
ROOFING NOTES

1. All roof overhang dimensions are finish dimensions.
2. Roof deck plywood to be covered with W.R. Grace Ice & Water Shield membrane (or approved equal), applied per manufacturer's recommendations.
3. Verify location of all plumbing vents/penetrations prior to installation - locate away from roof valleys and within 5'-0" of roof ridge. Roof penetrations are not permitted by code within 5' of the assigned common duplex property line.
4. All valley, eave and wall flashing and all roof penetrations shall be pre-finished galvanized metal, unless noted otherwise.
5. Roof material shall be GAF Timberline HD composition asphalt shingles, to match the existing main house.
6. All ridge & high eave elevations are given to top of finished roofing.
7. Provide electrical junction boxes for future heat tape near valley and side wall terminations.
8. Provide structural support, and electrical rough-in for future photovoltaic solar panels.



ASPHALT COMPOSITION SHINGLE ROOFING, TO MATCH MAIN HOUSE (TYP.)

T.O. RIDGE = 125'-5"
U.S.G.S. 9982.42'



ROOF PLAN

1/4" = 1'-0"

NORTH
ROOF AREA 2198 SF

Soderquist Carriage House

64 Tamwood Drive
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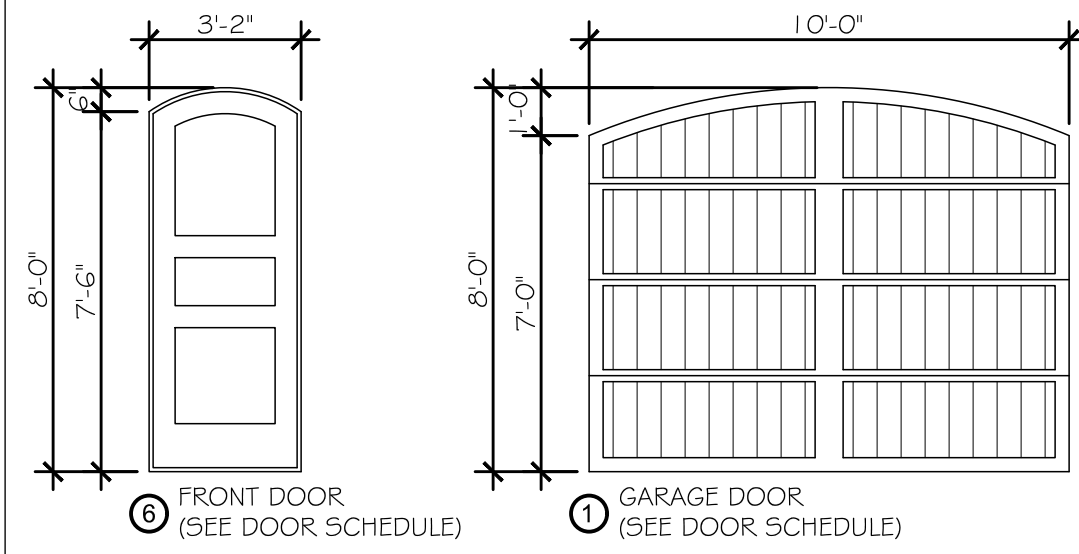
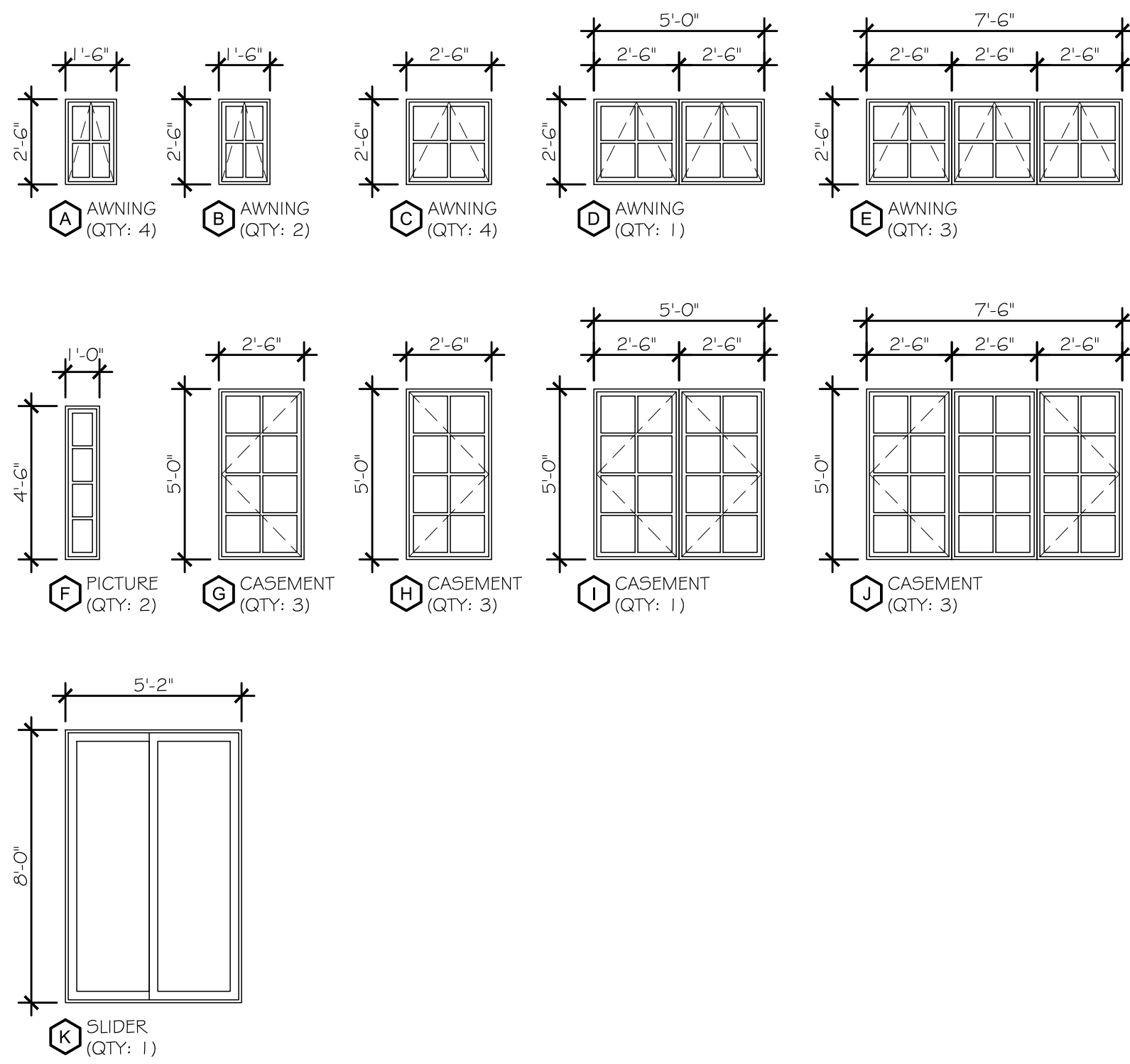
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WINDOW SCHEDULE



WINDOW NOTES

- All windows shall be wood frame and sash with aluminum exterior cladding from Sierra Pacific, except window "B". Window "B" to be all aluminum frame and sash.
- Window schedule dimensions are frame dimensions. Verify all rough opening dimensions with window supplier.
- See building elevations and sections for venting operation.
- All vented units shall be provided with screens.
- Patio and sliding glass doors to be provided by window manufacturer.
- Windows shall have wood casing & sills on the interior, with jamb extensions for 2x6 walls.
- All glazing shall be insulated, 2-pane glass, suitable for installation above 9,500' (altitude) and tempered where required by code.
- Provide insulated double-pane glazing with maximum .32 U-value per 2018 IECC.
- All exterior openings shall be wrapped with 6" Tyvek or Ice & Water Shield. Provide 26 ga. 1 1/2"x1 1/2" head flashing at all exterior openings, prime and paint or pre-finish to match window trim.
- General contractor and supplier to cross reference plans and elevations for window quantities, sizes and locations.
- Window supplier to advise General Contractor / Architect if additional reinforcement is required.
- Window supplier to provide submittal of window specifications & shop drawings for Architect review prior to fabrication.
- See elevations & sections for rough opening heights, dimensioned from the top of concrete slabs and topping slabs. Coordinate window head heights with exterior and interior door head heights where possible.
- Windows are typically dimensioned on the floor plans to the center line of window.

WINDOW SYMBOLS ARE SHOWN ON PLANS AS



WEST ELEVATION

1/4"=1'-0"



EAST ELEVATION

1/4"=1'-0"

Soderquist Carriage House

64 Tarrwood Drive
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ALL NEW MATERIALS & COLORS TO MATCH MATERIALS & COLORS OF THE EXISTING MAIN HOUSE.



SOUTH ELEVATION
1/4"=1'-0"



NORTH ELEVATION
1/4"=1'-0"

Soderquist Carriage House

64 Tarnwood Drive
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LEGAL DESCRIPTION

Lot 3, Spruce Valley Ranch, Filing #1
Summit County, Colorado

SHEET INDEX

- A1 SITE PLAN, NOTES
- A2 LOWER LEVEL FLOOR PLAN
- A3 UPPER LEVEL FLOOR PLAN
- A4 ROOF PLAN
- A5 WEST & EAST ELEVATIONS
- A6 SOUTH & NORTH ELEVATIONS
- A7 BUILDING SECTIONS, WALL SECTION
- A8 BUILDING SECTIONS, STAIR SECTION

- S1 FOUNDATION PLAN, STRUCTURAL NOTES
- S2 LOWER FLOOR FRAMING PLAN
- S3 LOW ROOF & UPPER FLOOR FRAMING PLAN
- S4 HIGH ROOF FRAMING PLAN
- S5 STRUCTURAL DETAILS

- ME1 LOWER LEVEL MECHANICAL / ELECTRICAL PLAN
- ME2 UPPER LEVEL MECHANICAL / ELECTRICAL PLAN

AREA MATRIX

	FINISHED / LIVABLE	UNFINISHED	TOTAL
LOWER LEVEL	867 SF	460 SF	1327 SF
UPPER LEVEL	892 SF	0 SF	892 SF
TOTAL	1759 SF	460 SF	2219 SF
FOUNDATION FOOTPRINT:			1327 SF
ROOF AREA:			2198 SF
PORCH AREA:			100 SF
DECK AREA:			166 SF
PAVING / DRIVEWAY AREA:			512 SF
SNOWSTACK AREA:			144 SF

HEIGHT CALCULATIONS

LOWER LEVEL: 100'-0"=U.S.G.S. 9957'
UPPER LEVEL: 110'-2"=U.S.G.S. 9567.17'

	ROOF ELEV.	NATURAL GRADE	PROPOSED	HEIGHT
1	9,982.42'	9,956.38'	9,957.00'	26.04'
2	9,982.42'	9,956.03'	9,956.00'	26.42'
3	9,982.42'	9,956.00'	9,957.00'	26.42'
4	9,980.67'	9,956.25'	9,956.00'	24.67'
5	9,973.42'	9,949.49'	9,949.49'	23.93'
6	9,972.25'	9,956.00'	9,956.00'	16.25'

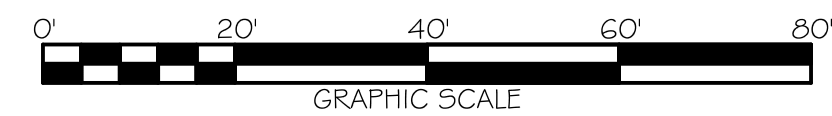
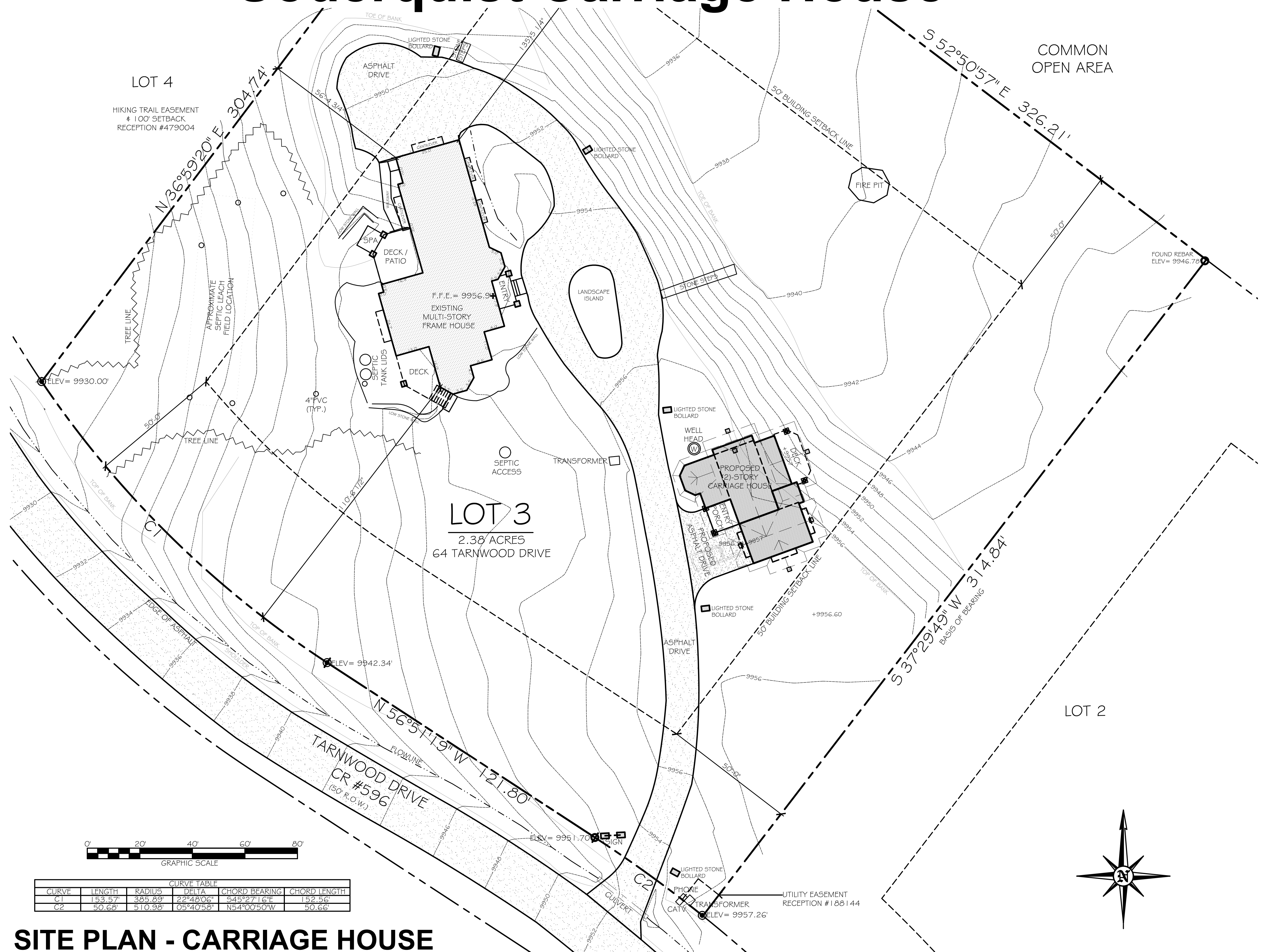
NOTE:
ALL RIDGES OR HIGH EAVES ARE MEASURED FROM THE TOP OF ROOF FINISH TO NATURAL OR PROPOSED GRADE, WHICH EVER IS GREATEST. THE GRADE ELEVATION IN THE SHADED BOX WAS SUBTRACTED FROM THE ROOF ELEVATION TO PRODUCE THE HEIGHT CALCULATION.

SURVEY LEGEND

- FOUND REBAR PIN & ALUMINUM CAP
- FOUND REBAR PIN & PLASTIC CAP
- UTILITY PEDESTAL
- WATER WELL HEAD
- SEWER MANHOLE
- SEWER CLEAN OUT

PROJECT #1899
DATE OF FIELD SURVEY: 9/3/2020
CONTOUR INTERVAL=2 FEET

Soderquist Carriage House



CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	153.57'	385.89'	22°40'06"	S45°27'16"E	152.56'
C2	50.68'	510.98'	05°40'58"	N54°00'50"W	50.66'

SITE PLAN - CARRIAGE HOUSE

1"=20'-0"

PROJECT TEAM

<p>OWNERS Jeff & Amy Soderquist 17799 Ridgeway Drive, Siloam Springs, AR 72761-8869 jsoderquist1@gmail.com</p>	<p>ARCHITECT EQUINOX Architecture LLC P.O. Box 6217 Breckenridge, CO 80424 (970) 453-9619 robbye@equinoxarchitecture.com</p>	<p>GENERAL CONTRACTOR Tim S. Johnson P.O. Box 2173 Breckenridge, CO 80424 (970) 389-0454 Timjohnson.company@yahoo.com</p>	<p>STRUCTURAL ENGINEER Sundquist Design Group P.O. Box 676 Conifer, CO 80433 (303) 838-2222 joe@sundquistdesign.com</p>	<p>SURVEYOR Schmidt Land Surveying, Inc. P.O. Box 5761 Frisco, CO 80443 (970) 409-9963 liz@schmidtlandsurveying.com</p>	<p>CIVIL ENGINEER Theobald Engineering & Construction P.O. Box 3817 Breckenridge, CO 80424 (970) 409-7978 robtheobald@yahoo.com</p>	<p>MECHANICAL ENGINEER</p>
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Soderquist Carriage House



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GENERAL NOTES

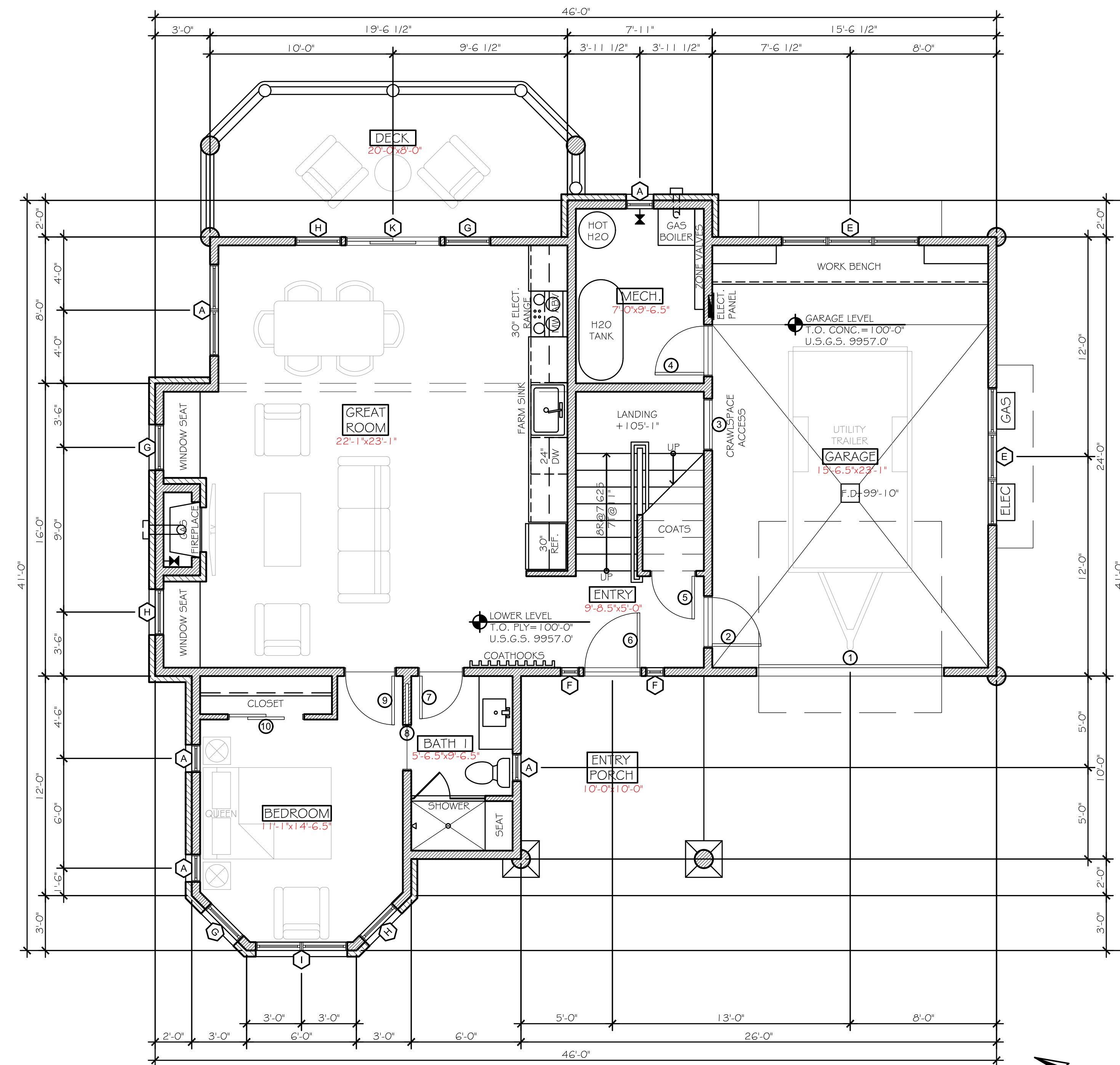
- The set of drawings contained within constitutes a "Builder's Set" only. The Contractor shall be responsible for all existing conditions, project coordination, finishes and detailing to complete the project per "Construction Industry Standards"
- These drawings are an instrument of service and are the exclusive property of EQUINOX Architecture LLC. They may not be duplicated, disclosed, or reproduced without the expressed written consent of EQUINOX Architecture LLC.
- Due to the complexity of the Design and Construction process, omissions and discrepancies may arise. Notify the Architect immediately to resolve any issues prior to any construction. Failure to do so shall relieve the Architect from any and all consequences.
- Changes from the plans made without consent of the Architect are unauthorized and shall relieve the Architect of responsibility of any and all consequences resulting from such changes.
- All construction and construction methods shall be in compliance of all applicable codes in force at the time of construction. This project is designed in accordance with the 2018 IRC as amended and adopted by the Town of Blue River Building Department.
- Contractor shall follow all Spruce Valley Ranch HOA, & Town of Blue River construction guidelines.
- All dimensions are to face of wood or concrete, verify all dimensions shown on plans prior to construction start (do not scale drawings) and notify Architect of any discrepancies.
- Floor elevations are given to top of concrete slabs and / or plywood sub-floor decking.
- Square footage calculations are for code purposes only and should be recalculated for any other purpose.
- See floor plans for stair rise and run dimensions.
- All interior walls and ceilings are to have 5/8" Type 'X' gypsum board, unless noted otherwise. Provide 5/8" moisture resistant gypsum board at walls and ceilings in moisture prone areas such as bathrooms and laundry room. Texture for all drywall areas to be selected or approved by Owner.
- Due to harsh winter conditions, roof and deck surfaces must be maintained relatively free of ice and snow in order to mitigate any possible problems with these surfaces.

DOOR SCHEDULE

#	SIZE	TYPE	MATER.	COMMENTS
1	10'-0"x8'-0"	OVERHEAD	FIBERGLASS	RADIUS TOP, INSULATED, 8-PANEL, CLAD TO MATCH EXISTING HOUSE
2	2'-8"x6'-8"	SWING (R.H.)	WOOD	SOLID CORE, 3-PANEL, 20 MIN. RATED, W/ THRESHOLD
3	2'-8"x4'-0"	SWING (L.H.)	WOOD	SOLID CORE, 1-PANEL
4	2'-8"x6'-8"	SWING (L.H.)	WOOD	SOLID CORE, 3-PANEL, 20 MIN. RATED, W/ THRESHOLD
5	2'-4"x6'-8"	SWING (L.H.)	WOOD	SOLID CORE, 3-PANEL
6	3'-0"x8'-0"	SWING (R.H.)	WOOD	RADIUS TOP, 3-PANEL W/ TOP-LIGHT, TO MATCH EXISTING HOUSE
7	2'-4"x6'-8"	SWING (R.H.)	WOOD	SOLID CORE, 3-PANEL, PRIVACY
8	2'-4"x6'-8"	POCKET	WOOD	SOLID CORE, 3-PANEL, PRIVACY
9	2'-8"x6'-8"	SWING (L.H.)	WOOD	SOLID CORE, 3-PANEL, PRIVACY
10	4'-0"x6'-8"	DBL. BI-PASS	WOOD	SOLID CORE, 3-PANEL (EACH DOOR)
11	2'-8"x6'-8"	SWING (R.H.)	WOOD	SOLID CORE, 3-PANEL, PRIVACY
12	2'-4"x6'-8"	POCKET	WOOD	SOLID CORE, 3-PANEL, PRIVACY
13	2'-4"x6'-8"	SWING (L.H.)	WOOD	SOLID CORE, 3-PANEL, PRIVACY
14	2'-4"x6'-8"	SWING (R.H.)	WOOD	SOLID CORE, 3-PANEL, PRIVACY
15	2'-8"x6'-8"	SWING (L.H.)	WOOD	SOLID CORE, 3-PANEL
16	4'-0"x6'-8"	DBL. BI-PASS	WOOD	SOLID CORE, 3-PANEL (EACH DOOR)
17	4'-0"x6'-8"	DBL. BI-PASS	WOOD	SOLID CORE, 3-PANEL (EACH DOOR)

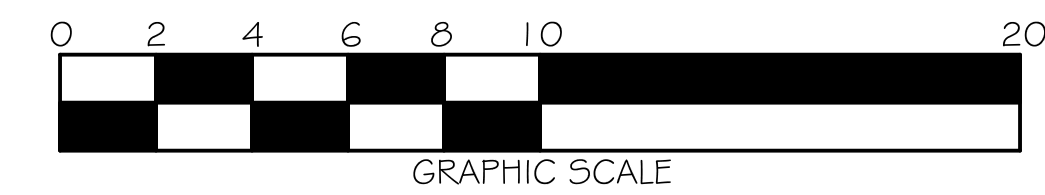
DOOR NOTES

- See floor plans for door locations and swings.
- Doors and jambs to be fire rated where required by code. Fire Rated doors to be tight fitting solid core, 20-minute rated with threshold.
- Contractor to confirm all rough openings, swings, and jamb widths prior to ordering.
- All doors are to be solid core construction (1-3/4" thickness) with knotty alder, unless noted otherwise.
- Locate doors 4 1/2" from nearest perpendicular wall or centered in wall unless noted or drawn otherwise.
- Provide track, opener mechanism & remotes for over-head garage doors.
- Door symbols on plans are noted as ①.



LOWER LEVEL FLOOR PLAN

1/4"=1'-0"



GRAPHIC SCALE

LIVABLE 867 SF
GARAGE / MECH. 460 SF

Soderquist Carriage House

64 Tamwood Drive
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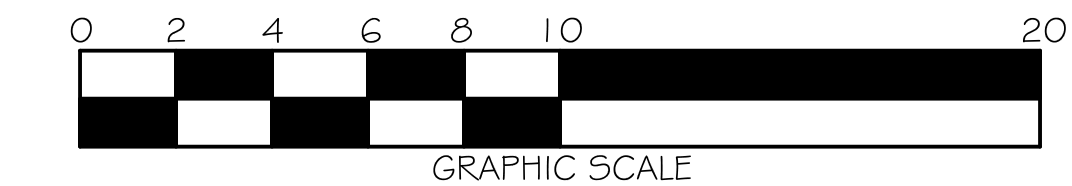
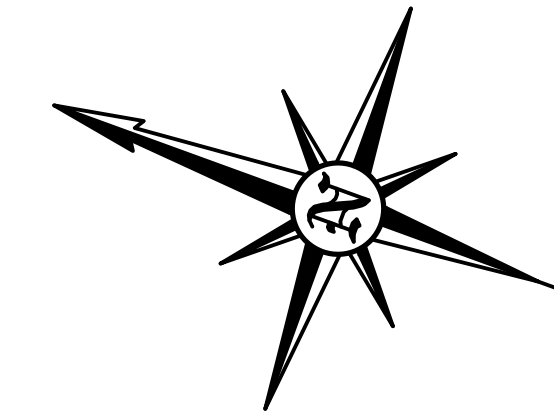
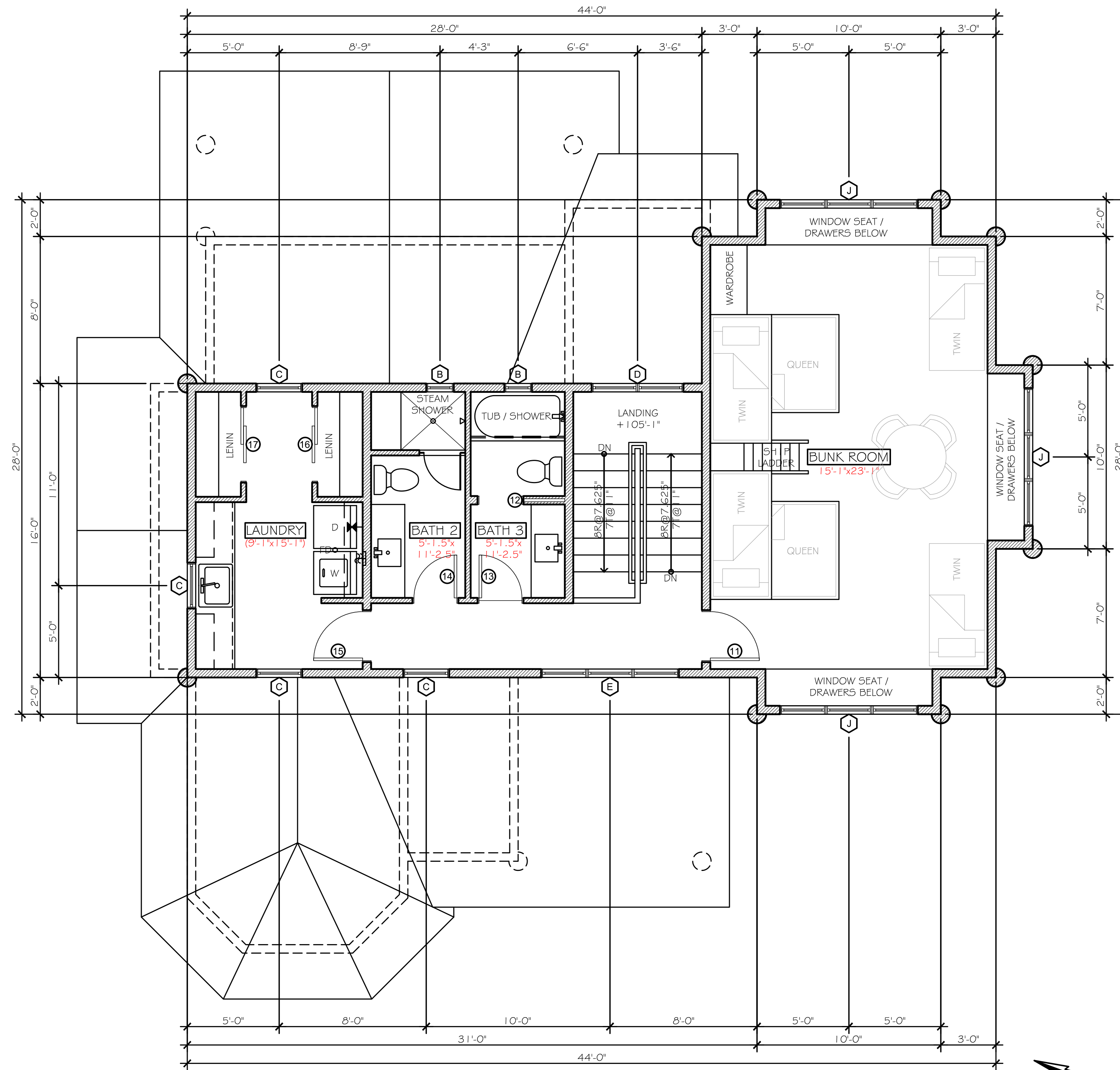
INSULATION NOTES

PROVIDE MINIMUM INSULATION FOR ASSEMBLIES PER 2018 IECC AS ADOPTED BY THE TOWN OF BLUE RIVER BUILDING DEPARTMENT AS FOLLOWS:

- 1) Exterior walls: R-23 Cavity + R-3 Exterior
- 2) Exterior Roof / Ceilings: R-49
- 3) Crawlspace / Cantilever Floors: R-38
- 4) Basement Walls: R-15 Continuous Insulated Sheathing or R-19 Cavity
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- 6) Under slab: R-10
- 7) Windows: U-.32
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PROVIDE THE FOLLOWING INSULATION:

- EXTERIOR WALLS:** ZIP System continuous insulated sheathing (R-3),
2" of sprayed, closed-cell, polyurethane insulation (R-13), plus
3.5" fiber-glass batt insulation (R-13)
- ROOF:** 6" of sprayed, closed-cell, polyurethane insulation (R-39), plus
8" Blown-in batt (BIBS) insulation (R-29)
- GARAGE CEILING:** 1 1/2" Blown-in batt (BIBS) insulation (R-43)
- GARAGE INTERIOR WALL:** 5.5" Blown-in batt (BIBS) insulation (R-20)
- FOUNDATION WALLS:** 2" Continuous insulation exterior board (R-10), plus
1.5" of sprayed, closed-cell, polyurethane cavity insulation (R-10)
- UNDER-SLAB:** 2" Heatlok HFO under-slab, sprayed-foam insulation (R-15)
- INTERIOR FLOORS:** R-19 Fiberglass Batts with foil-face, facing upward
- INTERIOR WALLS:** R-11 Fiberglass Batts



UPPER LEVEL FLOOR PLAN

1/4"=1'-0"

LIVABLE 892 SF

Soderquist Carriage House

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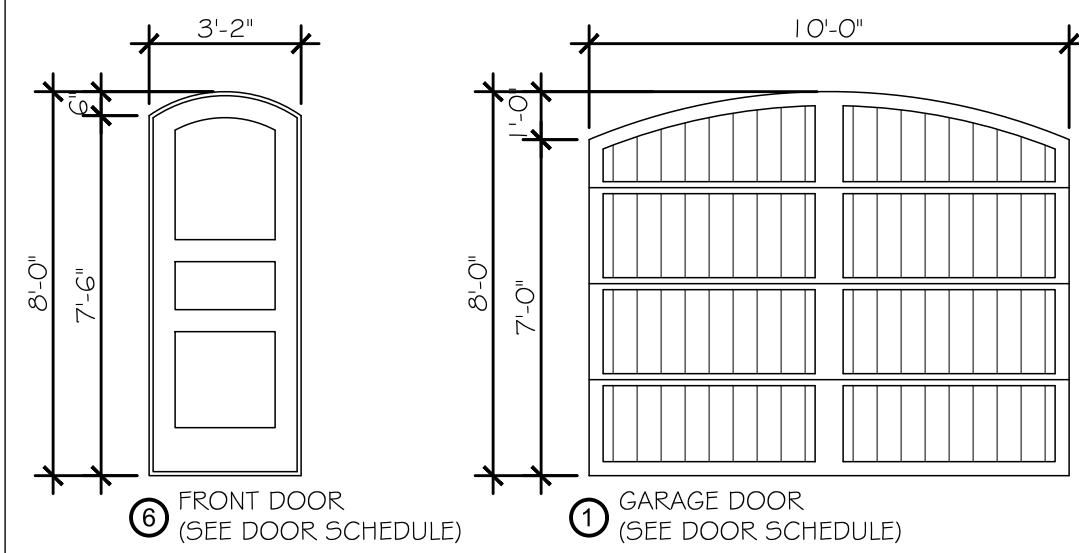
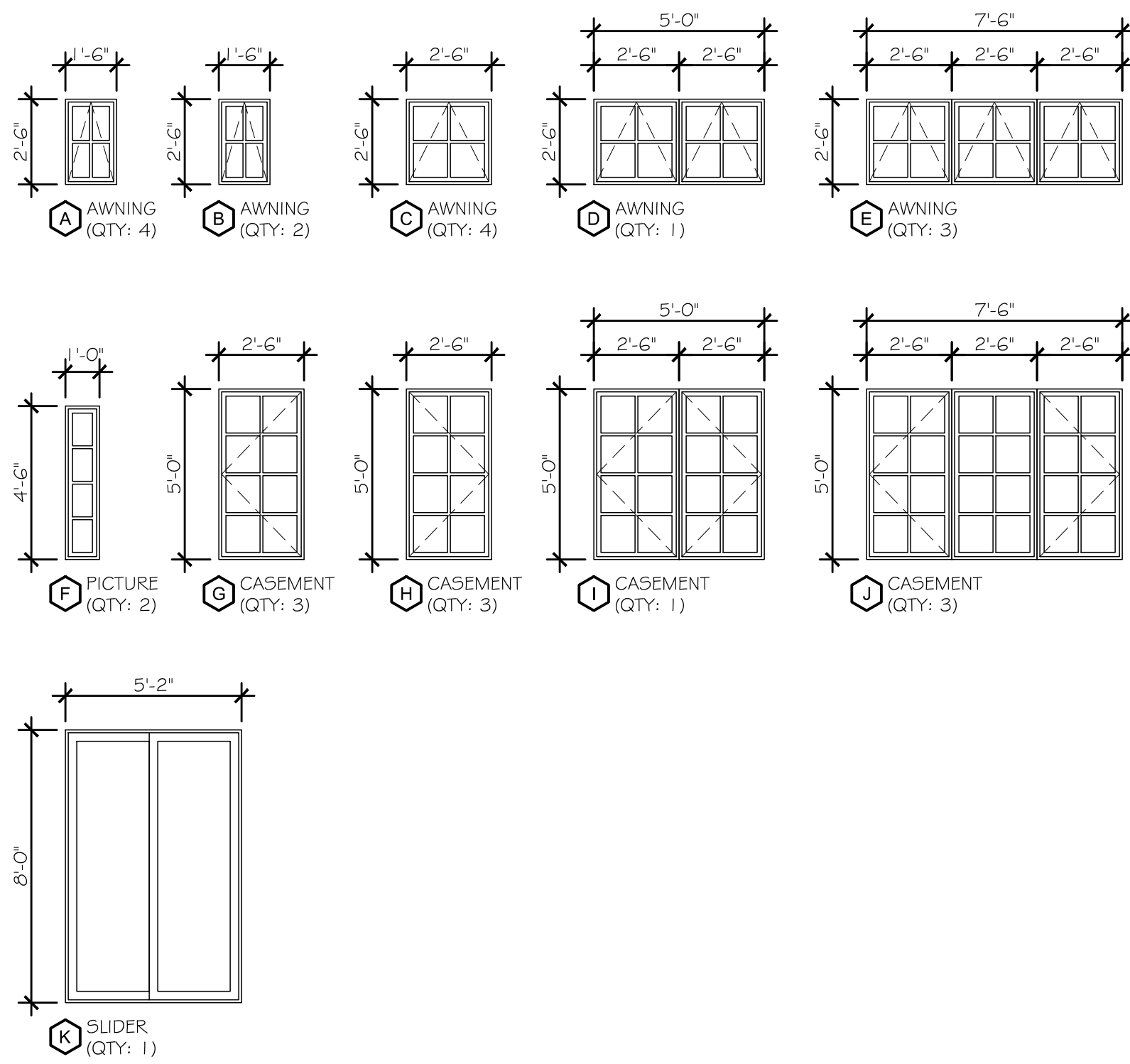
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WINDOW SCHEDULE



WINDOW NOTES

- All windows shall be wood frame and sash with aluminum exterior cladding from Sierra Pacific, except window "B". Window "B" to be all aluminum frame and sash.
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- See building elevations and sections for venting operation.
- All vented units shall be provided with screens.
- Patio and sliding glass doors to be provided by window manufacturer.
- Windows shall have wood casing & sills on the interior, with jamb extensions for 2x6 walls.
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- Provide insulated double-pane glazing with maximum .32 U-value per 2018 IECC.
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- General contractor and supplier to cross reference plans and elevations for window quantities, sizes and locations.
- Window supplier to advise General Contractor / Architect if additional reinforcement is required.
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- See elevations & sections for rough opening heights, dimensioned from the top of concrete slabs and topping slabs. Coordinate window head heights with exterior and interior door head heights where possible.
- Windows are typically dimensioned on the floor plans to the center line of window.

WINDOW SYMBOLS ARE SHOWN ON PLANS AS



WEST ELEVATION

1/4"=1'-0"



EAST ELEVATION

1/4"=1'-0"

Soderquist Carriage House

64 Tarnwood Drive
Lot 5, Spruce Valley Ranch, Filing # 1
Summit County, Colorado



EQUINOX ARCHITECTURE LLC
P.O. Box 6217, Breckenridge, CO 80424
970.453.9619 (phone & fax)
www.equinoxarchitecture.com

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drawn by RRD
checked by RRD
Design Approval SVR - HOA
Town of Blue River

sheet

A5

of 8

ALL NEW MATERIALS & COLORS TO MATCH MATERIALS & COLORS OF THE EXISTING MAIN HOUSE.



SOUTH ELEVATION
1/4"=1'-0"



NORTH ELEVATION
1/4"=1'-0"

Soderquist Carriage House

64 Tarnwood Drive
Lot 3, Spruce Valley Ranch, Filing # 1
Summit County, Colorado



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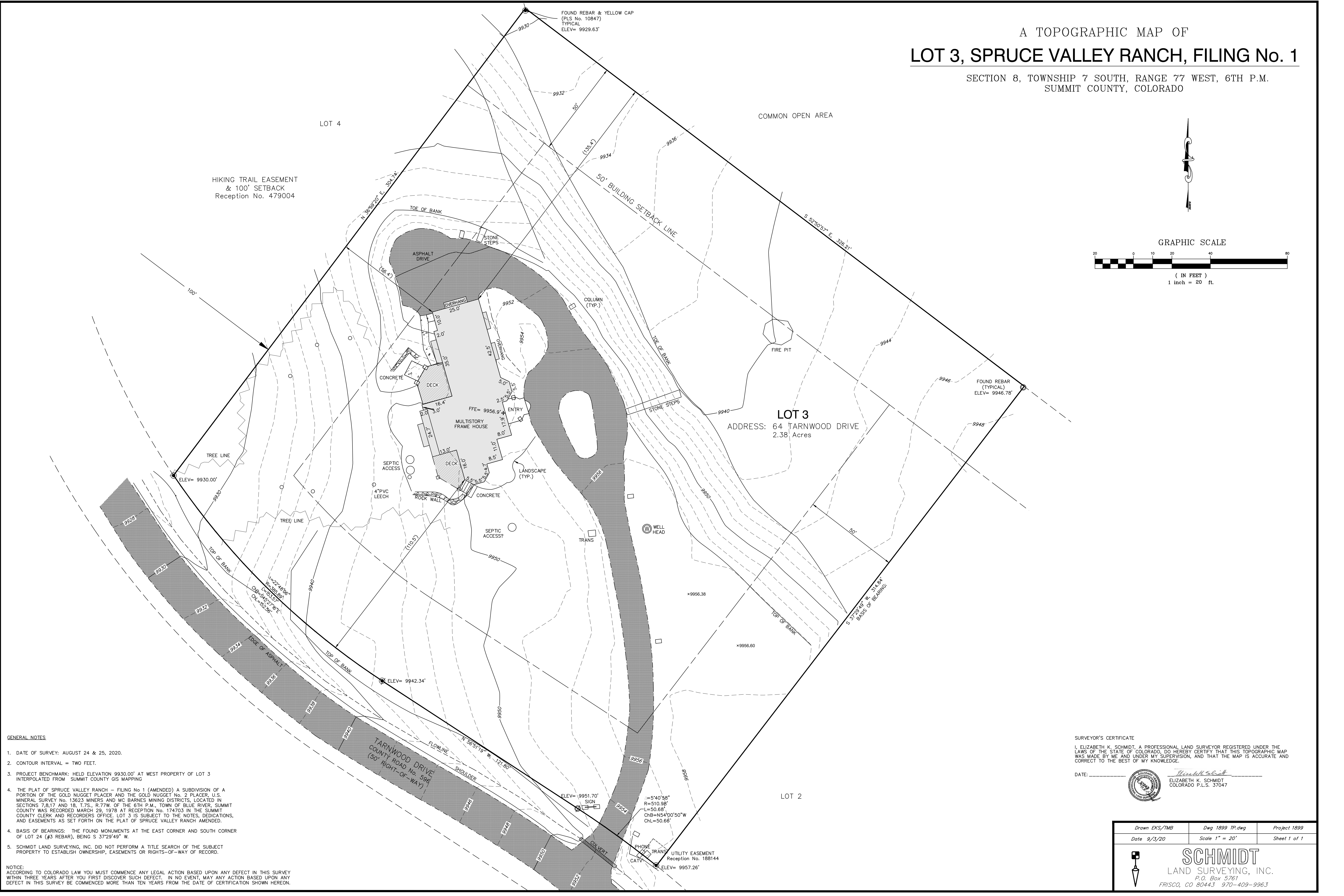
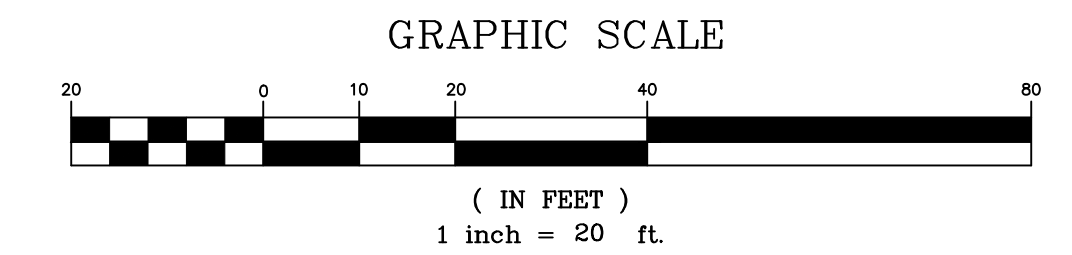






A TOPOGRAPHIC MAP OF LOT 3, SPRUCE VALLEY RANCH, FILING No. 1

SECTION 8, TOWNSHIP 7 SOUTH, RANGE 77 WEST, 6TH P.M.
SUMMIT COUNTY, COLORADO



- GENERAL NOTES**
- DATE OF SURVEY: AUGUST 24 & 25, 2020.
 - CONTOUR INTERVAL = TWO FEET.
 - PROJECT BENCHMARK: HELD ELEVATION 9930.00' AT WEST PROPERTY OF LOT 3 INTERPOLATED FROM SUMMIT COUNTY GIS MAPPING
 - THE PLAT OF SPRUCE VALLEY RANCH - FILING No 1 (AMENDED) A SUBDIVISION OF A PORTION OF THE GOLD NUGGET PLACER AND THE GOLD NUGGET No. 2 PLACER, U.S. MINERAL SURVEY No. 13623 MINERS AND MC BARNES MINING DISTRICTS, LOCATED IN SECTIONS 7,8,17 AND 18, T.7S., R.77W. OF THE 6TH P.M., TOWN OF BLUE RIVER, SUMMIT COUNTY WAS RECORDED MARCH 29, 1978 AT RECEPTION No. 174703 IN THE SUMMIT COUNTY CLERK AND RECORDERS OFFICE. LOT 3 IS SUBJECT TO THE NOTES, DEDICATIONS, AND EASEMENTS AS SET FORTH ON THE PLAT OF SPRUCE VALLEY RANCH AMENDED.
 - BASIS OF BEARINGS: THE FOUND MONUMENTS AT THE EAST CORNER AND SOUTH CORNER OF LOT 24 (#3 REBAR), BEING S 37°29'49" W.
 - SCHMIDT LAND SURVEYING, INC. DID NOT PERFORM A TITLE SEARCH OF THE SUBJECT PROPERTY TO ESTABLISH OWNERSHIP, EASEMENTS OR RIGHTS-OF-WAY OF RECORD.

NOTICE:
ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

SURVEYOR'S CERTIFICATE
I, ELIZABETH K. SCHMIDT, A PROFESSIONAL LAND SURVEYOR REGISTERED UNDER THE LAWS OF THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS TOPOGRAPHIC MAP WAS MADE BY ME AND UNDER MY SUPERVISION, AND THAT THE MAP IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

DATE: _____

 ELIZABETH K. SCHMIDT
 COLORADO P.L.S. 37047

Drawn EKS/TMB	Dwg 1899 TP.dwg	Project 1899
Date 9/3/20	Scale 1" = 20'	Sheet 1 of 1
 SCHMIDT LAND SURVEYING, INC. P.O. Box 5761 FRISCO, CO 80443 970-409-9963		

TO: Michelle Eddy, CMC/CPM - Town Manager/Clerk
FROM: Kyle Parag, Plan Reviewer - CAA
DATE: April 29, 2025
RE: Planning/Zoning/Architectural Guidelines review – 0064 Tarnwood

Below please find staff's analysis that outlines the review with the Town's Zoning regulations and adopted Architectural Design Guidelines for the structure proposed

Zoning Regulation analysis –

Proposal: Construction of a "carriage house" on property with existing single family home. House consists of 1759 SF of living space and 460 SF garage for a total of 2219 SF. Home is located in Spruce Valley.

Zoning district: R-1

Lot Size: ~ 103,000 sq. ft.
80,000 sq. ft. Required– Existing

Lot Width: ~ 319'
100 ft. Required - Complies

Setbacks: Proposed addition complies with required setbacks based upon submitted docs. Overhangs are very near the side setback line.

Height: Complies with required height limitations. The height at the highest roof ridge is proposed at 26'

Garage Stds: The proposed garage is ~460 sq. ft. and complies with the standards for structures less than 5,000 sq. ft. in habitable size.

Parking Stds: Parking requirements will be met through the proposed garage and exterior spaces

Architectural Design Guideline analysis -

Please note the following key to the interpretation of the analysis table:

Y	Element is in substantial compliance with the design guidelines
N	Does not comply with the design guidelines
PC	Subject to Planning Commission Specific approval
	Requires additional information from applicant
N/A	Not Applicable to the application

STANDARD	NOTES/REMARKS	SUBSTANTIAL COMPLIANCE
DEVELOPMENT STANDARD		
Article 3: Easements	Easements are indicated.	Y
Article 4: Buildable Area/setbacks	Setbacks are 50' for this property.	Y
Article 5 Building Design Standards		
Article 5-20 Building Height	Height is indicated at 26'	Y
Article 5-60 Foundation	Foundation is not exposed, indicated stone.	Y
Article 5-70 Roofs	Clipped Gable roof design with moderate slopes proposed. Shows general conformance	Y
Article 5-80 Garages	Garage door custom radius wood look.	Y
Article 5-90 Window and doors	Windows are sized appropriately	Y
Article 5-100 Balconies and railings	Vertical wood railings are proposed.	Y

Article 5-110 Chimney and Roof Penetrations	None indicated, side vent fireplace indicated on floor plan.	Y
Article 6 Building Materials and Colors		
Article 6-20 Materials	Siding materials are a combination of shake appearance and horizontal siding. Images of existing home were provided as a materials and color board. Shows general conformance.	Y
Article 6-30 Colors	Colors are provided via images of existing home. They show general conformance. Exact colors are not provided.	PC
Article 7 Accessory Improvements		
Article 7-(20-40, 110) Berms, Garages, sheds and Gazebos	Garage is indicated at 460 Sqft	Y
Article 7-50 Driveways	Small connection driveway proposed off of existing driveway. Snow storage calculations were not provided	PC
Article 7-60 Parking Areas	Parking is interior garage and exterior spaces. 2 spaces are provided, code is unclear if 3 are required for this structure.	Y
Article 7-100 Decks	Deck is indicated on rear of home with traditional railing materials.	Y
Article 7-120 Hot Tubs	None indicated	Y
Article 7-140 Fences	None indicated	Y
Article 7-150 Retaining walls	New boulder retaining wall indicated on rear of home.	Y
Article 8 Signs		

Article 8 Signs	None indicated	Y
Article 9 Lighting		
Article 9 Lighting	Downcast lights are not directly indicated	PC
Article 13 Environmental Regulations		
Article 13-20 Wetlands	None indicated but expected wetlands within 20 feet of the building.	N