



**BLUE RIVER PLANNING AND ZONING COMMISSION MEETING MONTH**

**Tuesday, April 1, 2025**

**6:00 PM**

**0110 Whispering Pines Circle, Blue River, CO**

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**Agenda**

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**The public is welcome to attend the meeting either in person or via Zoom.**

**The Zoom link is available on the Town website:**

**<https://townofblueriver.colorado.gov/board-of-trustees>**

**Please note that seating at Town Hall is limited.**

**Call to Order, Roll Call**

**Approval of Minutes**

- A. Minutes February 2025

**Public Hearing**

- B. Ordinance 2025-05 Establishing Residential Conservation Zone District
- C. Ordinance 2025-06 Amendment to the Land Use Code Concerning Construction Rules and Regulations

**Project Approval**

- D. 5940 Hwy 9-Garage/Shop Addition
- E. 0132 Mountain View-Addition

**Adjourn**



## **BLUE RIVER PLANNING AND ZONING COMMISSION MEETING FEBRUARY 2024**

**TUESDAY, FEBRUARY 4, 2025**

**6:00 PM**

**0110 Whispering Pines Circle, Blue River, CO**

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### **MINUTES**

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#### **CALL TO ORDER, ROLL CALL**

Chair Johnson called the meeting to order at 6:00 PM

#### **PRESENT:**

Planning & Zoning Commissioner Travis Beck via Zoom  
Planning & Zoning Commissioner Mike Costello  
Planning & Zoning Commissioner Tim Johnson  
Planning & Zoning Commissioner Gordon Manin  
Planning & Zoning Commissioner Doug O'Brien  
Planning & Zoning Commissioner Troy Watts

Also present: Board Liaison Trustee Heckman; Town Manager Michelle Eddy; Building Official Kyle Parag (via Zoom); Deputy Clerk John DeBee

#### **APPROVAL OF MINUTES**

**A. Minutes of the Previous Meeting**

Costello moved and Manin seconded to approve the minutes of November 2024. Motion passed unanimously.

#### **PROJECT APPROVAL**

**B. 0266 Davis Ct-New Construction**

Building Official Kyle Parag presented the project at 0266 Davis Court recommending approval.

Watts moved and Manin seconded to approve the new construction at 0266 Davis Court. Motion passed with Costello abstaining.

**C. 0189 Gold Nugget-New Construction**

Building Official Kyle Parag presented the new construction project at 0189 Gold Nugget recommending approval.

Costello moved and O'Brien seconded to approve the new construction at 0189 Gold Nugget. Motion passed unanimously. It was noted that the project will not be allowed to proceed until the moratorium on development over one acre is lifted.

**ADJOURN**

**NEXT MEETING -**

Recommended to have the Building Official present the building code changes to Planning & Zoning Commission in March.

O'Brien moved and Watts seconded to adjourn the meeting at 6:25 p.m.

Next meeting: Wednesday, March 5, 2025, 6:00 p.m.

Respectfully Submitted:  
Michelle Eddy, MMC/CPM  
Town Clerk

# TOWN OF BLUE RIVER, COLORADO

## STAFF REPORT

TO: Planning & Zoning Commission  
THROUGH: Michelle Eddy, Town Manager  
FROM: Bob Widner, Town Attorney  
DATE: April 1, 2025  
SUBJECT: RC Zone District Ordinance - Request for Recommendation

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The Board of Trustees requests the Planning & Zoning Commission's (P&Z) recommendation concerning a new zone district. The new zone district is proposed to be named "Residential Conservation" or the "RC Zone District." A copy of the ordinance creating this new zone district is attached for the P&Z's review.

The RC Zone District would provide a new "*tool in the toolbox*" for potential use within the Town.

As you know, the Town zoning predominantly consists of property within the R-1 Zone District. The R-1 Zone District provides for a *minimum* lot size of 80,000 square feet (or close to 2 acres).<sup>1</sup> There is no other residential zone district in the LUC that allows the Town to limit properties to lots larger than 80,000 square feet. As a result, the vast majority of the property within the Town can theoretically be divided into approximately 2 acre lots.<sup>2</sup>

Approving an ordinance to create a new RC Zone District would **not** rezone any specific property. Any application of the RC Zone District to specific property would require a separate process that would include notice to the owner and to citizens, a public hearing, and approval of a formal ordinance to rezone the specific land at issue. Importantly, a municipality must have first adopted a zone district if it wishes to apply the zone district and rezone property to that zone district - you cannot arbitrarily rezone property.

You will find the applicable zoning standards of the proposed RC Zone District in the attached ordinance (along with a 10-acre minimum lot size, you will find allowable uses, street frontage, setbacks, and maximum building height). Other attributes of the RC Zone District mimic the standards of the R-1 Zone District (e.g., the same allowances for accessory improvements, and the same prohibited uses).

Again, the Board of Trustees requests that the P&Z provide its recommendation regarding the new RC Zone District.

If you have questions or concerns in advance of the April 1 P&Z meeting, please contact either Michelle Eddy or me at any time.

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<sup>1</sup> One acre = 43,560 square feet; 80,000 square feet = 1.8547 acres; 2 acres = 87,120 square feet.

<sup>2</sup> Assuredly, some newly created 2 acre lots might be undevelopable due to limitations such as floodplains and steep slopes. But even with floodplains and steep slopes, creative lot design could potentially allow, as an example, a 10-acre parcel of land to be divided into five building sites.

**TOWN OF BLUE RIVER, COLORADO**

**ORDINANCE NO. 2025-05**

**AN ORDINANCE OF THE BOARD OF TRUSTEES OF THE TOWN OF  
BLUE RIVER, COLORADO, ADOPTING A NEW ARTICLE 5 OF  
CHAPTER 16A OF THE BLUE RIVER MUNICIPAL CODE (A CHAPTER  
OF THE LAND USE CODE) TO CREATE A NEW RESIDENTIAL  
CONSERVATION (RC) ZONE DISTRICT**

**WHEREAS**, the Town of Blue River, Colorado (“Town”) is a statutory municipality incorporated and organized pursuant to the provisions of Section 31-2-101, et seq., C.R.S.; and

**WHEREAS**, the Town is authorized to exercise police powers and to enact laws that promote the health, safety, and welfare of its citizens and to plan and regulate the use of land within its jurisdiction; and

**WHEREAS**, Colorado Revised Statutes § 31-15-103 grants municipalities the power to adopt ordinances “necessary and proper to provide for the safety, preserve the health, promote the prosperity, and improve the morals, order, comfort, and convenience” of the municipality and its inhabitants; and

**WHEREAS**, Article 23 Colorado Revised Statutes §§ 31-15-401 and 31-23-302 grants municipalities police powers, which include the power to regulate the location of uses and the use of land within the community; and

**WHEREAS**, the Town has created districts within its jurisdiction to provide for uses that will best protect the health and safety and to protect the environment and natural character of the Town; and

**WHEREAS**, the Board of Trustees determined that a new zone district is needed to ensure that larger tracts and parcels of land within the Town will develop in a reasonable manner with a lower density and which balances the rights of property owners to develop while protecting the environment and natural character of the Town.

**BE IT ORDAINED** by the Board of Trustees of the Town of Blue River, Colorado, as follows::

**Section 1. Adoption of New Article 5 of Chapter 16A of the Municipal Code (Land Use Code).** A new Article 5 of Chapter 16A (which Article was previously reserved) of the Municipal Code of the Town of Blue River (a part of the Blue River Land Use Code) is adopted to read as follows:

**Article 5 Residential Conservation District (RC)**

**Sec. 16A-5-10. Purpose.**

The purpose of the Residential Conservation District (RC) is to encourage very low residential density in the development of land while conserving and preserving the natural and scenic features of open and wooded areas, and to protect the natural and environmental character and values of the Town. The RC District is most appropriate for areas that include topographical or physiographic limitations affecting development such as wetlands, floodplains, steep slopes, heavily wooded areas, and wildlife habitat. The RC District is intended to offer landowners the reasonable opportunity to establish residential dwelling units on lots that will directly benefit from the preservation of natural and scenic features and the surrounding undeveloped natural environment on the *lot*.

**Sec. 16A-5-20. Principal Permitted Uses.**

The following uses are permitted in the Residential Conservation District:

- One (1) *Single-Family Building* for each legally recognized *lot*; or
- Any use of property expressly required to be recognized by federal or state law as a residential use.

Any use not expressly permitted will require a text amendment of this section. *See* Article 29 of Chapter 16A.

**Sec. 16A-5-30. Accessory Uses.**

The following *accessory uses* are permitted:

- *Home occupation*
- *Family Child Care Home*.

**Sec. 16A-5-40. Prohibited Uses.**

The following uses are prohibited in the Residential Conservation District:

- Any use not otherwise authorized by Section 16A-5-20.
- Any *accessory use* not otherwise authorized by Section 16A-5-30.

**Sec. 16A-5-50. Accessory Improvements.**

(a) Permitted Accessory Improvements. The following *accessory improvements* are lawful and permitted and, where indicated, regulates such *accessory improvements*:

<b>Accessory Improvement</b>	<b>Reference Section</b>
Berm	See Section 16B-7-20
Garage	See Section 16B-7-30
Shed (including greenhouse)	See Section 16B-7-40
Driveway	See Section 16B-7-50
Parking Areas	See Section 16B-7-60
Walkway	See Section 16B-7-70
Deck	See Section 16B-7-100
Gazebo, Pergola, and Similar Structures	See Section 16B-7-110
Hot Tub or Sauna (Exterior)	See Section 16B-7-120
Recreational Improvement: Fire Pit, Outdoor Fireplace, Chimenea, Playground Equipment	See Section 16B-7-130
Fences	See Section 16B-7-140
Walls	See Section 16B-7-150
Flagpoles	See Section 16B-7-160
Signs	See Section 16B-8-10
Lighting	See Section 16B-9-10
Utilities	See Section 16B-3-10
Any building, structure, or improvement not listed in this Section 16A-3-50 and which is administratively determined by the Town Manager as: (a) meeting the definition of Accessory Improvement; and (b) presenting no greater impact upon the neighborhood than other approved Accessory Improvements.	See Section 16-1-100

(b) Prohibited Accessory Improvements. The following Accessory Improvements are prohibited in the Residential Conservation District:

Any accessory improvement not listed in Section 16-5-50(a) and specifically including without limitation:

- Tennis, Pickleball, and other outdoor recreational courts.
- Swimming pools (above ground, in ground, and whether or not enclosed within a building or structure).
- Permanent skate or rollerblade park or rink.
- Shooting or archery range.

**Sec. 16A-5-60. Zone District Standards.**

Minimum Lot Size	Ten (10) acres (435,600 square feet).
Minimum Lot Width	300 feet
Front Yard Setback	Minimum 30 Feet
Rear Yard Setback	Minimum 50 Feet
Side Yard Setback	Minimum 50 Feet
Building Height	Maximum 35 feet.

**Sec. 16A-5-70. Reserved.**

**Sec. 16A-5-80. Zoning Variance.**

An application for a zoning variance is authorized pursuant to Article 7 of Chapter 16.

**Section 2. Severability.** Should any one or more sections or provisions of this Ordinance or of the Code provisions enacted hereby be judicially determined invalid or unenforceable, such judgment shall not affect, impair, or invalidate the remaining provisions of this Ordinance or of such Code provision, the intention being that the various sections and provisions are severable.

**Section 3.** **Repeal.** All Ordinances or Codes or parts thereof in conflict or inconsistent herewith are, to the extent of such conflict or inconsistency, hereby repealed; provided, however, that the repeal of any such Ordinance or Code or part thereof shall not revive any other section or part of any Ordinance or Code provision heretofore repealed or superseded.

**Section 4.** **Minor Revision or Correction Authorized.** The Town Manager, in consultation with the Town Attorney, is authorized to make minor revisions or corrections to the codified version of the provisions of this Ordinance provided that such revisions or corrections are grammatical, typographical, or non-substantive and do not alter or change the meaning and intent of this Ordinance.

**Section 5.** **Effective Date.** The provisions of this Ordinance shall become effective thirty (30) days after publication following the final passage.

**INTRODUCED, READ, PASSED, ADOPTED, AND ORDERED PUBLISHED** at a regular meeting of the Board of Trustees of the Town of Blue River, Colorado, held on the 15th day of April, 2025.

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Town Clerk

Published in the Summit County Journal \_\_\_\_\_, 2025.

**TOWN OF BLUE RIVER, COLORADO**

**ORDINANCE NO. 2025-06**

**AN ORDINANCE OF THE BOARD OF TRUSTEES OF THE TOWN OF  
BLUE RIVER, COLORADO, AMENDING CONSTRUCTION  
MANAGEMENT REQUIREMENTS OF THE LAND USE CODE,  
ARTICLE 14 OF CHAPTER 16B OF THE MUNICIPAL CODE**

**WHEREAS**, the Town of Blue River, Colorado (“Town”) is a statutory municipality incorporated and organized pursuant to the provisions of Section 31-2-101, et seq., C.R.S.; and

**WHEREAS**, the Board of Trustees for the Town of Blue River (“Board”) adopted in 2023 the Blue River Land Use Code (“LUC”) to govern and regulate the use of land within the Town; and

**WHEREAS**, the manner in which construction and development on a lot is undertaken is an important part of protecting the health, safety and welfare of the Town; and

**WHEREAS**, the Board of Trustees desires that new construction standards and requirements are imposed on all construction; and

**BE IT ORDAINED** by the Board of Trustees of the Town of Blue River, Colorado, as follows:

**Section 1.** Amendment of Article 15 of Chapter 16B of the Municipal Code. Article 15 of Chapter 16B of the Municipal Code, a part of the Land Use Code, is hereby amended to read in full as follows:

**Article 14. Construction Management Requirements.**

**Sec. 16B-15-10. Purpose.**

Construction within the Town of Blue River can significantly impact other owners, occupants, and visitors and create noise, traffic, smoke, and trash that degrade the environment and the natural character the Town seeks to preserve. This Article balances the reasonable need to engage in construction activities while protecting the environment, the natural character the Town, and protecting the health, safety, and welfare of the Town. Construction sites and construction operations undertaken under the authority of any Town-issued permit (including building permits) shall conform to the standard and requirement of this Article.

**Sec. 16B-15-20. Responsibility for Compliance.**

Owners engaged in the development or improvement of a *lot*, or who commission or cause others to perform the development or improvement of a *lot* such as but not limited to the Owner's contractors and subcontractors (collectively "contractors"), for which a permit is issued by the Town shall be responsible for compliance with this Article. In addition, contractors and others performing services on behalf of the owner may be held responsible for compliance for specific actions and activities that fail to comply with this Article. The Town reserves the right to enforce the requirements of this Article pursuant to the Municipal Code and this Land Use Code against either the owner of a lot, contractors and others those engaging in construction activity on behalf of an owner, or both.

**Sec. 16B-15-30. Reserved.**

**Sec. 16B-15-40. Access and Parking.**

- (a) Vehicles used in construction or improvement upon any *lot* shall gain access to the *lot* only from existing roads adjacent to the construction site.
- (b) Parking will not be allowed, at any time, on Town roads without prior approval from the Town. With Town approval, all vehicles must either be on the *lot* subject to development or improvement or parked on one side of the road in a manner which does not block a driveway, a road, or vehicles traveling on a road. In cases where the Town is engaged in snow removal operations, parking on a road shall be prohibited. As a condition of the Town's approval of parking, the Town may impose safety precautions deemed necessary by the Town to ensure safety, including, but not limited to, safety cones, barriers, and on-site traffic management by flaggers.

**Sec. 16B-15-50. Blasting.**

No blasting shall be performed on any property without the Town Manager's prior written consent. Notification of blasting shall be provided a minimum of 24 hours in advance of any blasting operations, and in all cases blasting shall occur only between the hours of 9:00 a.m. and 5:00 p.m. Blasting may be subject to conditions and restrictions, deemed necessary and determined by the Town Manager or Town Building Official in their sole and absolute discretion, and conditions or restrictions may vary from property to property.

**Sec. 16B-15-60. Erosion Control and Vegetation Protection.**

The Building Official shall not approve any proposed *construction activity* unless and until the activity has received Town approval of methods or practices to ensure erosion control and soil stabilization. If requested by the Town, the Owner is responsible for submitting a plan for methods and practices to the Town for erosion control and soil stabilization.

**Sec. 16B-15-70. Construction Equipment and Material Storage.**

Each Owner and contractors shall ensure that all construction material is stored in a designated materials storage area that is located to minimize the visual impact from adjacent properties and roadways.

**Sec. 16B-15-80. Debris and Trash Removal.**

Owners and their contractors shall be responsible for assuring that:

- (a) At the end of each day, all trash and debris on the *construction site* is cleaned up and stored in proper covered containers or organized and secured piles which will ensure that the trash and debris is not subject to wind or other conditions that may cause the trash and debris to be blown about the *construction site* or onto adjacent property or roads.
- (b) At least once a week, all trash and debris are removed from the *construction site* and properly disposed at an authorized dumpsite located off the *construction site*.
- (c) All trash and debris which may attract wildlife shall either be removed from the site at the end of each workday or disposed of in a bear-proof trash containers available on-site.
- (d) Regardless of cause, it shall be unlawful and a violation of this Article for any trash or debris from the *construction site* to be leave the *construction site* and be deposited upon a public or private road or any adjacent property.

**Sec. 16B-15-90. Construction Hours and Noise.**

- (a) *Construction activities* shall occur only within the following hours, and it shall be unlawful for *construction activities* to be conducted outside of the following hours:

Monday through Friday: 7:30 AM – 6:00 PM  
Saturday/Sunday: 9:00 AM – 5:00 PM

- (b) Entrance to work site for the purpose of organizing and setting up *construction activities* is permitted one half hour prior to Monday through Friday 7:00 AM and Saturday 8:30 AM. During such half-hour organization and set-up period, the operation of heavy equipment, compressors, impact tools, or any activity that creates noise that is audible to the occupants of an adjacent *lot* shall be prohibited.
- (c) At all times, the Owner and contractor shall use reasonable efforts to minimize noise resulting from construction activity.

**Sec. 16B-15-100. Construction Related Vehicle Travel.**

Construction vehicles shall obey all posted speed limits and traffic regulations within the Town. During winter months, construction and delivery trucks must be capable of traveling mountain roads and be equipped with 4-wheel drive or equipped with chains.

**Sec. 16B-15-110. Field Staking.**

All building footprints, setback lines, and driveways, storage and lay-down areas shall be staked in the field. A licensed Colorado land surveyor shall stake the building footprint and setback lines.

**Sec. 16B-15-120. Fire Protection.**

At least one 10-pound ABC-rated dry chemical fire extinguisher shall be present and available in a conspicuous place on the construction site at all times. Fire protection is the Owner's responsibility, but the Town recommends that the Owner establish additional fire protection, the handling of combustible materials and suppression measures as part of an overall site safety program.

**Sec. 16B-15-130. Prohibited General Practices.**

All Owners will be responsible for the conduct and behavior of their representatives and contractors in the Town. The following practices are unlawful and shall constitute a violation of this Article:

- (1) Changing oil on any vehicle or equipment on the construction site;
- (2) Allowing concrete suppliers and contractors to clean their equipment on any Town property, roadway, right-of-way, ditch, easement, or property other than the construction site;
- (3) Removing any rocks, plant material, topsoil, or similar items from any property of others within Town;
- (4) Using disposal methods or units other than those approved by the Town;
- (5) Careless disposition of cigarettes and other flammable materials;

- (6) Disruptive activity including, but not limited to, public drinking, public nuisances, and disturbing the peace;
- (7) Working before or after the scheduled construction hours without prior permission;
- (8) Driving trucks with uncovered loads the in the Town.

**Sec. 16B-15-140. Roadway Maintenance**

Owners and their contractors shall keep all Town roads and road rights-of-way free and clear of all materials, rubbish, and debris resulting from Owner's construction activity and will be responsible for the cost for any damage to roads, road rights-of-way, landscaping, and other streetscape improvements within the Town caused by Construction Vehicles used in connection with Owner's Construction Activity. No road cuts, deletions, or additions shall be made without a permit from the Town.

**Sec. 16B-15-150. Sanitary Facilities**

On-site, enclosed, chemical toilets must be available at all times when construction activity is taking place on a construction site. Chemical toilets shall be screened from view and shall be located so as to minimize any adverse impacts on adjacent lots. In no instance shall chemical toilets be placed within any road right-of-way or on any road.

**Section 2. Severability.** Should any one or more sections or provisions of this Ordinance or of the Code provisions enacted hereby be judicially determined invalid or unenforceable, such judgment shall not affect, impair, or invalidate the remaining provisions of this Ordinance or of such Code provision, the intention being that the various sections and provisions are severable.

**Section 3. Repeal.** Any and all Ordinances or Codes or parts thereof in conflict or inconsistent herewith are, to the extent of such conflict or inconsistency, hereby repealed; provided, however, that the repeal of any such Ordinance or Code or part thereof shall not revive any other section or part of any Ordinance or Code provision heretofore repealed or superseded.

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**Section 5. Effective Date.** The provisions of this Ordinance shall become effective thirty (30) days after publication following the final passage.

**INTRODUCED, READ, PASSED, ADOPTED, AND ORDERED PUBLISHED** at a regular meeting of the Board of Trustees of the Town of Blue River, Colorado, held on the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Town Clerk

Published in the Summit County Journal \_\_\_\_\_, 2025.

TO: Michelle Eddy, CMC/CPM - Town Manager/Clerk  
FROM: Kyle Parag, Plan Reviewer - CAA  
DATE: March 27<sup>th</sup>, 2025  
RE: Planning/Zoning/Architectural Guidelines review – 5940 HWY 9

Below please find staff's analysis that outlines the review with the Town's Zoning regulations and adopted Architectural Design Guidelines for the structure proposed

**Zoning Regulation analysis –**

Proposal: A new detached garage/shop is proposed adjacent to the existing single family home. The garage has a full height upper level storage and is conditioned.

Zoning district: R-1

Lot Size: ~ 35,000 sq. ft.  
80,000 sq. ft. Required– Existing Non-Conforming

Lot Width: ~ 167'  
100 ft. Required - Complies

Setbacks: Proposed accessory structure complies with setback requirements. The overhang is to the setback line.

Height: Accessory structure height is indicated at 26.5 feet, which complies with total building height, but unclear if this structure height is less than principal structure.

Garage Stds: The proposed garage is ~840sq. ft. and DOES NOT COMPLY complies with the standards for structures less than 5,000 sq. ft. in habitable size assuming the existing structure is less than 1,200 sqft.

Parking Stds: Non Applicable

**Architectural Design Guideline analysis -**

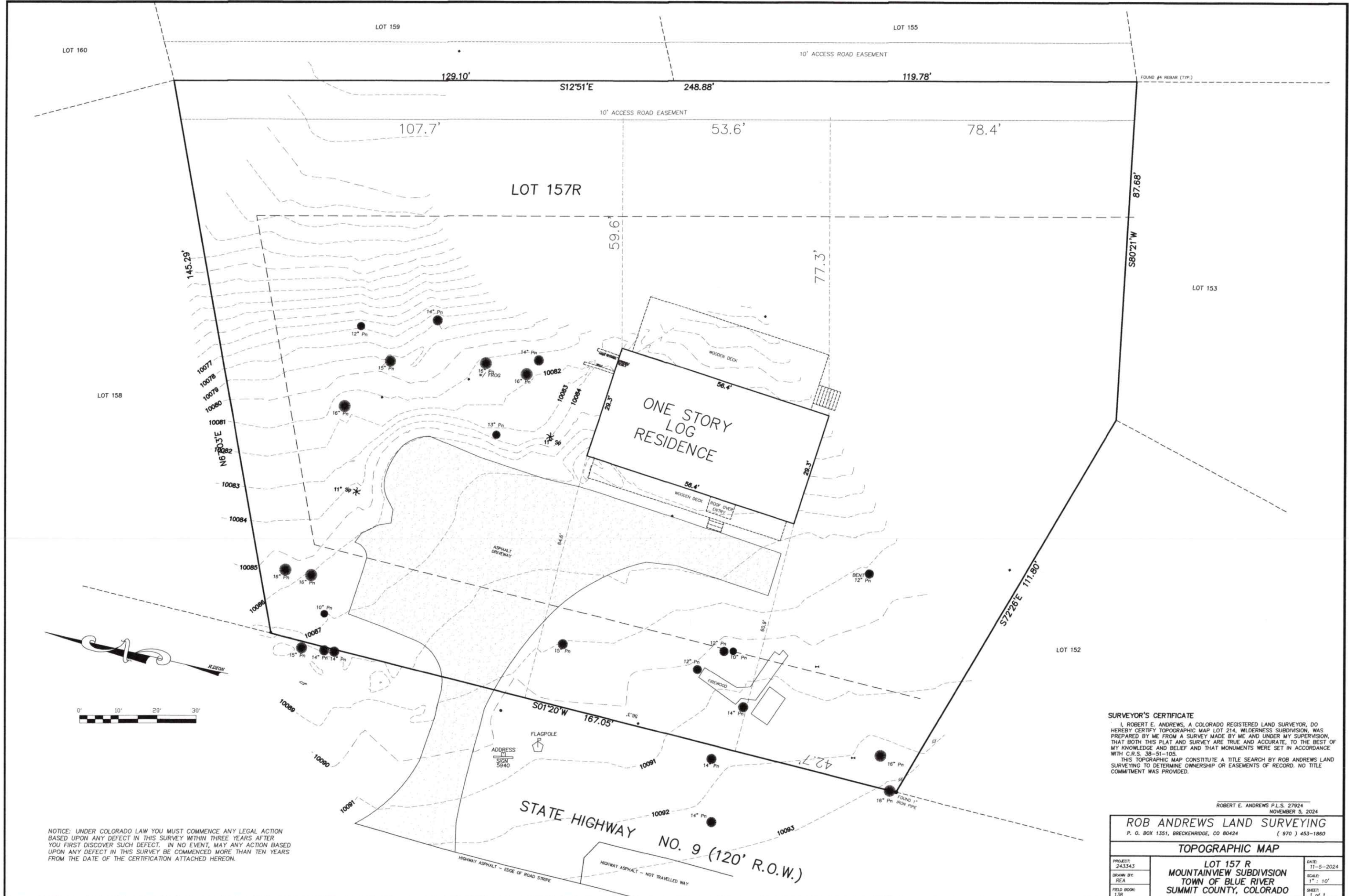
Please note the following key to the interpretation of the analysis table:

Y	Element is in substantial compliance with the design guidelines
N	Does not comply with the design guidelines
PC	Subject to Planning Commission Specific approval
	Requires additional information from applicant
N/A	Not Applicable to the application

STANDARD	NOTES/REMARKS	SUBSTANTIAL COMPLIANCE
<b>DEVELOPMENT STANDARD</b>		
Article 3: Easements	Easements are indicated	Y
Article 4: Buildable Area/setbacks	Front setback is indicated correctly	Y
<b>Article 5 Building Design Standards</b>		
Article 5-20 Building Height	Height is indicated at 26.5'. Section 16B-7-30 (d) requires detached garages to have a height less than the principal structure.	PC
Article 5-60 Foundation	Foundation is not clearly indicated, but appears to be exposed concrete.	N
Article 5-70 Roofs	Main roof design is a gable roof, with a pitch of 9:12	Y
Article 5-80 Garages	Garage door fits the style of the home.	Y
Article 5-90 Window and doors	Windows are sized to complement the home	Y

Article 5-100 Balconies and railings	N/A	Y
Article 5-110 Chimney and Roof Penetrations	N/A	Y
<b>Article 6 Building Materials and Colors</b>		
Article 6-20 Materials	Siding is horizontal siding meant to imitate the existing log cabin. Unclear if proposed design meets the requirements of (e) for consistency with building materials.	PC
Article 6-30 Colors	Colors are provided and show general compliance.	Y
<b>Article 7 Accessory Improvements</b>		
Article 7-(20-40, 110) Berms, Garages, sheds and Gazebos	N/A	Y
Article 7-50 Driveways	Driveway modification will be minimal.	Y
Article 7-60 Parking Areas	N/A	Y
Article 7-100 Decks	N/A	Y
Article 7-120 Hot Tubs	N/A	Y
Article 7-140 Fences	N/A	Y
Article 7-150 Retaining walls	Retaining wall may be required on rear of garage, but not indicated at this time. Finished slopes cannot exceed 2:1	Y
<b>Article 8 Signs</b>		

Article 8 Signs	None indicated	Y
<b>Article 9 Lighting</b>		
Article 9 Lighting	Downcast lights are NOT shown graphically but textually indicated.	PC
<b>Article 13 Environmental Regulations</b>		
Article 13-20 Wetlands	None indicated	Y



NOTICE: UNDER COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION ATTACHED HEREON.

**SURVEYOR'S CERTIFICATE**  
 I, ROBERT E. ANDREWS, A COLORADO REGISTERED LAND SURVEYOR, DO HEREBY CERTIFY TOPOGRAPHIC MAP LOT 214, WILDERNESS SUBDIVISION, WAS PREPARED BY ME FROM A SURVEY MADE BY ME AND UNDER MY SUPERVISION, THAT BOTH THIS PLAT AND SURVEY ARE TRUE AND ACCURATE, TO THE BEST OF MY KNOWLEDGE AND BELIEF AND THAT MONUMENTS WERE SET IN ACCORDANCE WITH C.R.S. 38-51-105.  
 THIS TOPOGRAPHIC MAP CONSTITUTE A TITLE SEARCH BY ROB ANDREWS LAND SURVEYING TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. NO TITLE COMMITMENT WAS PROVIDED.

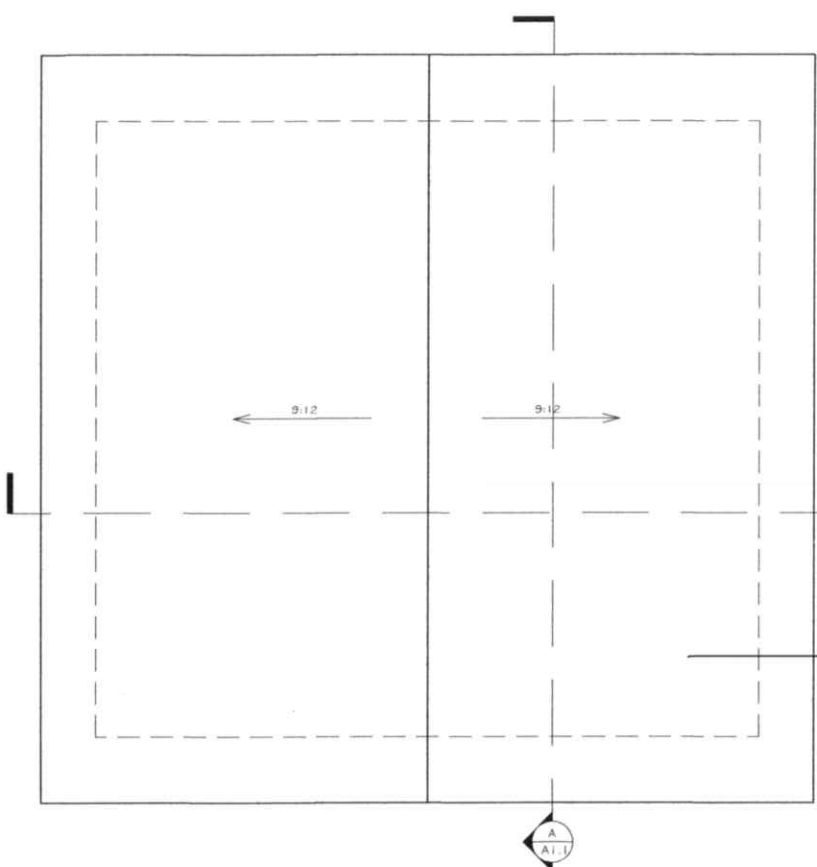
ROBERT E. ANDREWS P.L.S. 27924  
 NOVEMBER 5, 2024

**ROB ANDREWS LAND SURVEYING**  
 P. O. BOX 1351, BRECKENRIDGE, CO 80424 (970) 453-1860

<b>TOPOGRAPHIC MAP</b>	
PROJECT: 243343	DATE: 11-5-2024
DRAWN BY: REA	SCALE: 1" = 10'
FIELD BOOK: 138	SHEET: 1 of 1

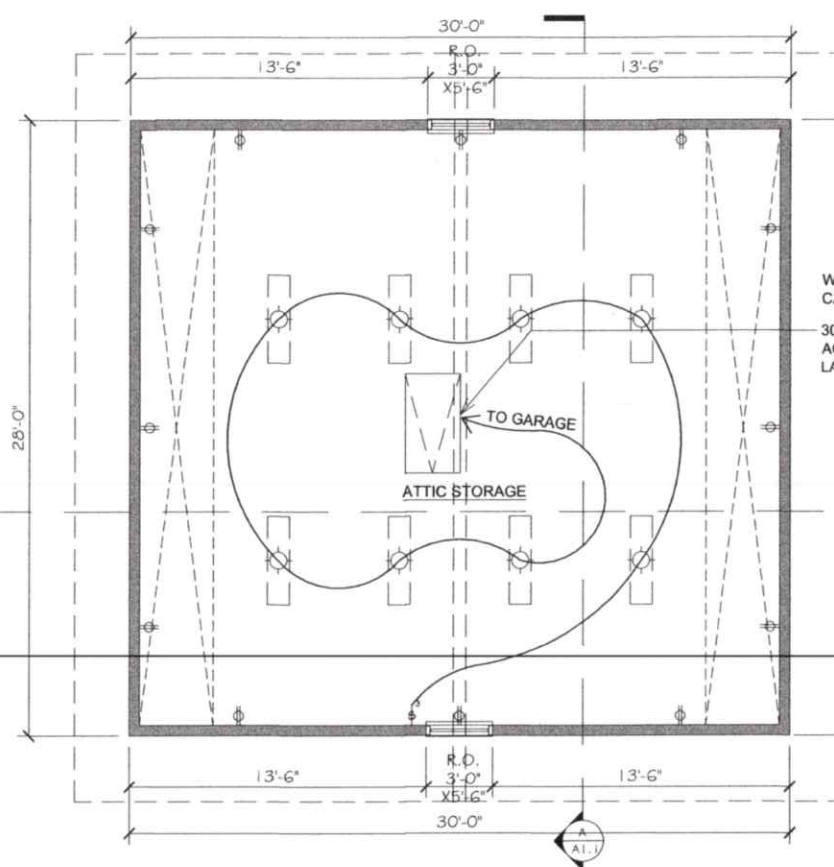
**LOT 157 R**  
**MOUNTAINVIEW SUBDIVISION**  
**TOWN OF BLUE RIVER**  
**SUMMIT COUNTY, COLORADO**





ROOF PLAN

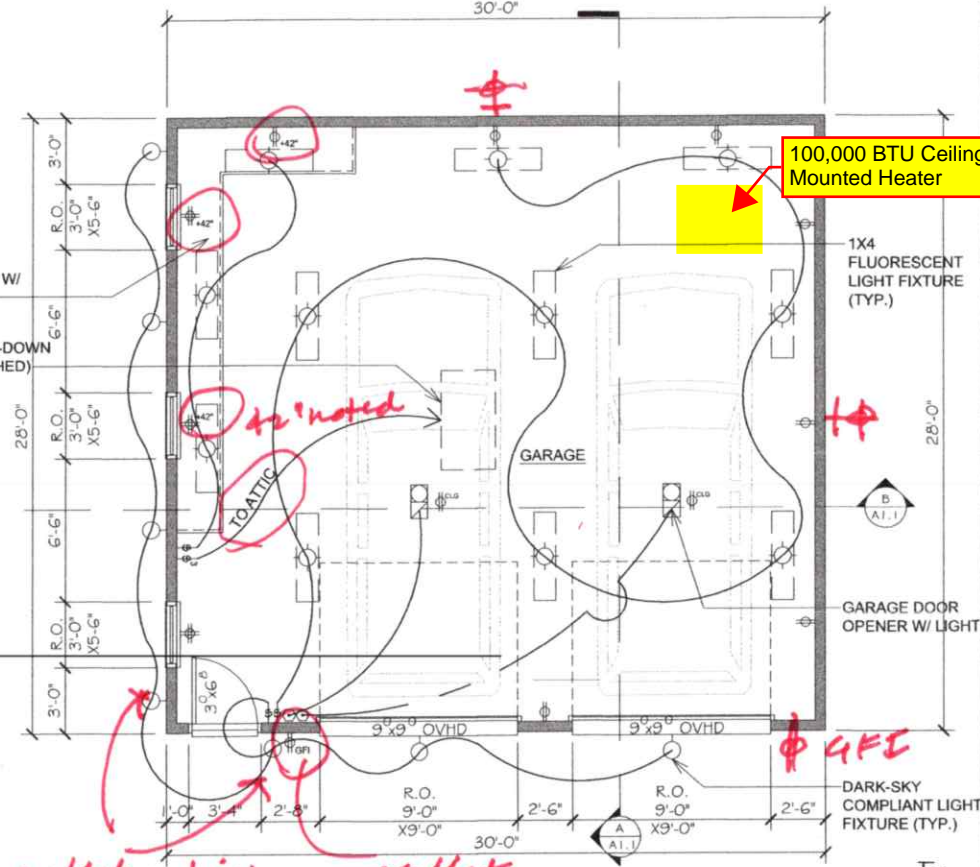
1/4" = 1'-0"



UPPER FLOOR PLAN

1/4" = 1'-0"

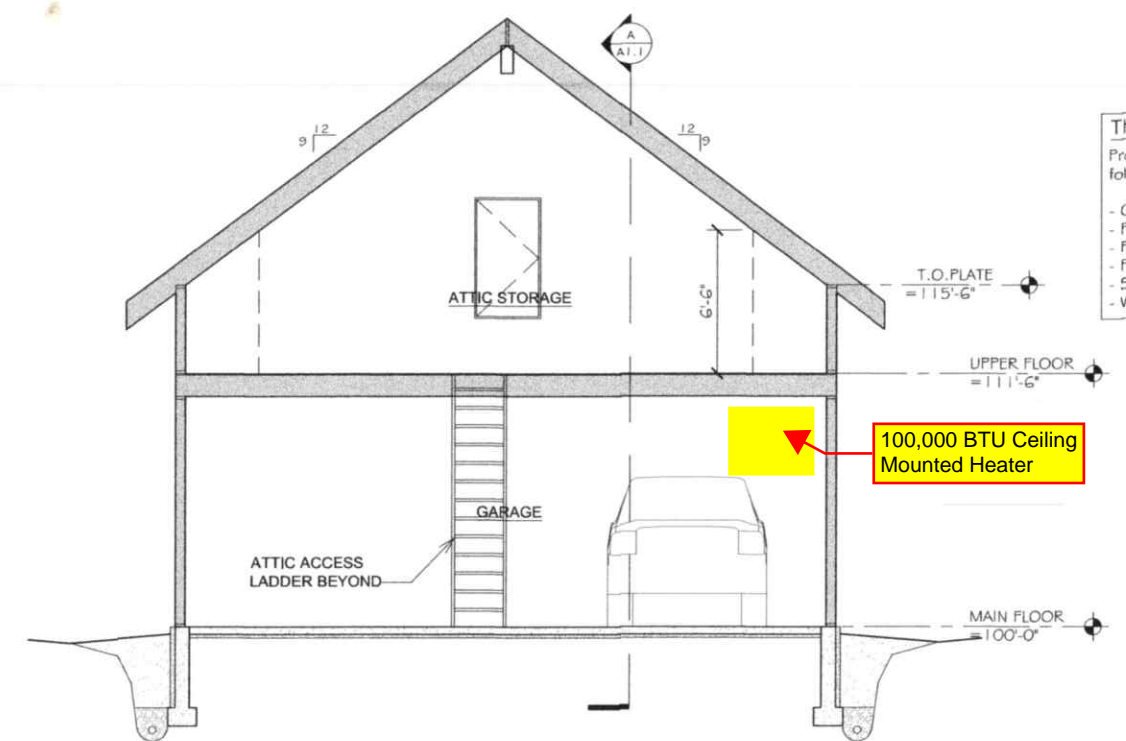
431 SQ. FT. FINISHED  
00 SQ. FT. UNFINISHED



MAIN FLOOR PLAN

1/4" = 1'-0"

00 SQ. FT. FINISHED  
840 SQ. FT. UNFINISHED

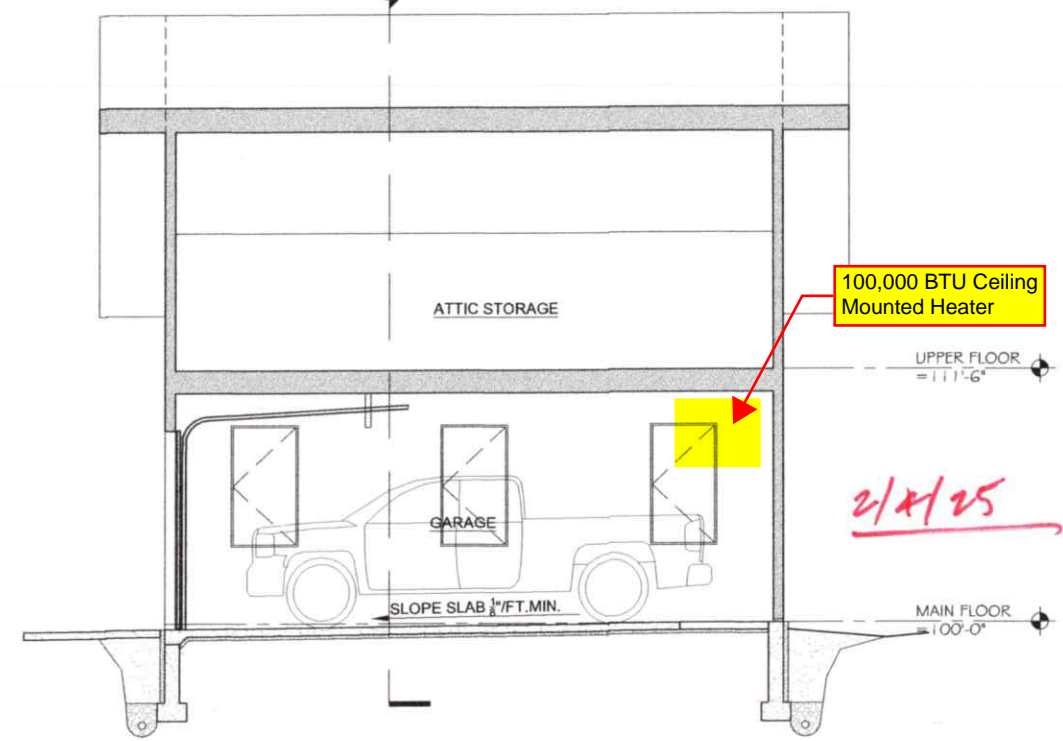


BUILDING SECTION 'B'

1/4" = 1'-0"



**THERMAL ENVELOPE SUMMARY**  
Prescriptive option with Summit County as follows:  
- CEILINGS: R-49 UNCOMPRESSED  
- FRAMED WALLS: R-30 cavity  
- FRAMED FLOOR OVER GARAGE: NONE  
- FOUNDATION WALLS: R-15  
- SLAB: R-10  
- WINDOWS: max U-VALUE 0.32



BUILDING SECTION 'A'

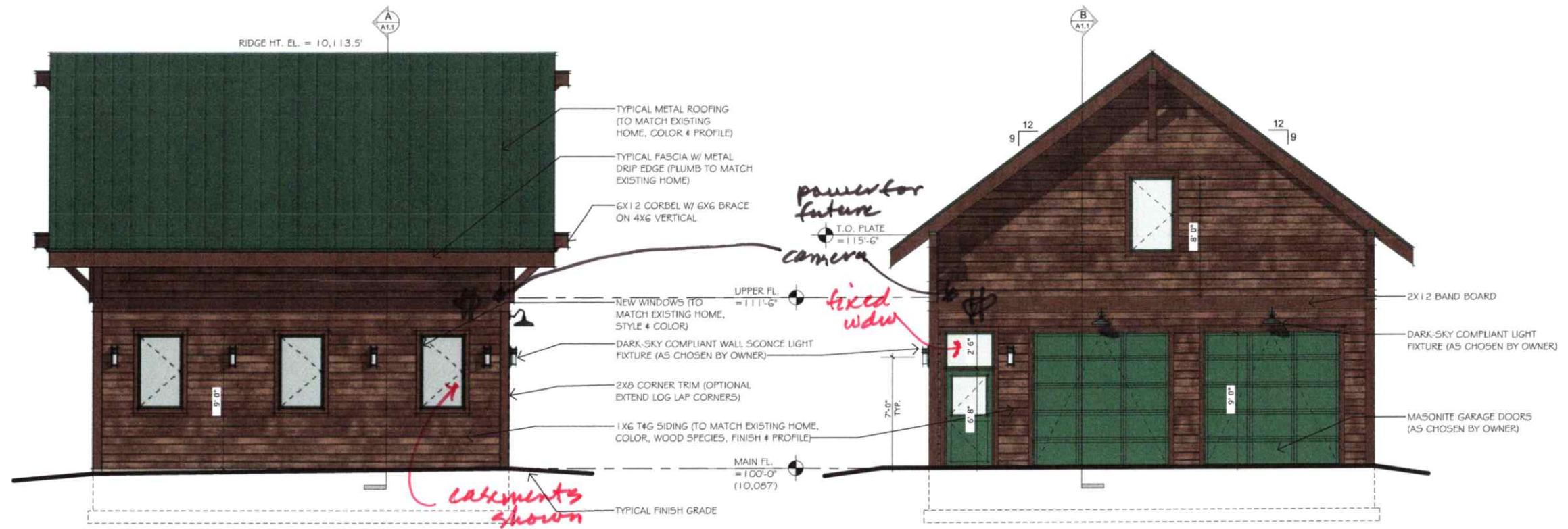
1/4" = 1'-0"



**NEELY ARCHITECTURE**  
J. LEE NEELY - ARCHITECT  
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970-547-0554  
jneely@colorado.net

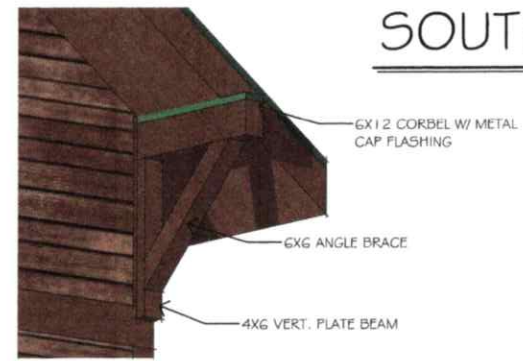
**SHULTZ GARAGE**  
LOT 157R, SUNSET POINT SUBDIVISION  
SUMMIT COUNTY, COLORADO

DATE: 02.04.25  
JOB NO.: NA.16  
REVISIONS:  
LOWER, MAIN & ROOF PLAN  
**AI.1**

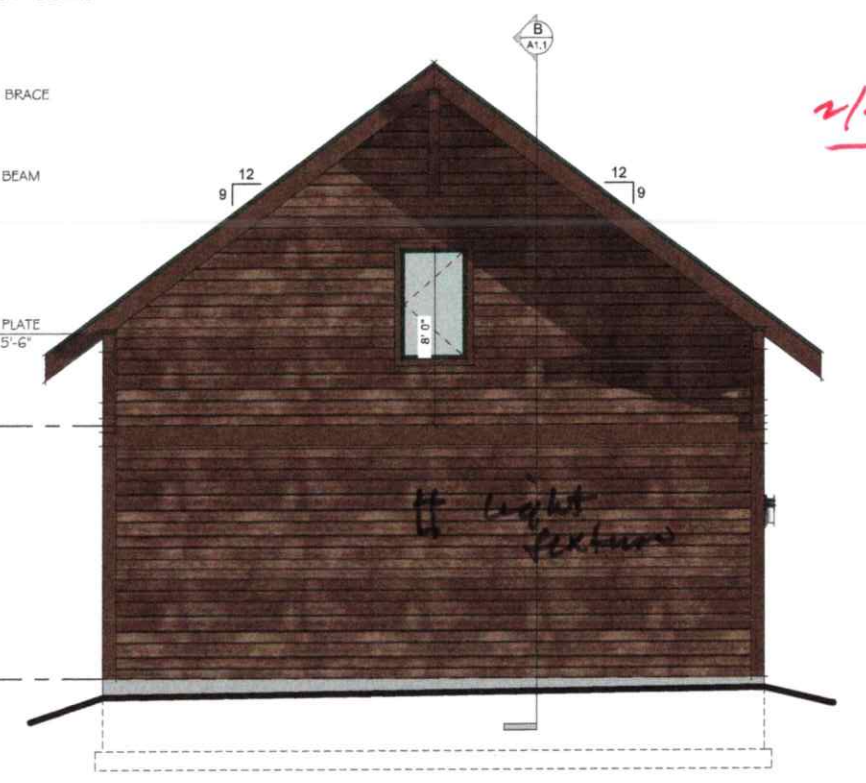


WEST ELEVATION 1/4" = 1'-0"

SOUTH ELEVATION 1/4" = 1'-0"



EAST ELEVATION 1/4" = 1'-0"



NORTH ELEVATION 1/4" = 1'-0"

2/11/25

**NEELY ARCHITECTURE**  
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 Breckenridge, Colorado 80424 jneerch@colorado.net

**SHULTZ GARAGE**  
 LOT 157R, SUNSET POINT SUBDIVISION  
 SUMMIT COUNTY, COLORADO

DATE: 02/04/25  
 JOB NO: NA.16  
 BUILDING ELEVATIONS:  
 A-2.1

GENERAL STRUCTURAL NOTES

A. DRAWINGS AND SPECIFICATIONS

- THE GENERAL STRUCTURAL NOTES APPLY TO STRUCTURAL COMPONENTS OF THE "SHULTZ GARAGE" LOCATED IN BLUE RIVER, SUMMIT COUNTY, COLORADO.
- THESE NOTES AND DRAWINGS WERE PREPARED FOR THE SITE DESCRIBED HEREIN. USE OF THESE DOCUMENTS FOR CONSTRUCTION ON ANY OTHER SITE REQUIRES WRITTEN PERMISSION FROM THE ENGINEER.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS IN THE FIELD AND COORDINATE WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.

B. GOVERNING CODES AND REFERENCES

- INTERNATIONAL BUILDING CODE (IBC), 2018 EDITION.
- INTERNATIONAL RESIDENTIAL CODE (IRC), 2018 EDITION & TOWN OF BLUE RIVER BUILDING REGULATIONS.
- BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, AMERICAN CONCRETE INSTITUTE (ACI 318-14).
- NATIONAL DESIGN SPECIFICATIONS (NDS) FOR WOOD CONSTRUCTION, 2018 EDITION.
- MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES, (ASCE 7-16)
- CONCRETE REINFORCING STEEL INSTITUTE (CRSI), MANUAL OF STANDARD PRACTICE.

C. DESIGN CRITERIA

- ROOF SNOW/LIVE LOAD: 100 PSF
- ROOF DEAD LOAD: 20 PSF
- FLOOR LIVE LOAD: 40 PSF
- FLOOR DEAD LOAD: 20 PSF
- WIND: VULT: 115 MPH, EXPOSURE C; RISK CATEGORY II
- SEISMIC PARAMETERS: SITE CLASS D "STIFF SOIL"; DESIGN CATEGORY: B; RISK CATEGORY: II
- ALLOWABLE SOIL BEARING PRESSURE: 2,000 PSF (ASSUMED). OWNER RESPONSIBLE FOR VERIFICATION BY A GEOTECHNICAL ENGINEER REGISTERED IN THE STATE OF COLORADO.

D. FOUNDATION NOTES

- EXCAVATIONS FOR FOUNDATIONS SHOULD/CAN BE INSPECTED BY A GEOTECHNICAL ENGINEER TO VERIFY ALLOWABLE SOIL BEARING PRESSURE, LOW SETTLEMENT AND SWELL POTENTIAL, AND TO MAKE ANY ADDITIONAL RECOMMENDATIONS, REGARDING EXCAVATIONS, CONSTRUCTION, GROUND WATER DRAINAGE AND OTHER.
- FILL AND BACKFILL SHOULD BE APPROVED BY GEOTECHNICAL ENGINEER, BE PLACED IN UNIFORM LIFTS AND COMPACTED TO AT LEAST 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698. FILL SHALL BE PLACED IN 8" MAXIMUM LIFTS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE A SAFE WORKING CONDITION AT UNDERGROUND EXCAVATIONS. ALL EXCAVATIONS SHOULD BE LAID BACK TO SAFE SLOPES OR PROPERLY SHORED IN ACCORDANCE WITH THE MOST RECENT VERSIONS OF THE OSHA CONSTRUCTION STANDARDS FOR EXCAVATIONS.
- SOILS BENEATH SLABS AND FOOTINGS SHALL BE PROTECTED FROM FREEZING.
- DRAINAGE SHALL BE PROVIDED AWAY FROM THE STRUCTURE DURING ALL PHASES OF CONSTRUCTION.
- IF CLAY AND SAND LENSES ARE FOUND DURING EXCAVATION: A GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED TO VERIFY ADEQUACY OF SITE SOILS FOR BEARING CAPACITY, TO BE USED FOR BACKFILL; AND FOR GENERAL RECOMMENDATIONS TO THE CONTRACTOR TO PROTECT THE SOILS FROM MOISTURE IS REQUIRED.
- EXISTING SUBGRADE SHALL BE COMPACTED TO A DEPTH OF 8 INCHES TO 95% OF MAXIMUM DENSITY PER ASTM D698 BENEATH ALL FOOTINGS, AND ALL FILL BELOW FOOTINGS -OR- FOOTINGS PLACED ON UN-DISTURBED SOIL.
- BACKFILL AGAINST SHALLOW FOUNDATIONS AND STEM WALLS; IN NO CASE SHALL THE MATERIAL BE GREATER THAN 6 INCHES IN DIAMETER AND BEAR DIRECTLY ON OR AGAINST FOUNDATION ELEMENTS. PLACING OVERSIZED MATERIAL AGAINST RIGID SURFACES CAN DAMAGE THE STRUCTURE AND INTERFERE WITH PROPER COMPACTION.
- AT INTERIOR SLABS ON GRADE; THE SURFICIAL CLAYS AND FINE GRAINED SOILS SHALL BE EXCAVATED AND REMOVED. INTERIOR SLABS SHALL BE FOUNDED UPON THE FOLLOWING SECTION FROM TOP TO BOTTOM - UNLESS OTHERWISE INDICATED BY A GEOTECHNICAL ENGINEER OR GEOTECHNICAL INVESTIGATION REPORT: 1) A LEVELING COURSE MAT OF 4 INCHES IN THICKNESS COMPOSED OF 3/4 INCH MINUS FREE DRAINING MATERIAL COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D1557; 2) THE UPPER 8 INCHES OF NATIVE GRAVEL AND SAND SUBGRADE SOILS COMPACTED TO A MINIMUM OF 95% DENSITY AS DETERMINED BY ASTM D698. IF FILL IS REQUIRED UNDER SLABS; FILL SHALL CONSIST OF STRUCTURAL FILL, AND SHALL BE APPROVED BY A GEOTECHNICAL ENGINEER LICENSED IN THE STATE OF COLORADO.
- ANY EXCESSIVELY LOOSE MATERIAL OR SOFT SPOTS ENCOUNTERED IN THE SLAB SUBGRADE WILL REQUIRE OVER-EXCAVATION AND BACKFILLING WITH STRUCTURAL FILL.
- ANY FILL MATERIAL WITHIN 2 FEET OF THE SLABS MUST BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DENSITY AS DETERMINED BY ASTM D698.
- STRUCTURAL FILL SHALL BE PLACED AS NECESSARY TO ACHIEVE FOOTING GRADE.

E. REINFORCING STEEL

- CONCRETE REINFORCING STEEL SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A 615, GRADE 60 INCLUDING ALL #3 THROUGH #10 BARS, STIRRUPS AND TIES.
- CONCRETE WELDED WIRE FABRIC REINFORCEMENT SHALL CONFORM TO ASTM A 185. SPLICE LENGTH SHALL BE A MINIMUM 12" UNLESS NOTED OTHERWISE.
- ALL REINFORCEMENT SHALL BE DETAILED, FABRICATED, AND PLACED IN ACCORDANCE WITH ALL DETAILING MANUAL (SP-16), THE CRSI MANUAL OF STANDARD PRACTICE, AND ACI STANDARD TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS (ACI 117).
- COLD BENDING OF REINFORCING BARS IS TO BE LIMITED TO BARS WHICH HAVE NOT BEEN PREVIOUSLY BENT. BARS MAY BE BENT ONLY ONCE. ANY BEND IS LIMITED TO AN INTERIOR ANGLE OF 90 DEGREES OR GREATER. BENDING TOOLS WITH THE FOLLOWING BENDING DIAMETERS SHOULD BE USED:
  - #3 THROUGH #8 BARS: 6 X BAR DIAMETER
  - #9 THROUGH #11 BARS: 8 X BAR DIAMETER
- THE MINIMUM CONCRETE COVER OVER REINFORCEMENT SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE ON THE DRAWINGS:
  - CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH:
    - 3"..... ALL BAR SIZES
  - CONCRETE EXPOSED TO SOIL OR WEATHER:
    - 2".....#6 THRU #8 BARS
    - 1-1/2".....#5 BAR AND SMALLER
    - 1-1/2".....#3 OR #31 WIRE AND SMALLER
  - CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND:
    - SLABS, WALLS, JOISTS:
      - 1-1/2".... #14 AND #18 BARS
      - 3/4"..... #11 BAR AND SMALLER
    - BEAMS, COLUMNS:
      - 1-1/2".... PRIMARY REINFORCEMENT, TIES, STIRRUPS, AND SPIRALS
- ALL REINFORCEMENT SHALL BE CONTINUOUS UNLESS NOTED OTHERWISE. PROVIDE BENT CORNER BARS (18"X18" UNLESS NOTED OTHERWISE) TO MATCH AND LAP WITH HORIZONTAL BARS AT CORNERS AND INTERSECTION OF WALLS, BEAMS, BOND BEAMS AND FOOTINGS. DOWEL ALL VERTICAL WALL REBAR TO FOUNDATIONS. SECURELY TIE ALL REBAR, INCLUDING DOWELS, IN LOCATION BEFORE PLACING CONCRETE OR GROUT. "STABBING" OF BARS INTO POURED CONCRETE IS NOT PERMITTED.
- DEVELOPMENT LENGTHS AND LAP SPLICES SHALL BE IN ACCORDANCE WITH ACI 318-14, WHERE SPLICE LENGTHS ARE NOT SHOWN ON THE DRAWINGS, THE FOLLOWING SHALL APPLY:
  - #4 BARS 25" #7 BARS 54"
  - #5 BARS 31" #8 BARS 62"
  - #6 BARS 37" #9 BARS 70"
- SPACINGS NOTED FOR REBAR ARE NOT TO BE EXCEEDED. OTHER TOLERANCES FOR REBAR PLACEMENT SHALL CONFORM TO ACI 117-90.
- SECURELY TIE REINFORCEMENT IN PLACE WITH DOUBLE ANNEALED 16 GAUGE TIE WIRE.
- WELDING OF REINFORCEMENT IS NOT PERMITTED WITHOUT APPROVAL OF THE STRUCTURAL ENGINEER. TACK WELDING OF REINFORCEMENT IS PROHIBITED.
- PRECAST MORTAR BLOCKS OR FERROUS METAL CHAIRS, SPACERS, METAL HANGERS OR SUPPORTING WIRES SHALL BE USED TO SECURELY HOLD REINFORCING BARS IN POSITION. METAL CHAIRS, BOLSTERS, OR OTHER METAL THAT ARE IN CONTACT WITH THE EXTERIOR SURFACE OF THE CONCRETE SHALL BE GALVANIZED. WOOD, ALUMINUM OR PLASTIC SUPPORTS SHALL NOT BE USED.

STRUCTURAL NOTATION LEGEND

BTM.	BOTTOM	LONG.	LONGITUDINAL
B.O.	BOTTOM OF	O.I.	ON CENTER
B.O.F.	BOTTOM OF FOOTING	O.H.	OVERHANG
B.U.	BUILT UP	SIM.	SIMILAR
CLR	CLEAR	T.O.	TOP OF
C.L.	CENTERLINE	T.O.W.	TOP OF WALL
EL.	ELEVATION	TYP.	TYPICAL
E.O.R.	ENGINEER OF RECORD	U.N.O.	UNLESS NOTED OTHERWISE
FDN	FOUNDATION	N.T.S	NOT TO SCALE
FTG	FOOTING	WWF	WELDED WIRE FABRIC
G.L.	GRID LINE		

F. CONCRETE

- READY-MIXED CONCRETE SHALL CONFORM TO ASTM C 94. MINIMUM CEMENT CONTENT SHALL BE 6 BAGS (564 POUNDS) PER CUBIC YARD. CEMENT SHALL BE TYPE IIA. CEMENT SHALL CONFORM TO ASTM C 150. AGGREGATES SHALL CONFORM TO ASTM C 33. MIX DESIGNS SHALL BE PREPARED IN ACCORDANCE WITH ACI 301-10.
- MAXIMUM WATER CEMENT RATIO:
  - 0.5 - FOUNDATIONS, SLAB, WALLS
- MAXIMUM AGGREGATE SIZE:
  - 1" - FOUNDATIONS, SLAB, WALLS
- CONSTRUCTION TO BE IN ACCORDANCE WITH ACI 318-14 TESTING, MATERIALS, AND CONSTRUCTION REQUIREMENTS.
- TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS SHALL CONFORM TO ACI 117-90.
- CONCRETE SHALL CONFORM TO ACI 301-10. CONCRETE SHALL BE AIR-ENTRAINED AS FOLLOWS:
  - 6% "SEVERE EXPOSURE" - FOUNDATION WALLS, EXTERIOR SLABS
  - 5% "MODERATE EXPOSURE" - FOOTINGS
  - 3 1/2% "MILD EXPOSURE" - INTERIOR SLABS
- PROVIDE MINIMUM CONCRETE STRENGTHS AS FOLLOWS:
  - 4000 PSI @ 28 DAYS AT INTERIOR SLAB
  - 4000 PSI @ 28 DAYS AT FOOTINGS, FOUNDATION WALLS
- NO ADMIXTURES WITHOUT APPROVAL. ADMIXTURES CONTAINING CHLORIDES SHALL NOT BE USED. CONCRETE SHALL NOT BE IN CONTACT WITH ALUMINUM.
- WHEN THE MEAN DAILY TEMPERATURE IS EXPECTED TO OR HAS DROPPED BELOW 40 DEGREES (F) FOR THREE OR MORE SUCCESSIVE DAYS, THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF ACI 306R-88 "COLD WEATHER CONCRETING". ALSO REFERENCE CHAPTER 12 OF PORTLAND CEMENT ASSOCIATION PUBLICATION "DESIGN AND CONTROL OF CONCRETE MIXTURES".
- JOINT PLACEMENT NOT AS SHOWN ON THE DRAWINGS SHALL HAVE PRIOR WRITTEN APPROVAL OF THE ENGINEER.
- CONCRETE SURFACES SHALL BE FINISHED IN ACCORDANCE WITH ACI302.1R-"CONCRETE FLOOR AND SLAB CONSTRUCTION", AS FOLLOWS:
  - SLAB FLOORS: "CLASS 1" - UNIFORM STEEL-TROWELED FINISH. FINISHED CONCRETE FLOOR SURFACES SHALL VARY NO MORE THAN 1/4" PER 10 FEET.
- COLD JOINTS THAT WILL HAVE ADDITIONAL CONCRETE PLACEMENT ADJACENT OR ABOVE, MUST HAVE A JOINING SURFACE INTENTIONALLY ROUGHENED BY RAKING OR OTHER MEANS TO A DEPTH OF 1/4 INCH PRIOR TO ADDITIONAL CONCRETE PLACEMENT.
- MECHANICALLY VIBRATE ALL CONCRETE WHEN PLACED.
- WAIT A MINIMUM OF 48 HOURS BETWEEN ALL ADJACENT CONCRETE CASTINGS.
- MINIMUM STRENGTH FOR REMOVAL OF BOTTOM FORMS AND SHORING SHALL BE 75% OF SPECIFIED STRENGTH AT 28 DAYS. WALL FORMS MAY BE REMOVED IN 48 HOURS FOR MINIMUM 4000 PSI CONCRETE.
- FORMED SURFACES: FORMED SURFACES SHALL HAVE A CURING COMPOUND APPLIED UPON THE REMOVAL OF THE WALL FORMS. -OR- FORMS CAN BE LEFT ON FOR A MINIMUM CURING TIME OF 7 DAYS, -OR- TIME NECESSARY FOR THE CONCRETE TO OBTAIN 70% OF 28 DAY DESIGN STRENGTH.
- UNFORMED SURFACES: CURING COMPOUND SHALL BE APPLIED IMMEDIATELY AFTER FINISHING CONCRETE. CURE UNFORMED SURFACES, INCLUDING FLOORS AND SLABS WITH A CURING COMPOUND -OR- COVERINGS SUITABLE FOR A WET CURE METHOD.
- CONCRETE WALLS TO HAVE A MINIMUM 7 DAYS OF CURING TIME PRIOR TO PLACING ANY LOAD AGAINST THE WALL.

G. WOOD FRAMING

- UNLESS NOTED OTHERWISE ON THE STRUCTURAL DRAWINGS OR PROJECT SPECIFICATIONS, THE FOLLOWING WOOD FRAMING SPECIFICATIONS AND NOTES SHALL APPLY:
- DIMENSIONAL FRAMING LUMBER:
    - #2 HEM FIR OR BETTER (STRUCTURAL JOISTS; B.U. HEADERS; WALL FRAMING)
    - #1 DOUGLAS FIR OR BETTER (TIMBER COLUMNS AND BEAMS)
  - GLUE-LAMINATED BEAMS (BY AITC STANDARDS):
    - DOUGLAS FIR 24F-V4
    - DOUGLAS FIR 24F-V8 (AT CANTILEVERS)
  - LAMINATED VENEER LUMBER (BY "BOISE ENGINEERED WOOD PRODUCTS") AS INDICATED ON THE DRAWINGS:
    - VERSA-LAM GRADE 2.0 2800
      - FB-2800 PSI
      - FV-285 PSI
      - E-2,000,000 PSI
    - VERSA-LAM GRADE 2.0 3100
      - FB-3100 PSI
      - FV-285 PSI
      - E-2,000,000 PSI
  - WOOD I-JOISTS (BY "BOISE ENGINEERED WOOD PRODUCTS") AS INDICATED ON THE DRAWINGS.
    - PLYWOOD SHEATHING:
      - ROOF SHEATHING: 19/32" APA RATED PLYWOOD SHEATHING, EXPOSURE I, CONFORMING TO PS I WITH A MINIMUM SPAN RATING OF 40/20. INSTALL WITH FACE GRAIN PERPENDICULAR TO JOIST SPAN WITH END JOINTS STAGGERED. UNLESS NOTED OTHERWISE, NAIL ROOF SHEATHING AS FOLLOWS:
        - USE 10D COMMON NAILS; SHANK SIZE = 0.148"; SHANK LENGTH = 3"
        - 10D @ 6" O.C. ALONG ALL PANEL EDGES
        - 10D @ 12" O.C. ALONG ALL INTERMEDIATE SUPPORTS
      - SUBFLOORING: 23/32" APA RATED T&G PLYWOOD SHEATHING CONFORMING TO PS I WITH A MINIMUM SPAN RATING OF 48/24. INSTALL WITH FACE GRAIN PERPENDICULAR TO THE JOIST SPAN WITH END JOINTS STAGGERED. GLUE SUBFLOORING TO JOISTS AND BLOCKING AND GLUE T&G JOINTS WITH CONSTRUCTION ADHESIVE CONFORMING TO APA SPECIFICATION AFG-01 AND APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. UNLESS NOTED OTHERWISE, NAIL FLOOR SHEATHING AS FOLLOWS:
        - USE 8D COMMON NAILS; SHANK SIZE = 0.131"; SHANK LENGTH = 2-1/2"
        - 8D NAILS @ 6" O.C. AT ALL PANEL EDGES AND BLOCKING
        - 8D NAILS @ 10" O.C. AT INTERMEDIATE SUPPORTS
    - PLYWOOD WALL SHEATHING: 15/32" APA RATED SHEATHING CONFORMING TO PS I OR PS 2. UNLESS NOTED OTHERWISE ON THE DRAWINGS, CONSTRUCT EXTERIOR WALLS WITH 2X BLOCKING ALONG ALL EDGES NOT SUPPORTED BY STUDS AND NAIL AS FOLLOWS:
      - USE 10D COMMON NAILS -OR- 8D COMMON NAILS PER SCHEDULE
      - 10D COMMON NAILS; SHANK SIZE = 0.148"; SHANK LENGTH = 3"
      - 8D COMMON NAILS; SHANK SIZE = 0.131"; SHANK LENGTH = 2-1/2"
      - 8D NAILS @ 6" O.C. AT ALL PANEL EDGES AND BLOCKING
      - 8D NAILS @ 12" O.C. AT INTERMEDIATE SUPPORTS
    - WHERE PANELS ARE APPLIED ON BOTH FACES OF A WALL AND NAIL SPACING IS LESS THAN 6" ON CENTER ON EITHER SIDE, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS OR FRAMING SHALL BE 3" NOMINAL OR THICKER AND NAILS ON EACH SIDE SHALL BE STAGGERED. SILL PLATE SHALL BE 3" NOMINAL OR THICKER
  - UNLESS NOTED OTHERWISE ALL NAILS FOR ATTACHING PLYWOOD SHALL BE UNFINISHED COMMON NAILS OF SIZE SHOWN. NAILS FOR ATTACHING PLYWOOD IN HIGH HUMIDITY, AND TREATED WOOD LOCATIONS NAILS SHALL BE GALVANIZED BY HOT-DIP OR TUMBLED PROCESS AND SHALL NOT BE ELECTRO-PLATED.
  - ANCHOR BOLTS SHALL CONFORM TO ASTM A 307.
    - UNLESS NOTED OTHERWISE, ANCHOR BOLTS ARE TO BE 5/8" DIAMETER, AND ARE TO BE SPACED NO FURTHER APART THAN 48" O.C.. IF OTHER SIZES AND SPACINGS ARE SHOWN ON THE DRAWINGS THOSE WILL GOVERN.
    - ANCHOR BOLTS SHALL BE EMBEDDED AT LEAST 8" INTO THE CONCRETE UNLESS NOTED OTHERWISE. THERE SHALL BE A MINIMUM OF 2 BOLTS PER SEGMENT OF SILL PLATE, WITH ONE BOLT LOCATED NOT MORE THAN 12" OR LESS THAN 7 BOLT DIAMETERS FROM EACH END OF THE SILL. PLATE WASHERS A MINIMUM OF 3"x3"x0.229" THICK SHALL BE USED ON EACH BOLT.
  - PREMANUFACTURED METAL WOOD CONNECTORS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS FOR THE MAXIMUM LOAD CAPACITY, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
  - ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESERVATIVE PRESSURE TREATED IN CONFORMANCE WITH THE AMERICAN WOOD PRESERVERS' ASSOCIATION AWPA C-1.

J. MISCELLANEOUS

- CHANGES, OMISSIONS OR SUBSTITUTIONS ARE NOT PERMITTED WITHOUT APPROVAL OF THE ENGINEER.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE 2018 INTERNATIONAL BUILDING CODE (2018 IBC) AND THE 2018 INTERNATIONAL RESIDENTIAL CODE (2018 IRC).
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATE OPENINGS AND EMBEDDED ITEMS NOTED ON CONSTRUCTION DOCUMENTS WITH THE APPROPRIATE TRADES BEFORE STARTING WORK.
- IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT THE STRUCTURE IS TEMPORARILY BRACED IN A MANNER TO RESIST EARTH, WIND, SNOW, AND CONSTRUCTION LOADS OR COMBINATIONS THEREOF UNTIL ALL SUPPORTING STRUCTURES ARE IN PLACE AND CONCRETE IS SUFFICIENTLY CURED.
- EXISTING CONDITIONS OF THE SITE AND STRUCTURE ARE TO BE THOROUGHLY INVESTIGATED BY THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE SITE INVESTIGATION AND THE CONTRACT DOCUMENTS BEFORE FABRICATION AND/OR CONSTRUCTION BEGINS.
- CONTRACTOR SHALL ALLOW FOR AT LEAST 5 WORKING DAYS FOR RFI & RFC REQUESTS TO BE REVIEWED AND RETURNED BY THE ENGINEER.
- CONTRACTOR SHALL ALLOW FOR AT LEAST 5 WORKING DAYS FOR REVIEW OF PRODUCT SUBSTITUTION REQUESTS. SUBSTITUTED PRODUCT SHOULD BE OF EQUAL OR BETTER.

UNLESS NOTED OTHERWISE, THE REINFORCEMENT DETAILS IN THE FOLLOWING SCHEDULE SHALL APPLY:

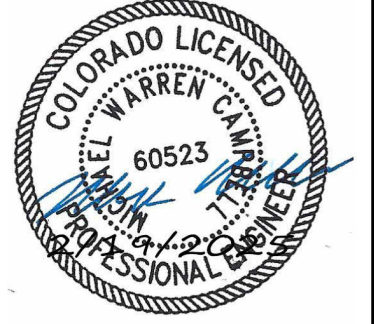
MINIMUM REINFORCEMENT LAP SPLICE LENGTHS							
	#3 - 19"	#5 - 31"	#7 - 54"				
	#4 - 25"	#6 - 37"	#8 - 62"				
NOTE: 1. WHERE DIFFERENT SIZE BARS ARE LAPPED, USE LARGER BAR LAP LENGTH.							
STANDARD HOOK DIMENSIONS							
	90° HOOK	180° HOOK	"D"	"A"	"B"	"C"	"E"
			2-1/4"	6"	3"	5"	2-1/2"
			3"	8"	4"	6"	2-1/2"
			3-3/4"	10"	5"	7"	2-1/2"
			4-1/2"	12"	6"	8"	3"
			5-1/4"	14"	7"	10"	3-1/2"
			6"	16"	8"	11"	4"

SYMBOL LEGEND:

	INDICATES FOOTING TYPE; SEE SCHEDULE ON DRAWING S2.
	INDICATES HEADER TYPE; SEE SCHEDULE ON DRAWING S3.
	INDICATES APPROXIMATE CAST IN PLACE HOLDOWN LOCATION
	INDICATES POST
	INDICATES SHEARWALL, SEE SCHEDULE ON DRAWING S2.
	INDICATES SHEARWALL AND HOLDOWN TYPE; SEE SCHEDULE ON DRAWING S2.

REV.				
2/19/2025	MC	MC	MC	MC
DATE	ENGINEERED	DRAWN	CHECKED	APPROVED

ROCKY'S ENGINEERING LLC  
  
 ROCKYSENGINEERING@GMAIL.COM  
 ROCKYSENGINEERING.COM

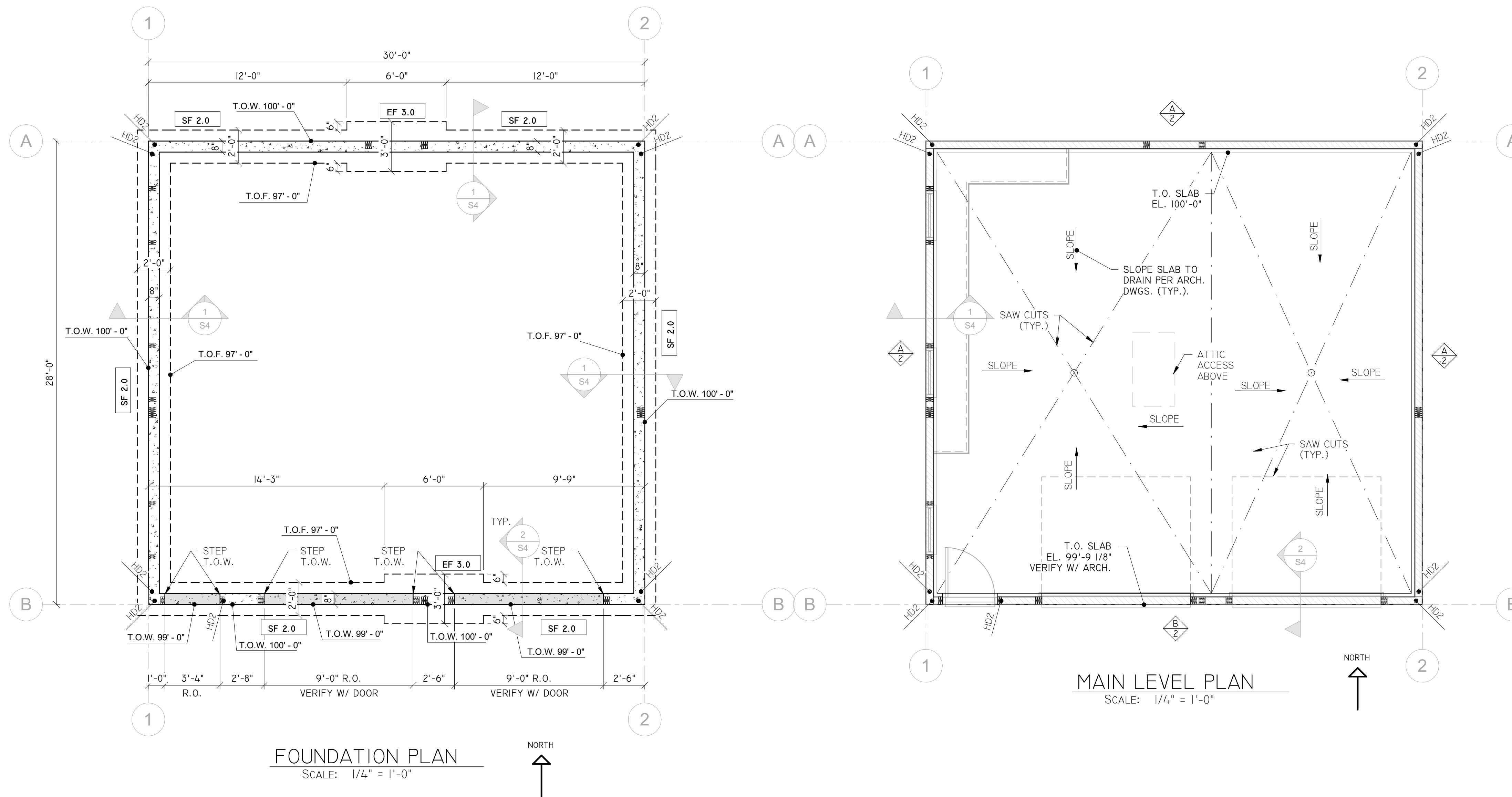


DRAWING TITLE  
 GENERAL STRUCTURAL NOTES

JOB TITLE  
 SHULTZ GARAGE  
 LOT 157R, MOUNTAIN VIEW SUBDIVISION  
 BLUE RIVER, SUMMIT COUNTY, CO

STRUCTURAL DRAWING INDEX	
S1	GENERAL STRUCTURAL NOTES
S2	FOUNDATION & MAIN LEVEL PLANS
S3	UPPER LEVEL FRAMING & UPPER LEVEL SHEARWALL & ROOF FRAMING PLANS
S4	FOUNDATION & FRAMING DETAILS
S4.1	TYPICAL FRAMING DETAILS

DRAWING NO  
 S1  
 JOB NO  
 24-46-01



- FOUNDATION PLAN LEGEND:**
- SF 2.0** INDICATES FOOTING TYPE. SEE SCHEDULE, THIS DRAWING SHEET.
  - INDICATES APPROXIMATE LOCATION OF HOLDDOWN, CAST INTO CONCRETE FOUNDATION
  - ⊠ INDICATES POST ABOVE

- FRAMING PLAN LEGEND:**
- HI** INDICATES HEADER TYPE. SEE SCHEDULE, THIS DRAWING.
  - INDICATES APPROXIMATE LOCATION OF HOLDDOWN, CAST INTO CONCRETE FOUNDATION
  - ⊠ INDICATES POST
  - ▨ INDICATES PLYWOOD SHEARWALL
- SHEARWALL EXTENT** INDICATES APPROXIMATE LOCATION OF HOLDDOWN  
**▨** INDICATES SHEATHING FOR SHEARWALL TYPE  
**⊠** INDICATES HOLDDOWN TYPE  
**—** INDICATES SHEARWALL END STUD

- MAIN LEVEL PLAN NOTES:**
- COLUMNS SHALL BE CONTINUOUS TO FOUNDATION SYSTEM, UNLESS SUPPORTED BY A BEAM OR HEADER, IN WHICH THE SUPPORTING COLUMNS OF THE BEAM OR HEADER MUST BE CONTINUOUS TO THE FOUNDATION SYSTEM.
  - PROVIDE 1/4" WIDE X 3/4" DEEP SAW CUTS IN ALL 4" THICK SLABS. LOCATION OF SAW CUTS CAN BE IN THE CENTER OF THE SLAB IN THE LONGITUDINAL DIRECTION (OR EQUALLY SPACED) AND EQUALLY SPACED IN THE HORIZONTAL DIRECTION.
  - HOLDOWNS SHOWN ON THIS PLAN ARE FOR THE MAIN LEVEL WALL SYSTEM TO FOUNDATION CONNECTION. HOLDOWNS ARE ALSO SHOWN ON THE FOUNDATION PLAN.
  - SHEARWALLS SHOWN ON THIS PLAN ARE FOR THE MAIN LEVEL WALL FRAMING SYSTEM.
  - FOUNDATION CONTRACTOR MUST COORDINATE WITH FRAMING CONTRACTOR & STUD WALL PLACEMENT TO ACCURATELY PLACE HOLDDOWN ANCHORS.
  - TYPICAL INTERIOR & EXTERIOR BEARING WALLS SHALL BE 2x6 FRAMING AT 16" O.C. WITH BLOCKING BETWEEN STUDS AT 4'-0" SPACING (U.N.O.).

**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

**MAIN LEVEL PLAN**  
SCALE: 1/4" = 1'-0"

**FOUNDATION PLAN NOTES:**

- ALL FOUNDATION WALLS ARE 8" THICK CONCRETE FOUNDATION WALLS. WALL ELEVATIONS ARE SHOWN ON PLANS AS "T.O.W.".
- FOUNDATION FOOTINGS ARE DESIGNED BASED ON AN ASSUMED SOIL BEARING PRESSURE OF 2,000 PSF. IF A GEOTECHNICAL ENGINEER DETERMINES THE SOIL BEARING PRESSURE IS GREATER THAN THE MINIMUM 2,000 PSF; THE FOOTINGS CAN BE REDUCED ACCORDING TO THE FINDINGS IN THE FIELD. IF AN EXISTING GEOTECHNICAL INVESTIGATION OR ANALYSIS WAS PROVIDED IN COORDINATION WITH THE EXISTING RESIDENCE, THOSE ALLOWABLE BEARING PRESSURES CAN BE CONSIDERED AND FOOTING SIZES REDUCED AS APPROPRIATE. ARCHITECT & CONTRACTOR TO COORDINATE WITH ENGINEER DURING TIME OF EXCAVATION IF A GEOTECHNICAL OPEN HOLE INSPECTION IS REQUESTED TO REDUCED FOOTING SIZES.
- COLUMNS SHALL BE CONTINUOUS TO FOUNDATION SYSTEM, UNLESS SUPPORTED BY A BEAM OR HEADER, IN WHICH THE SUPPORTING COLUMNS OF THE BEAM OR HEADER MUST BE CONTINUOUS TO THE FOUNDATION SYSTEM.
- PROVIDE 1/4" WIDE X 3/4" DEEP SAW CUTS IN ALL 4" THICK SLABS. LOCATE SAW CUTS IN THE CENTER OF THE SLAB IN THE LONGITUDINAL DIRECTION (OR EQUALLY SPACED) AND EQUALLY SPACED IN THE HORIZONTAL DIRECTION.
- HOLDOWNS SHOWN ON THIS PLAN ARE FOR THE MAIN LEVEL WALL TO FOUNDATION WALL CONNECTION. HOLDOWNS ARE ALSO SHOWN ON THE MAIN LEVEL PLAN.
- TOP OF FOUNDATION WALL & FOOTINGS (T.O.) ELEVATIONS ARE TO BE VERIFIED WITH ARCHITECTURAL DRAWINGS AND FINISH GRADE. ALL TOP OF FOUNDATION WALL ELEVATIONS TO BE VERIFIED WITH ARCHITECTURAL DRAWINGS AND ALL TOP OF FOOTING ELEVATIONS TO BE VERIFIED WITH FINISH GRADE TO ALLOW FOR A MINIMUM 40" FROST DEPTH.
- FOUNDATION CONTRACTOR MUST COORDINATE WITH FRAMING CONTRACTOR & STUD WALL PLACEMENT TO ACCURATELY PLACE HOLDDOWN ANCHORS. FOR HOLDDOWN ANCHORS AT FOUNDATION CORNERS.
- THE CONTRACTOR SHALL PROVIDE FOUNDATION VENTS ALONG EXTERIOR FOUNDATION WALL FOR PROPER VENTILATION OF THE CRAWL SPACE AREA, IN ACCORDANCE WITH IRC 2018 & ARCHITECTURAL DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR PLACEMENT OF VENTS.
- WATERPROOFING MEMBRANE AND/OR DRAINAGE MAT SHALL BE PLACED ON THE FOUNDATION WALLS, WITH PLASTIC MEMBRANE THROUGHOUT THE CRAWL SPACE, IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS & IRC 2015.
- VERIFY DOOR ROUGH OPENINGS AT WALK DOORS AND OVERHEAD GARAGE DOORS PRIOR TO PLACEMENT OF FOUNDATION WALLS. WIDTH OF FOUNDATION WALL BLOCKOUTS SHOWN ARE GENERAL, AND THE CONTRACTOR MUST VERIFY FINAL BLOCKOUT DIMENSIONS REQUIRED PRIOR TO CONSTRUCTION.

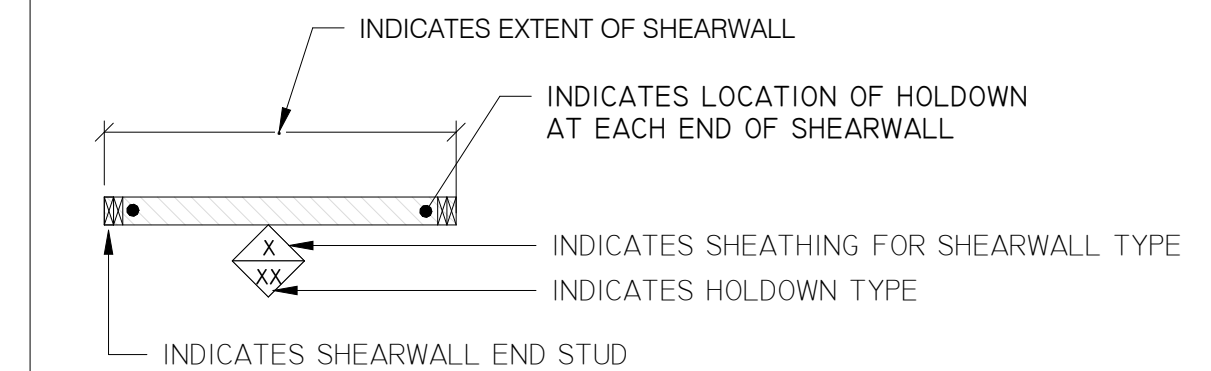
**FOOTING SCHEDULE**

MARK	DIMENSIONS	THICKNESS	REINFORCEMENT
SF 2.0	2'-0" WIDE WALL FOOTING	12" THICK	#4 BARS @ 8" O.C. SPACING & (3) #4 BARS LONGITUDINAL
EF 3.0	3'-0" WIDE X 6'-0" LONG EXPANDED FOOTING	12" THICK	#4 BARS @ 8" O.C. SPACING & (5) #4 BARS LONGITUDINAL

- NOTES:**
- ALL FOOTINGS ARE CENTERED BELOW 8" THICK FOUNDATION WALL ABOVE.
  - TOP OF FOOTING ELEVATIONS ARE SHOWN ON PLANS AS "T.O.F."

**SHEARWALL SCHEDULE**

MARK	SHEATHING	NAILING
A	15/32" PLYWOOD	8d @ 6" O.C. BOUNDARY EDGES, 8d @ 12" O.C. INTERIOR
B	15/32" PLYWOOD	8d @ 4" O.C. BOUNDARY EDGES, 8d @ 12" O.C. INTERIOR



- NOTES:**
- ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH SHEARWALL "A" UNLESS NOTED OTHERWISE.
  - ALL FRAMED EXTERIOR WALLS AND INTERIOR SHEARWALLS SHALL BE 2x6 @ 16" O.C. WITH BLOCKING BETWEEN STUDS AT 4'-0" SPACING UNLESS NOTED OTHERWISE.
  - WHERE PANELS ARE APPLIED ON BOTH FACES OF A SHEAR WALL AND NAIL SPACING IS LESS THAN 6" O.C. ON EITHER SIDE, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS. ALTERNATIVELY, THE WIDTH OF THE NAILED FACES OF FRAMING MEMBERS SHALL BE 3" NOMINAL OR GREATER AT ADJOINING PANEL EDGES AND NAILS AT ALL PANEL EDGES STAGGERED. SILL PLATE SHALL BE 3" NOMINAL OR THICKER. (SEE GENERAL NOTES SECTION 6.5.C)

**HOLDOWN SCHEDULE**

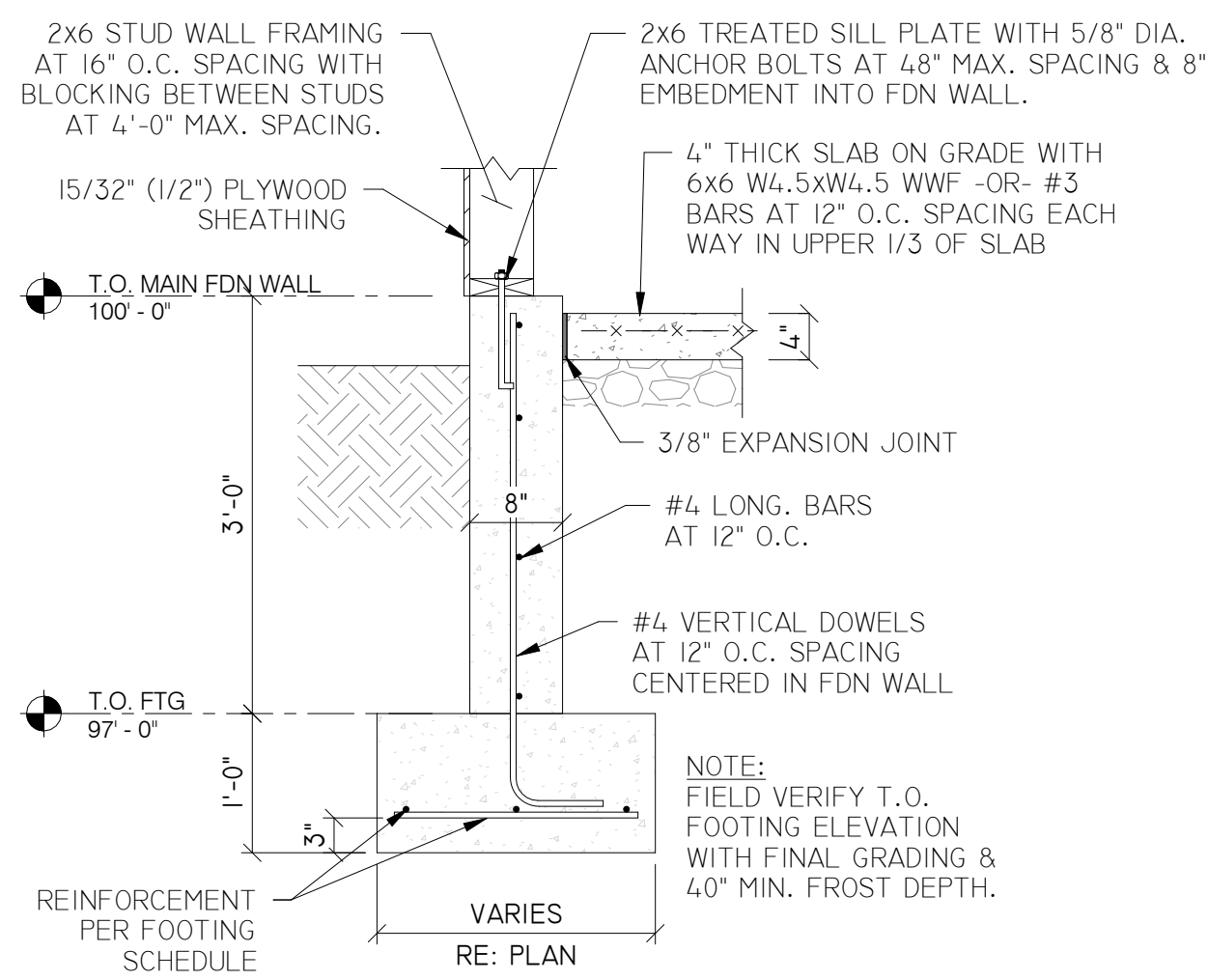
MARK	TYPE	COMMENTS	MINIMUM WOOD MEMBER THICKNESS
0	NOT REQUIRED	N/A	N/A
1	SIMPSON MSTC40 STRAP TIE -OR- HDU2-SDS2.5	USE MST37 STRAP -OR- HDU2-SDS2.5 WITH 5/8"Ø THREADED ROD FROM UPPER LEVEL WALL FRAMING TO LOWER LEVEL WALL FRAMING.	3"
2	SIMPSON HDU5-SDS2.5 -OR- SIMPSON STHD4 STRAP-TIE HOLDOWN	USE 5/8" DIA. ANCHOR BOLT, EMBEDDED INTO FOUNDATION WALL WITH 8" MIN. EMBEDMENT (OR CAN USE 5/8" DIA. THREADED ROD, DRILL & EPOXY INTO FOUNDATION WITH 6" MIN. EMBEDMENT WITH SIMPSON SET-XP EPOXY OR EQUAL) WITH CNW5/8 COUPLER NUT & 5/8" DIA. THREADED ROD AS REQUIRED TO WALL FRAMING. -OR- USE STRAP-TIE HOLDOWN EMBEDDED INTO FOUNDATION WALL PER SIMPSON REQUIREMENTS.	3"

- ▨ INDICATES SHEATHING FOR SHEARWALL TYPE
- ⊠ INDICATES HOLDDOWN TYPE

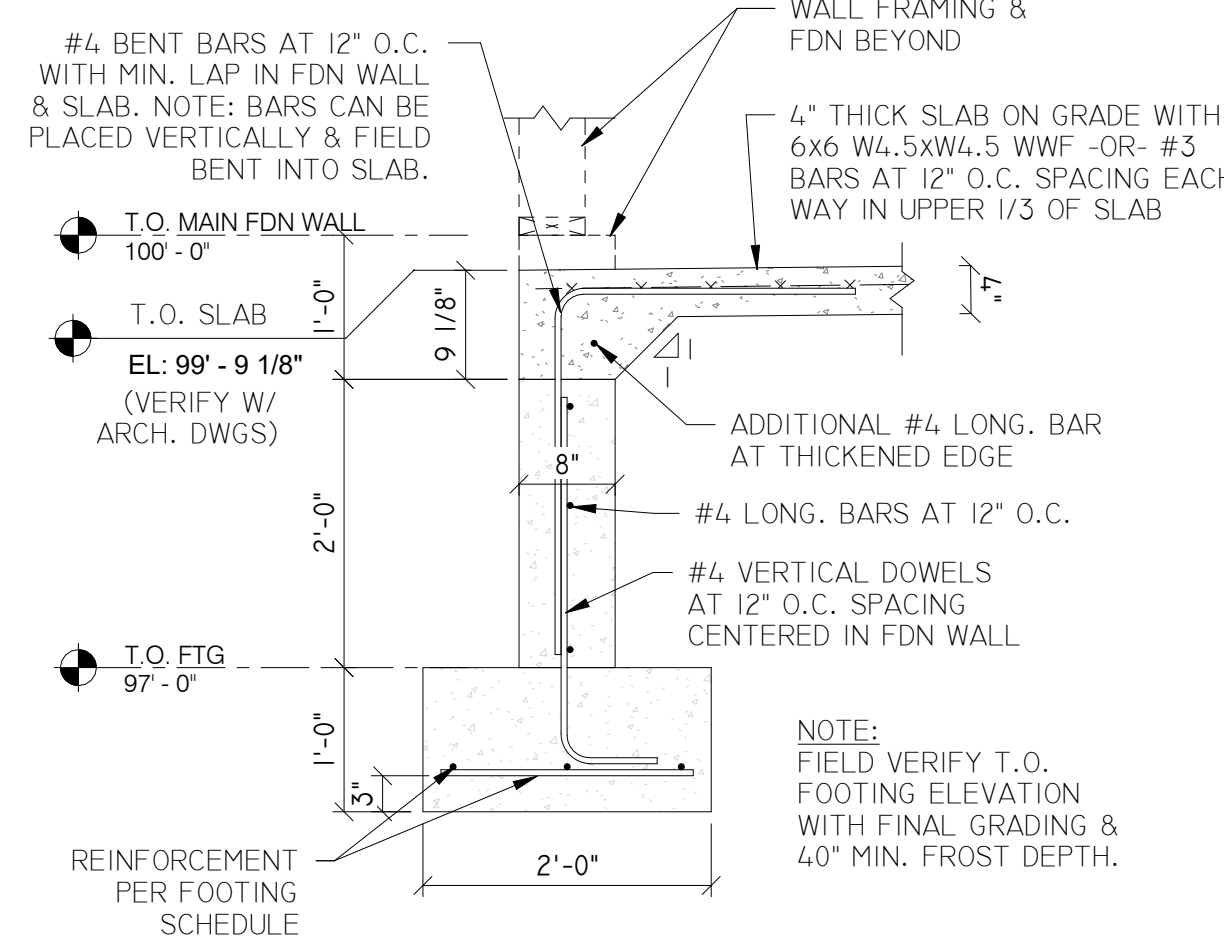
- NOTES:**
- REFER TO SIMPSON CATALOG FOR ALL INSTALLATION & CONNECTION REQUIREMENTS. SIMPSON CATALOG & DESIGN PAGES SHALL BE ON SITE DURING CONSTRUCTION FOR ALL ATTACHMENT REQUIREMENTS.
  - CONTRACTOR MUST VERIFY ACCURATE CONCRETE SECTIONS BELOW ALL HOLDOWNS AND NOTIFY ENGINEER IF ANY DISCREPANCIES OCCUR.
  - CONCRETE CONTRACTOR MUST COORDINATE WITH FRAMING CONTRACTOR REGARDING ACCURATE PLACEMENT OF FOUNDATION ANCHORS IN COORDINATION WITH STUD FRAMING ABOVE.
  - FOUNDATION CONTRACTOR MUST COORDINATE WITH FRAMING CONTRACTOR & STUD WALL PLACEMENT TO ACCURATELY PLACE HOLDDOWN ANCHORS.

REV.	2/19/2025	PC	PC	PC	PC
DATE	ENGINEERED	DRAWN	CHECKED	APPROVED	
 <b>ROCKY'S ENGINEERING LLC</b> ROCKSYENGINEERING@GMAIL.COM ROCKSYENGINEERING.COM					
 <b>COLORADO LICENSED PROFESSIONAL ENGINEER</b> KEVIN W. ARREY, P.E. 60523					
DRAWING TITLE <b>FOUNDATION &amp; MAIN LEVEL PLANS</b>					
JOB TITLE <b>SHULTZ GARAGE</b> LOT 157R, MOUNTAIN VIEW SUBDIVISION BLUE RIVER, SUMMIT COUNTY, CO					
DRAWING NO	S2				
JOB NO	24-46-01				

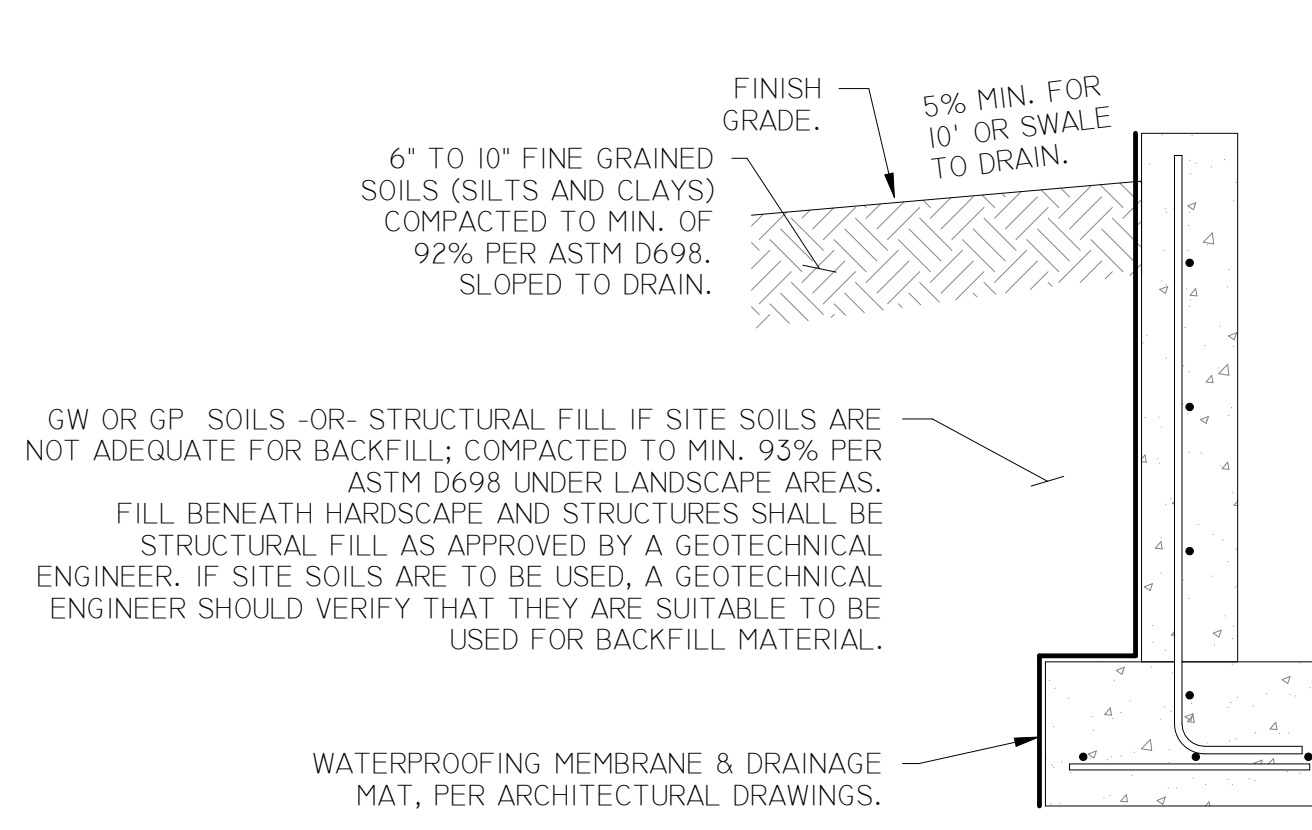




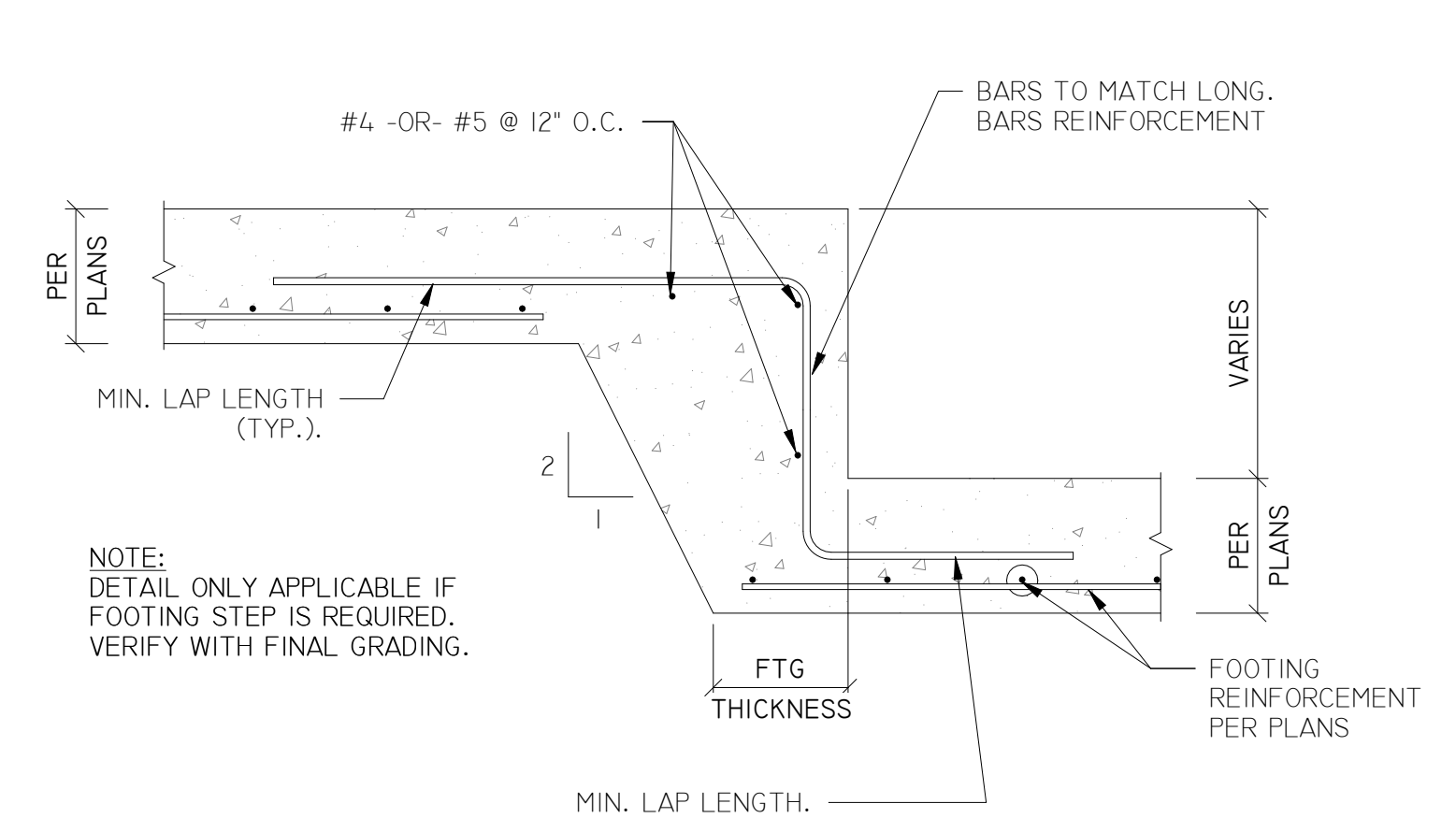
1  
S4  
TYPICAL FOUNDATION DETAIL  
SCALE: 3/4" = 1'-0"



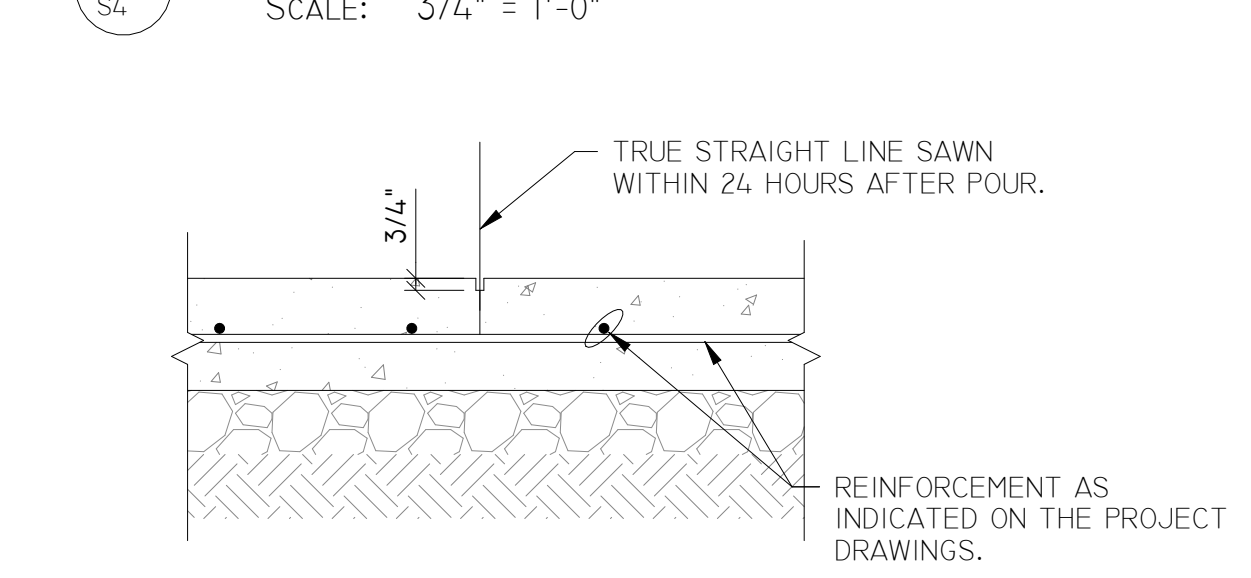
2  
S4  
ROLL OVER SLAB FOUNDATION DETAIL  
SCALE: 3/4" = 1'-0"



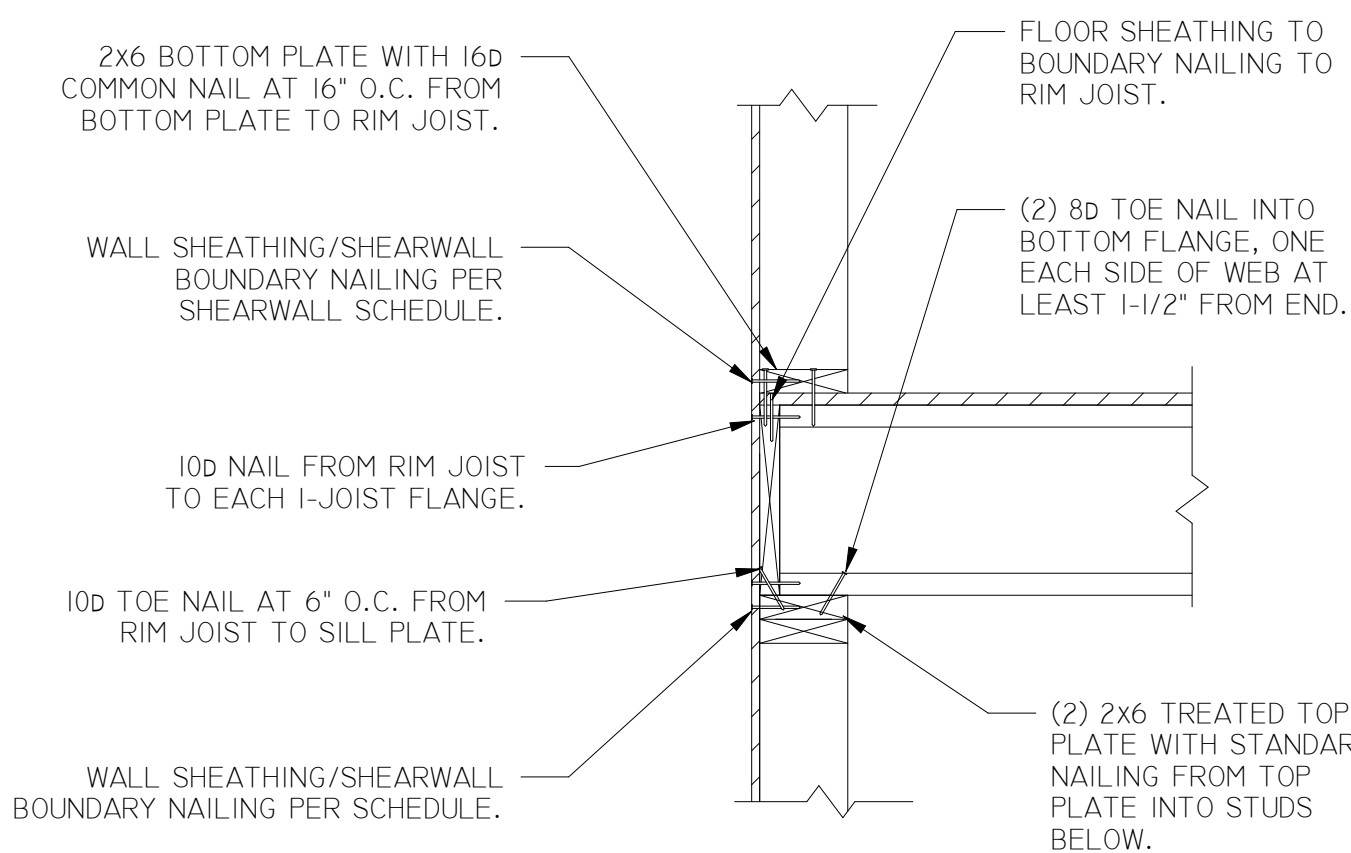
3  
S4  
TYPICAL FOUNDATION BACKFILL DETAIL  
SCALE: 3/4" = 1'-0"



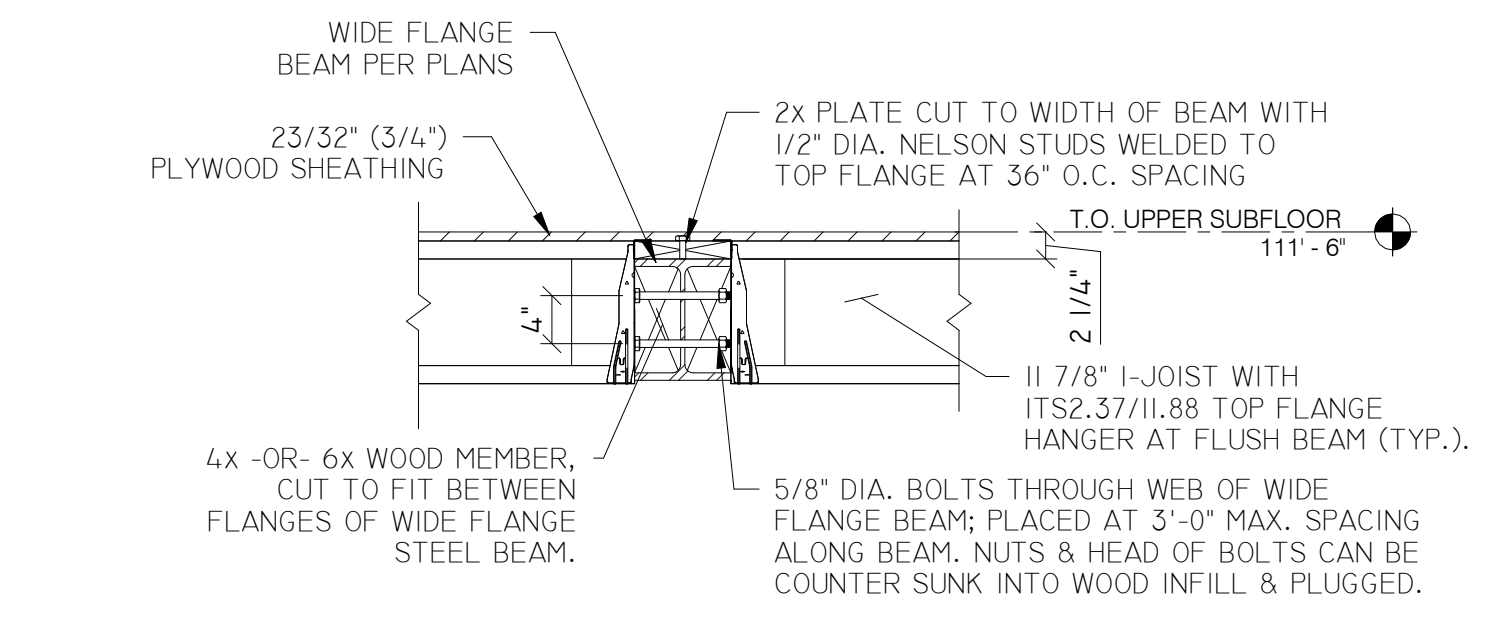
4  
S4  
TYPICAL FOOTING STEP DETAIL  
SCALE: 3/4" = 1'-0"



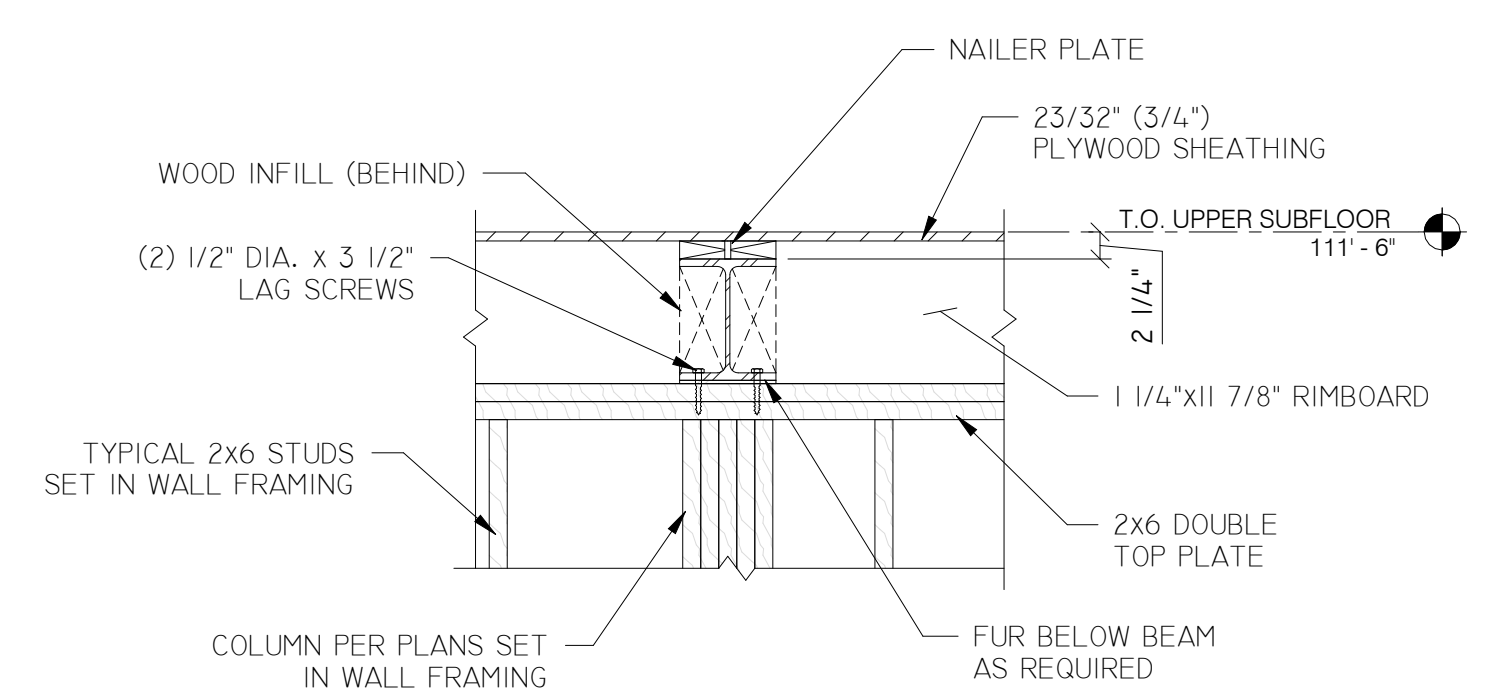
5  
S4  
TYPICAL SAWCUT DETAIL  
SCALE: 1" = 1'-0"



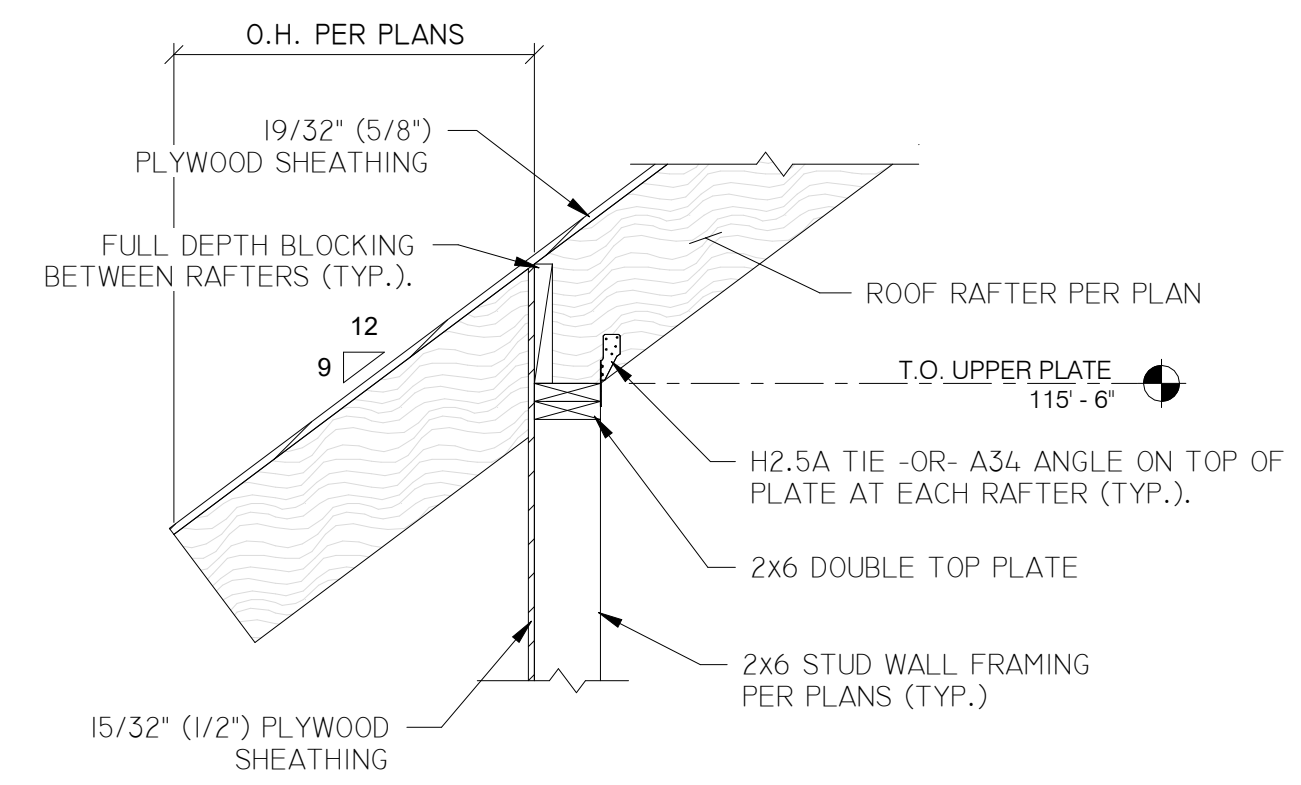
6  
S4  
TYPICAL FLOOR JOIST NAILING  
SCALE: 1" = 1'-0"



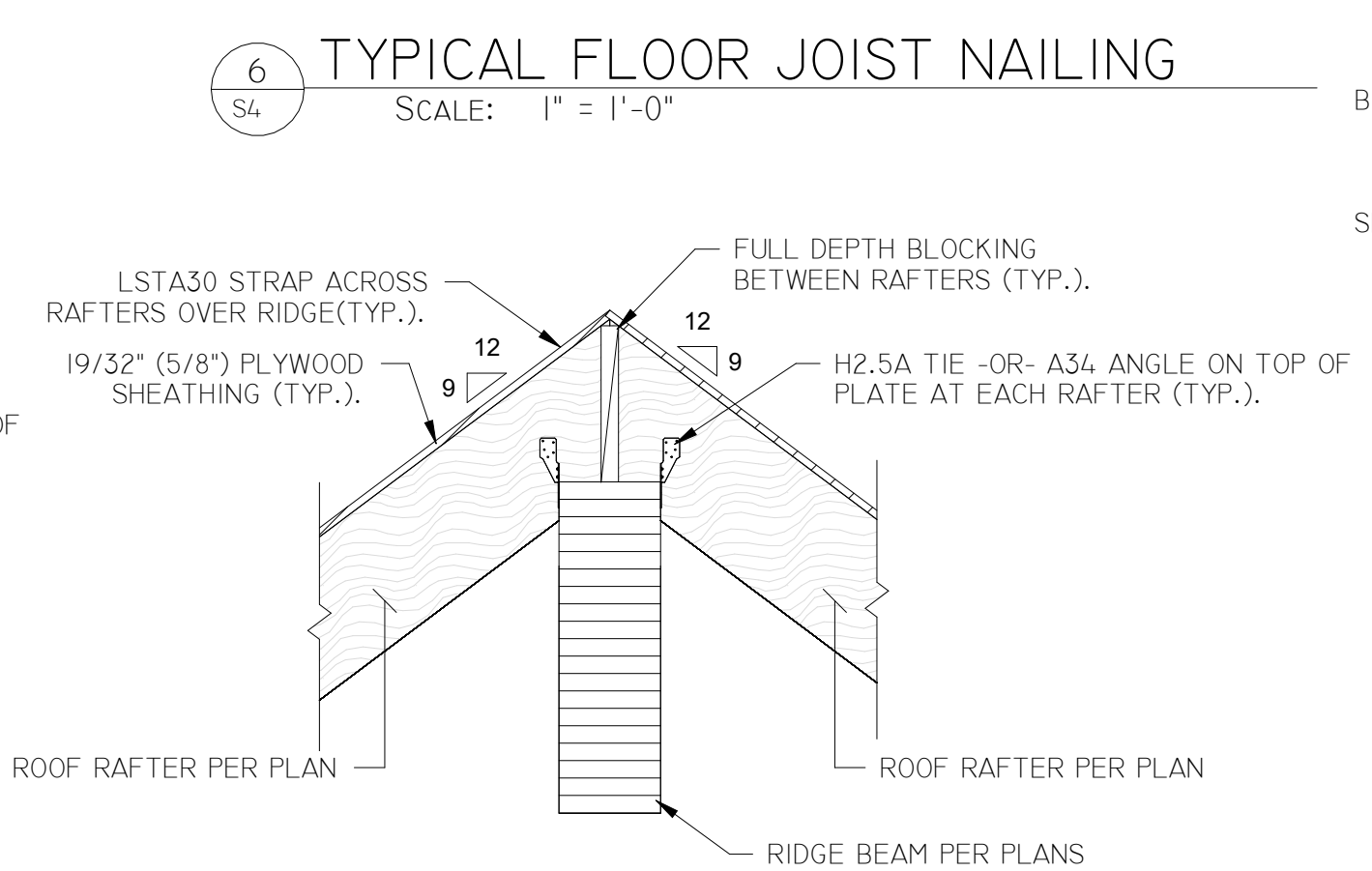
7  
S4  
FLUSH FLOOR BEAM DETAIL  
SCALE: 3/4" = 1'-0"



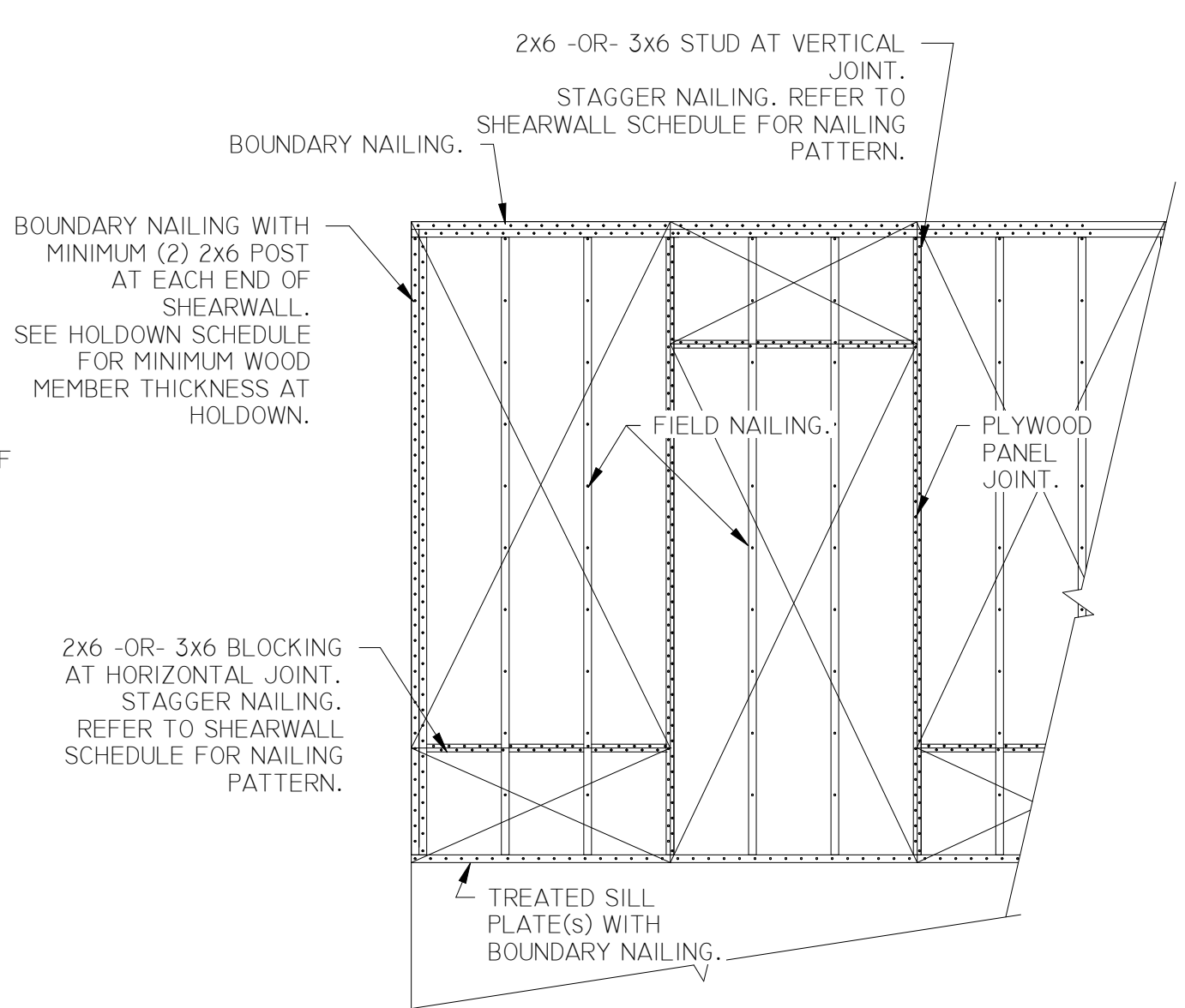
8  
S4  
WIDE FLANGE TO COLUMN DETAIL  
SCALE: 3/4" = 1'-0"



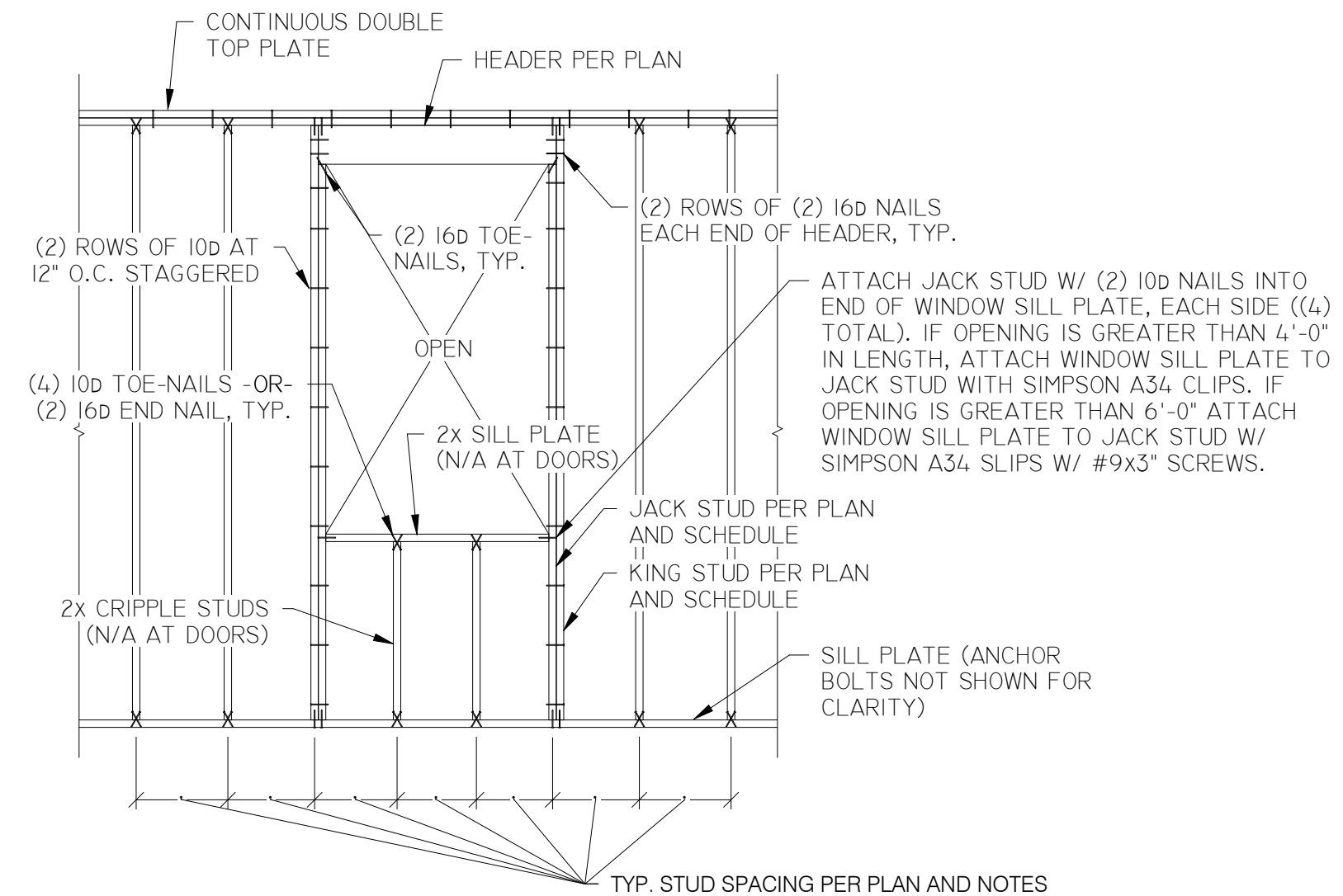
9  
S4  
TYPICAL OVERHANG DETAIL  
SCALE: 3/4" = 1'-0"



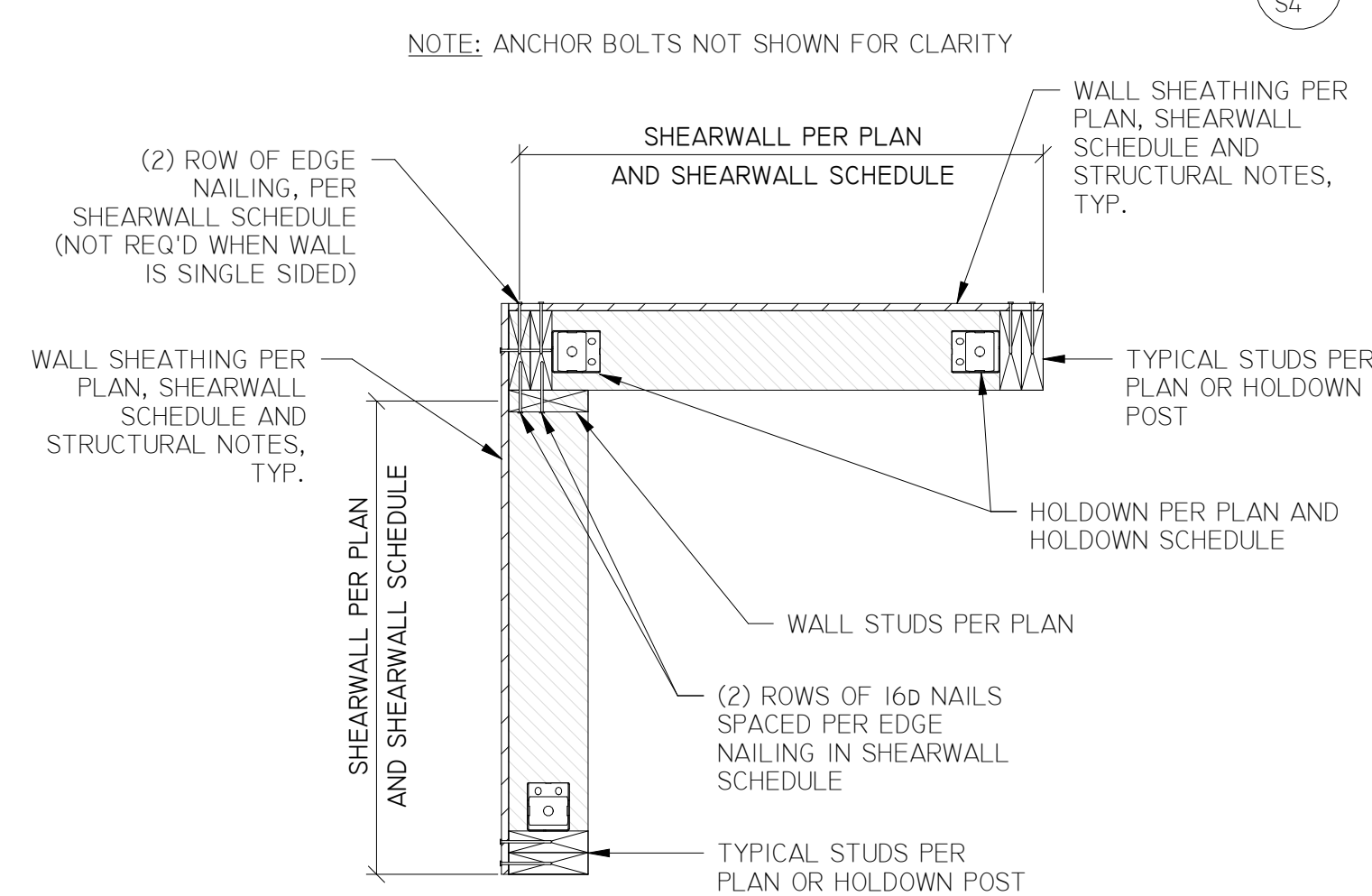
10  
S4  
RIDGE FRAMING DETAIL  
SCALE: 3/4" = 1'-0"



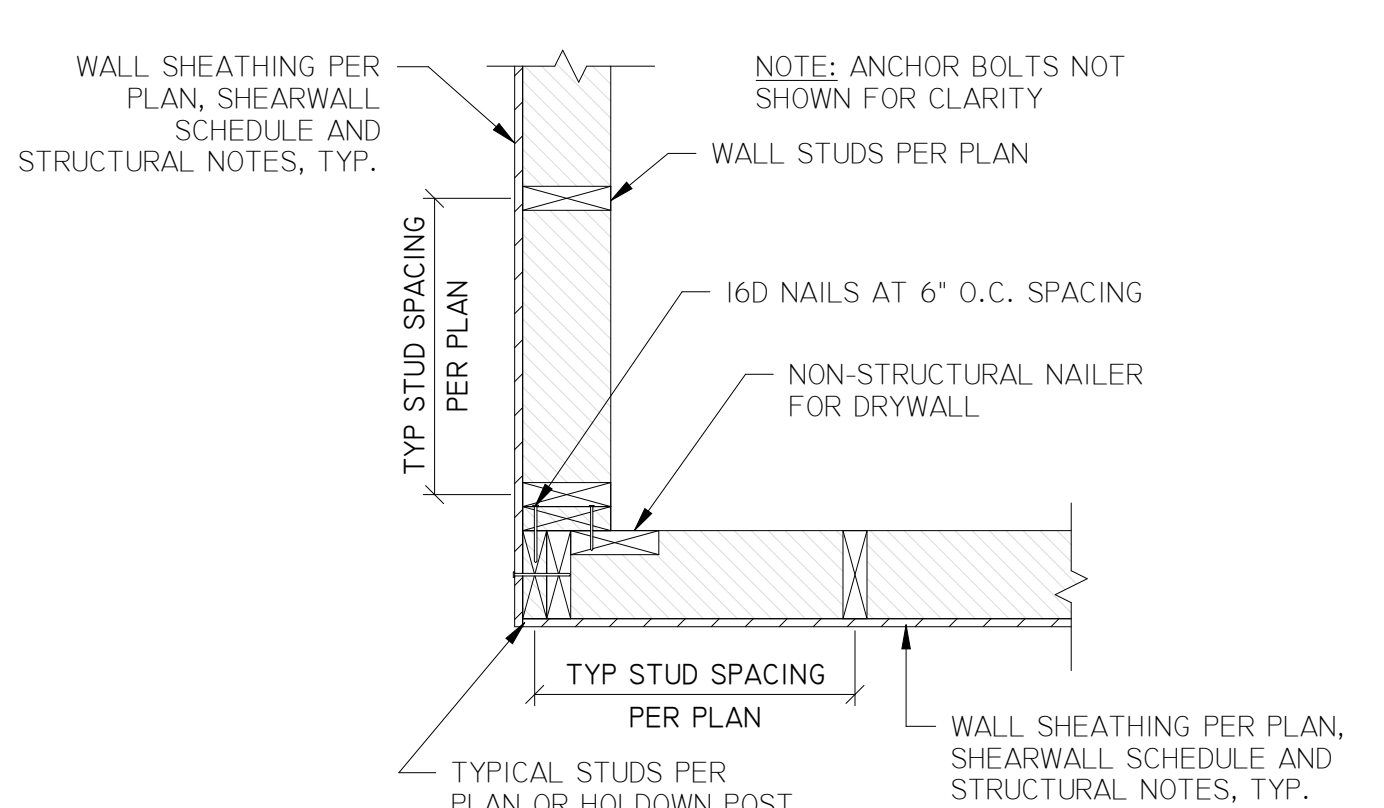
11  
S4  
TYPICAL PLYWOOD SHEARWALL NAILING DETAIL  
SCALE: NOT TO SCALE



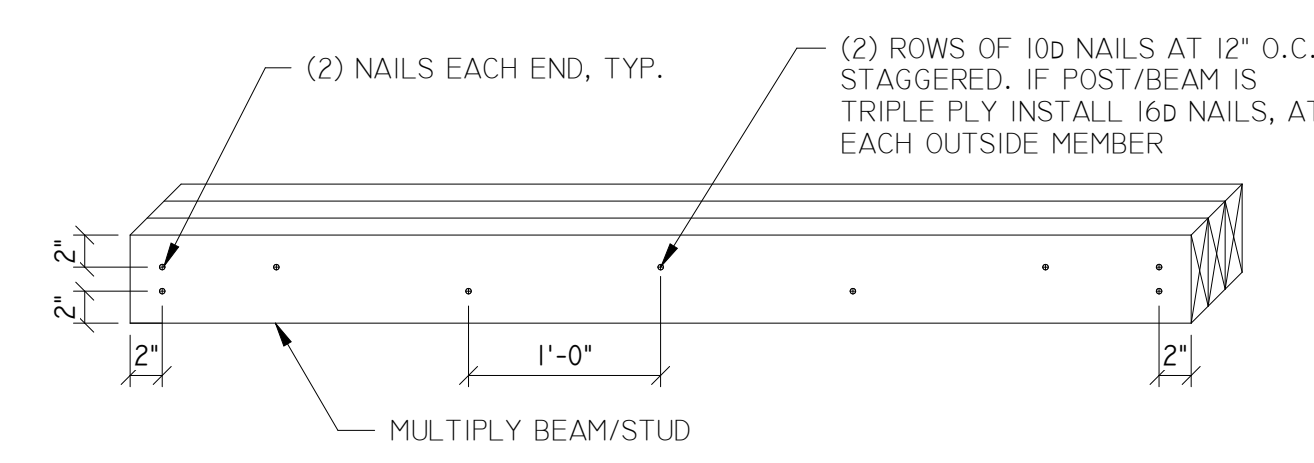
12  
S4  
TYPICAL OPENING DETAIL  
SCALE: NOT TO SCALE



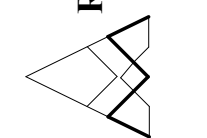
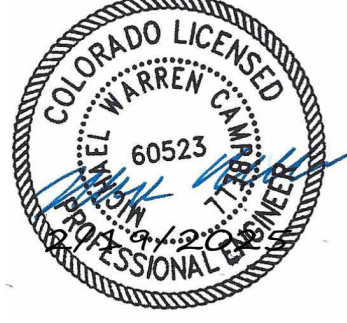
13  
S4  
SHEARWALL AT CORNER  
SCALE: NOT TO SCALE



14  
S4  
TYPICAL WALL AT CORNERS  
SCALE: NOT TO SCALE

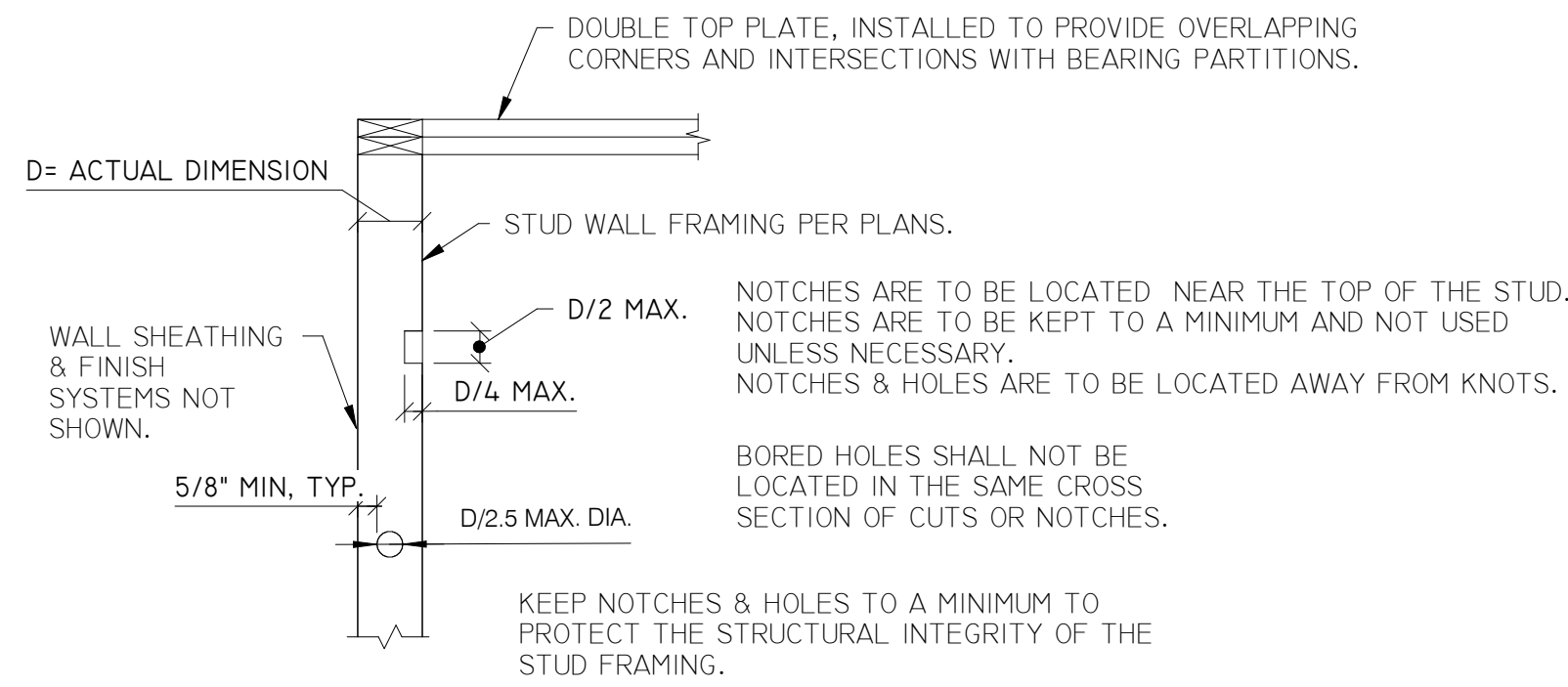


15  
S4  
MULTIPLY BEAM/STUD  
SCALE: NOT TO SCALE

REV.	2/19/2025	MC	MC	MC	MC
DATE	ENGINEERED	DRAWN	CHECKED	APPROVED	
<b>ROCKY'S ENGINEERING LLC</b>  ROCKYSENGINEERING@GMAIL.COM ROCKYSENGINEERING.COM					
					
DRAWING TITLE FOUNDATION & FRAMING DETAILS					
JOB TITLE SHULTZ GARAGE LOT 157R, MOUNTAIN VIEW SUBDIVISION BLUE RIVER, SUMMIT COUNTY, CO					
DRAWING NO	S4				
JOB NO	24-46-01				

STUD SIZE D= ACTUAL DEPTH)	MAX. HOLE DIA. DIA=D/2.5 MAX.	MAX. NOTCH DEPTH D/4 MAX.	NOTES: 1. BORED HOLES SHALL NOT BE LOCATED IN THE SAME CROSS SECTION OF CUT OR NOTCH IN STUD. 2. IF THE HOLE DIA. IS TO EXCEED THE D/2.5 MAX., A HOLE DIAMETER THAT IS LESS THAN 60% OF THE STUD ACTUAL DEPTH CAN BE LOCATED IN NO MORE THAN TWO SUCCESSIVE STUDS; AND BOTH STUDS MUST BE DOUBLED. THIS CAN NOT BE USED WHERE STUDS ARE SUPPORTING A WINDOW HEADER OR COLUMN LOAD FROM ABOVE. 5/8" MIN. CLEAR DISTANCE TO EACH EDGE OF STUD MUST BE MAINTAINED. 3. AT INTERIOR NON-BEARING STUD WALLS, THE MAXIMUM BORED HOLE DIAMETER IS 60% OF THE STUD DEPTH, THE MAXIMUM NOTCH DEPTH IS 40% OF THE STUD DEPTH, A 5/8" EDGE DISTANCE AT EACH EDGE MUST BE MAINTAINED, AND BORED HOLES SHALL NOT BE LOCATED IN THE SAME CROSS SECTION OF CUT OR NOTCH IN THE STUD.
2x4	1-3/8"	7/8"	
2x6	2-3/16"	1-3/8"	
2x8	2-7/8"	1-3/4"	

CUTS, NOTCHES, AND BORED HOLES IN COLUMNS, HEADER SUPPORT MEMBERS, WALL TOP PLATES, OR BUILT UP COLUMNS SUPPORTING LOADING FROM ABOVE ARE PROHIBITED, EXCEPT WHERE PERMITTED BY THE PROJECT ENGINEER.

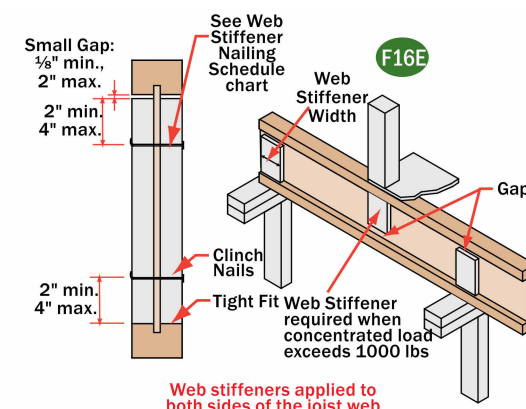


1 ALLOWABLE PLACEMENT OF HOLES & NOTCHES IN BEARING WALL STUDS  
SCALE: NOT TO SCALE

BACKER AND FILLER BLOCK DIMENSIONS

Series	Backer Block Thickness	Filler Block Thickness
5000 1.7	3/4" or 1/2" wood panels	Two 3/4" wood panels or 2x...
6000 1.8	1 1/4" or two 1/2" wood panels	2x 1 1/4" or 1 1/2" wood panel
6500 1.8	1 1/4" or two 1/2" wood panels	2x 1 1/4" or 1 1/2" wood panel
60 2.0	1 1/4" or two 1/2" wood panels	2x 1 1/4" or 1 1/2" wood panel
90 2.0	2x lumber	Double 2x lumber

• Cut backer and filler blocks to a maximum depth equal to the web depth minus 1/4" to avoid a forced fit.

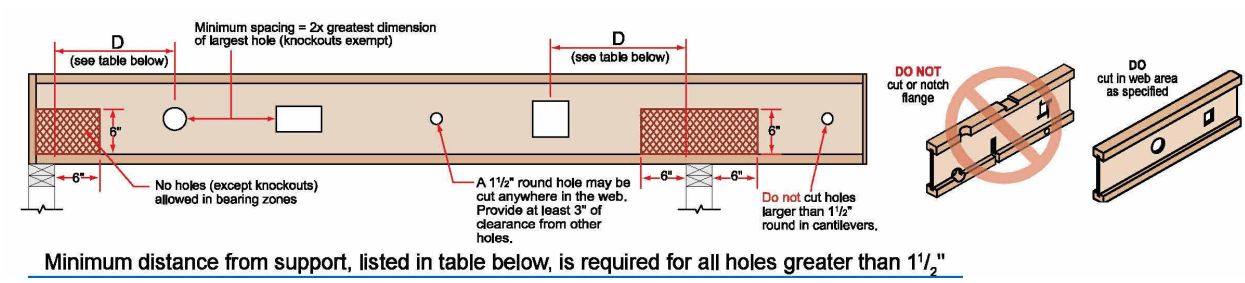


BCI® Joist Series	For Structural Capacity (Min. Thick)	Lateral Restraint in Hanger	Minimum Width
5000 1.7	3/4"	3/4"	2 1/8"
6000 1.8	3/4"	1" or 1 1/4"	2 1/8"
6500 1.8	3/4"	1" or 1 1/4"	2 1/8"
60 2.0	3/4"	1/2"	2 1/8"
90 2.0	2x4 lumber (vertical)		

NOTES

- Web stiffeners are optional except as noted below.
- Web stiffeners are always required for all 18" and 20" BCI® Joists at all bearing locations.
- Web stiffeners are always required in hangers that do not extend up to support the top flange of the BCI® Joist. Web stiffeners may be required with certain sloped or skewed hangers or to achieve uplift values. Refer to the hanger manufacturer's installation requirements.
- Web stiffeners are always required in certain roof applications. See Roof Framing Details on page 14.
- Web stiffeners are always required under concentrated loads that exceed 1000 pounds. Install the web stiffeners snug to the top flange in this situation. Follow the nailing schedule for intermediate bearings.
- Web stiffeners may be cut from structural rated wood panels, engineered rimboard or 2x lumber (BCI® 30 only).
- For Structural Capacity: Web stiffeners needed to increase the BCI® Joist's reaction capacity at a specific bearing location.
- Lateral Restraint in Hanger: Web stiffeners needed when hanger does not lateral support the top flange (e.g. adjustable height hangers). Web stiffeners may be of multiple thickness (e.g. BCI® 6500, double 1/2" panel OK).
- Web stiffeners may be used to increase allowable reaction values. See BCI® Design Properties on page 24 or the BC CALC® software.

BCI® Joist Series	Joist Depth	Bearing Location
5000	9 1/2"	2-8d
	11 1/2"	2-8d
	14"	2-8d
6000	11 1/4"	2-8d
	14"	2-8d
	16"	2-8d
6500	9 1/2"	2-8d
	11 1/4"	2-8d
	14"	2-8d
60 2.0	11 1/4"	2-8d
	14"	2-8d
	16"	2-8d
90 2.0	11 1/4"	3-16d
	14"	5-16d
	16"	6-16d

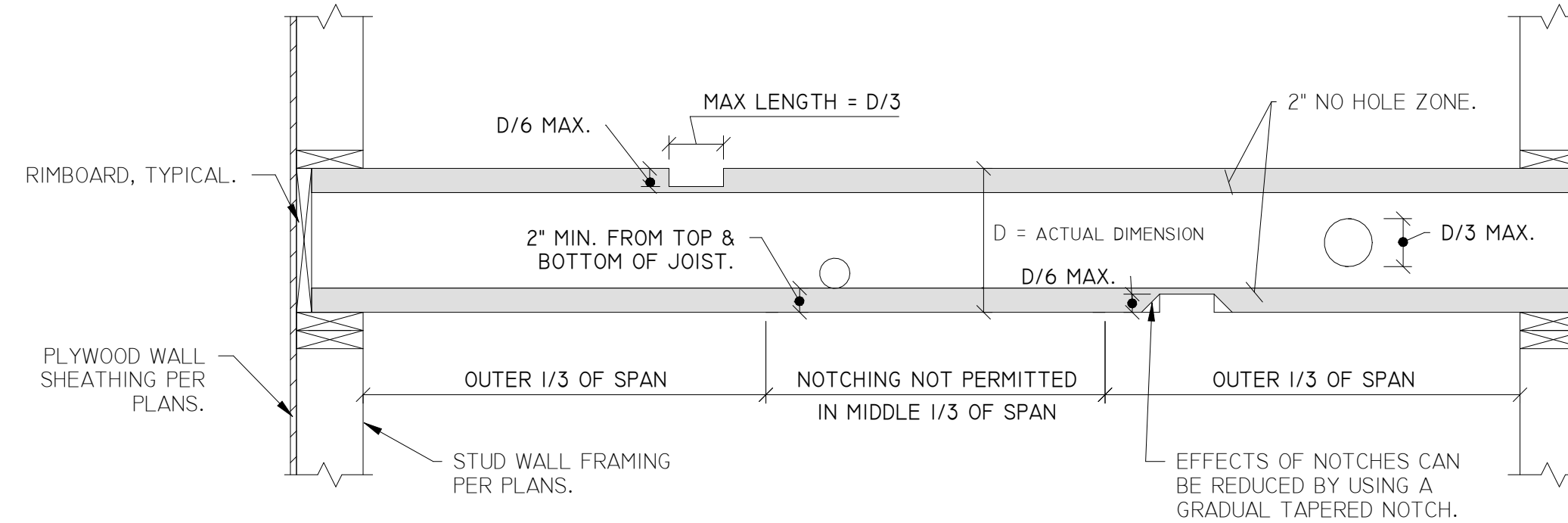


Round Hole Diameter [in]	2	3	4	5	6	7	8	8 1/2	10	11	12	13	14	15
1.7	-	-	-	-	-	-	-	-	-	-	-	-	-	-
1.8	8	11-0"	11-1"	11-6"	2-0"	2-6"	2-11"	3-6"	3-10"	-	-	-	-	-
Any 1 1/2" Joist	Span [ft]	16	11-2"	2-1"	3-0"	4-0"	4-11"	5-10"	6-10"	7-8"	-	-	-	-
		20	11-5"	2-7"	3-10"	5-0"	6-2"	7-4"	8-8"	9-7"	-	-	-	-

5 ALLOWABLE PLACEMENT OF HOLES & NOTCHES IN I-JOISTS  
SCALE: NOT TO SCALE

JOIST SIZE (D= ACTUAL DEPTH)	MAX. HOLE DIA. (DIA= D/3 MAX.)	MAX. HOLE DIA. (DIA= D/3 MAX.)	NOTES: 1. HOLES OR NOTCHES IN DIMENSIONAL FLOOR FRAMING CAN BE FIELD DRILLED OR CUT FOR ELECTRICAL AND PLUMBING RUNS IF THE GUIDELINES FROM THIS TABLE AND THE FIGURE BELOW ARE FOLLOWED. 2. THE TENSION SIDE OF MEMBERS 4 INCHES OR GREATER IN NOMINAL THICKNESS SHALL NOT BE NOTCHED. 3. HOLES BORED INTO THE MEMBER SHALL NOT EXCEED 1/3 THE DEPTH OF THE MEMBER; SHALL NOT BE CLOSER THAN 2" TO THE TOP OF BOTTOM OF THE MEMBER; AND SHALL NOT BE CLOSER THAN 2" TO ANY OTHER HOLE OR NOTCH IN THE MEMBER. 4. HOLES AND NOTCHES SHALL BE KEPT TO A MINIMUM, AND NO MORE THAN TWO HOLES AND/OR TWO NOTCHES SHALL BE BORED IN EACH FLOOR JOIST UNLESS APPROVED OTHERWISE BY THE ENGINEER OF RECORD.
2x4	NONE	NONE	
2x6	1-1/2"	7/8"	
2x8	2-3/8"	1-1/4"	
2x10	3"	1-1/2"	
2x12	3-3/4"	1-7/8"	

CUTS, NOTCHES, AND BORED HOLES IN TRUSSES; STRUCTURAL COMPOSITE LUMBER; STRUCTURAL GLU-LAMINATED OR LVL MEMBERS; OR I-JOISTS ARE PROHIBITED, EXCEPT WHERE PERMITTED BY THE PROJECT ENGINEER.



2 ALLOWABLE PLACEMENT OF HOLES & NOTCHES IN DIMENSIONAL LUMBER JOISTS  
SCALE: NOT TO SCALE

Top-Loaded Applications			
For top-loaded beams and beams with side loads with less than those shown:			
Piles	Depth	Nailing	Maximum Uniform Load From One Side
(2) 1 1/4" plies	Depth 11 1/4" & less	2 rows 16d box/sinker nails @ 12" o.c.	400 plf
	Depth 14" - 18"	3 rows 16d box/sinker nails @ 12" o.c.	600 plf
(3) 1 1/4" plies <sup>2b</sup>	Depth 11 1/4" & less	2 rows 16d box/sinker nails @ 12" o.c.	300 plf
	Depth 14" - 18"	3 rows 16d box/sinker nails @ 12" o.c.	450 plf
(4) 1 1/4" plies	Depth 18" & less	2 rows 1/2" bolts @ 24" o.c., staggered	335 plf
	Depth 18" & less	2 rows 1/2" bolts @ 24" o.c., staggered	855 plf
(2) 3 1/2" plies	Depth 20" - 24"	3 rows 1/2" bolts @ 24" o.c., staggered every 8"	1285 plf

1. Beams wider than 7" must be designed by the engineer of record.
2. All values in these tables may be increased by 15% for snow-load roofs and by 25% for non-snow load roofs where the building code allows.
3. Use allowable load tables or BC CALC® software to size beams.
4. An equivalent specific gravity of 0.5 may be used when designing specific connections with VERSA-LAM®.
5. Connection values are based upon the 2005 NDS.
6. FastenMaster Trusslok, Simpson Strong-Tie SOW or SDS, and USP WS screws may also be used to connect multiple member VERSA-LAM® beams, contact Boise Cascade EWP Engineering for further information.

3 NAILING SCHEDULE FOR VERSALAM LVL PLIES  
SCALE: NOT TO SCALE

4 BCI I-JOISTS WEB STIFFENER REQUIREMENTS  
SCALE: NOT TO SCALE

REV. 2/19/2025

DATE 2/19/2025

ENGINEERED BY MC

DRAWN BY MC

CHECKED BY MC

APPROVED BY MC

ROCKY'S ENGINEERING LLC

ROCKYSENGINEERING@GMAIL.COM

ROCKYSENGINEERING.COM

COLORADO LICENSED PROFESSIONAL ENGINEER

60523

DRAWING TITLE: TYPICAL FRAMING DETAILS

JOB TITLE: SHULTZ GARAGE

LOT 157R, MOUNTAIN VIEW SUBDIVISION

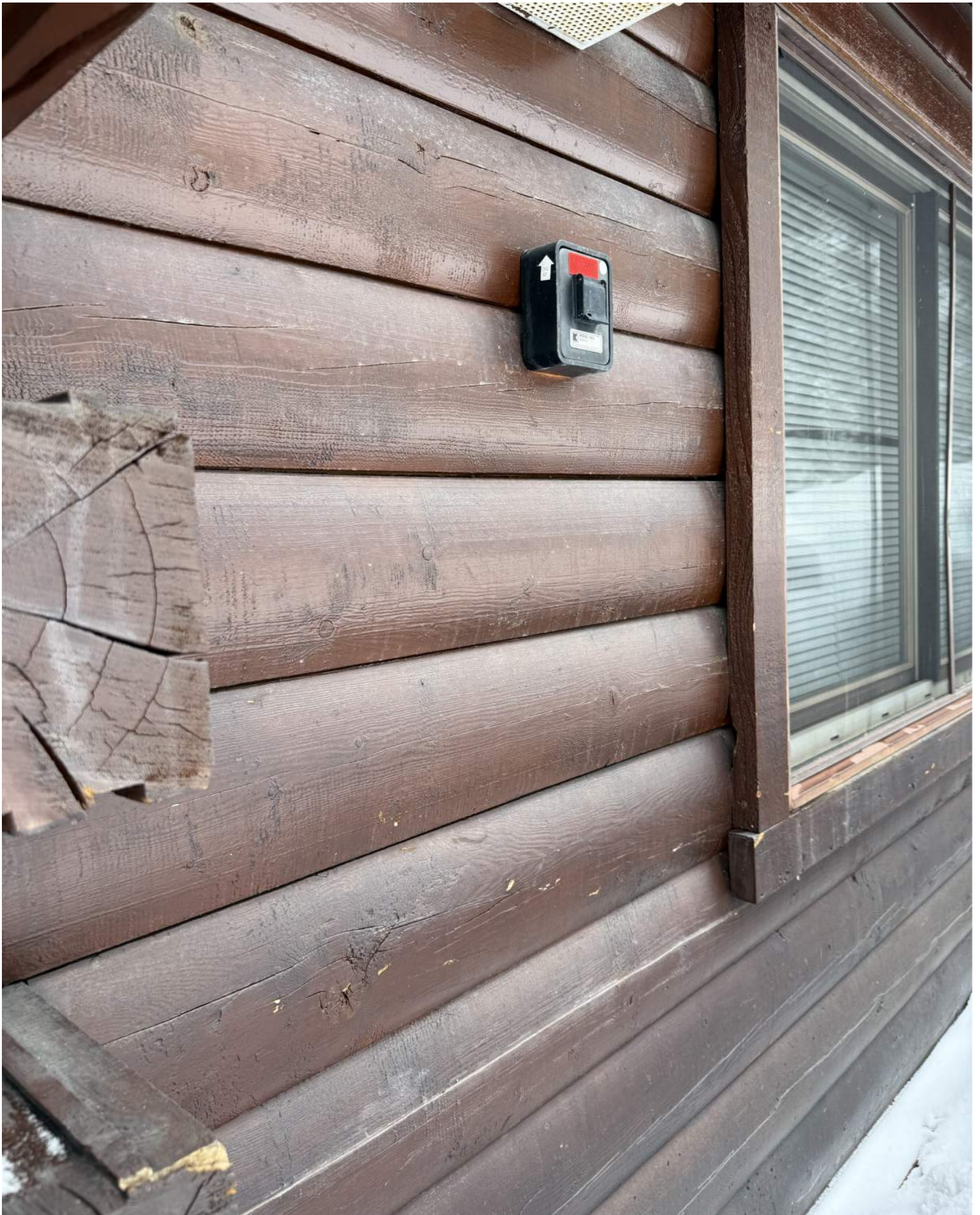
BLUE RIVER, SUMMIT COUNTY, CO

DRAWING NO: S4.1

JOB NO: 24-46-01

















# Theobald Engineering & Construction Services

Civil Engineering - Excavation - Contracting

PO Box 3817, Breckenridge, CO 80424

November 21, 2024

Re: 5940 Colorado Highway 9 Soils

This letter is to report on soils conditions at the above referenced property for design and construction of new detached garage.

Findings of this letter are based on visit to the site, study of geologic map, observation of excavations in the vicinity and knowledge of the local soils and geology. Soils on site are till of the Pinedale glaciation consisting of sandy gravel with cobbles, boulders and silt. Soils are well drained and well suited for structural bearing. Strip footings are ideal for construction in this area. Soils bearing capacity is 2,500 psf with no minimum and equivalent fluid pressure is 43 pcf. Footings should be placed on undisturbed native soils. At the time of placement soils should be dry and thawed. An open hole inspection shall be performed by the engineer prior to placement of footings.

Nothing in this letter is intended to supersede any plans, specifications or prior reports except as specifically stated above. The limits of this letter are field conditions as stated above. All structural, drainage excavation work shall be performed according to plan and prior specifications and reports.

If you have any additional questions, please feel free to contact me.

Sincerely,

*Robert Theobald*

Robert Theobald  
Principal



MOBILE  
970.409.7978

FAX  
970.453.7978

E-MAIL  
robtheobald@yahoo.com

TO: Michelle Eddy, CMC/CPM - Town Manager/Clerk  
FROM: Kyle Parag, Plan Reviewer - CAA  
DATE: March 27<sup>th</sup>, 2025  
RE: Planning/Zoning/Architectural Guidelines review – 0132 Mountain View Dr

Below please find staff's analysis that outlines the review with the Town's Zoning regulations and adopted Architectural Design Guidelines for the structure proposed

**Zoning Regulation analysis –**

Proposal: Addition to existing single family home. Variance has been granted on this property for front setback.

Zoning district: R-1

Lot Size: ~ 21,800 sq. ft.  
80,000 sq. ft. Required– Existing Non-Conforming

Lot Width: ~ 199'  
100 ft. Required - Complies

Setbacks: Addition encroaches on front setback line as determined in relation to the road easement location. Actual location of road is differing from easement location. Variance Granted.

Height: Addition is proposed at about 21', which does not increase the height of the structure.

Garage Stds: Addition includes a new garage door, but the space is not intended to be used as a garage. If the new space is included as new garage, the total garage area is 948 sqft.

Parking Stds:

Non Applicable

**Architectural Design Guideline analysis -**

Please note the following key to the interpretation of the analysis table:

Y	Element is in substantial compliance with the design guidelines
N	Does not comply with the design guidelines
PC	Subject to Planning Commission Specific approval
	Requires additional information from applicant
N/A	Not Applicable to the application

STANDARD	NOTES/REMARKS	SUBSTANTIAL COMPLIANCE
<b>DEVELOPMENT STANDARD</b>		
Article 3: Easements	Easements are indicated	Y
Article 4: Buildable Area/setbacks	Front setback is indicated correctly	Y
<b>Article 5 Building Design Standards</b>		
Article 5-20 Building Height	Height is indicated at 21'.	Y
Article 5-60 Foundation	Foundation is not clearly indicated, expect minimal exposure.	PC
Article 5-70 Roofs	Main roof design is a shed roof, with a pitch of 12:1	PC
Article 5-80 Garages	New garage door is glass, differing from existing. 16B-5-80 specifies wood. Garage area is proposed at about 984 sqft.	PC

	Proposed finished sqft will be 2,710, which permits a garage area of 1,084, which complies if both areas are calculated	
Article 5-90 Window and doors	Windows are sized to complement the home	Y
Article 5-100 Balconies and railings	N/A	Y
Article 5-110 Chimney and Roof Penetrations	None indicated	Y
<b>Article 6 Building Materials and Colors</b>		
Article 6-20 Materials	Siding is horizontal siding meant to match existing building.	PC
Article 6-30 Colors	Colors are not provided, expected to match existing	PC
<b>Article 7 Accessory Improvements</b>		
Article 7-(20-40, 110) Berms, Garages, sheds and Gazebos	N/A	Y
Article 7-50 Driveways	Driveway modification will be minimal.	Y
Article 7-60 Parking Areas	Required parking will not be disturbed.	Y
Article 7-100 Decks	N/A	Y
Article 7-120 Hot Tubs	N/A	Y
Article 7-140 Fences	N/A	Y

Article 7-150 Retaining walls	N/A	Y
<b>Article 8 Signs</b>		
Article 8 Signs	None indicated	Y
<b>Article 9 Lighting</b>		
Article 9 Lighting	Exterior lights are not depicted	PC
<b>Article 13 Environmental Regulations</b>		
Article 13-20 Wetlands	None indicated	Y

# Himmelman Addition

0132 Mountain View Drive - Blue River, CO



ROOTED ARCHITECTURE

SEAL:

NOT FOR CONSTRUCTION

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE ARCHITECT. THEY SHALL NOT BE USED, TRANSFERRED, OR SOLD FOR USE EXCEPT BY AN AGREEMENT IN WRITING FROM THE ARCHITECT.

HIMMELMAN ADDITION  
0132 MOUNTAIN VIEW DRIVE  
BLUE RIVER, CO

## GENERAL NOTES

**1) COPYRIGHT:**  
ALL PLANS, DESIGNS, AND CONCEPTS SHOWN IN THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF ROOTED ARCHITECTURE, LLC. AND SHALL NOT BE USED, DISCLOSED, OR REPRODUCED FOR OR ANY PURPOSE WHATSOEVER WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

**2) CODES:**  
THIS PROJECT IS GOVERNED BY THE INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION AS ADOPTED BY BLUE RIVER, COLORADO. CODE COMPLIANCE IS MANDATORY. THE DRAWINGS AND SPECIFICATIONS SHALL NOT PERMIT WORK THAT DOES NOT CONFORM TO THESE CODES. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR SATISFYING ALL APPLICABLE CODES AND OBTAINING ALL PERMITS AND REQUIRED APPROVALS. BUILDING AREAS ARE SHOWN FOR CODE PURPOSES ONLY AND SHALL BE RECALCULATED FOR ANY OTHER PURPOSES.

**3) FIELD VERIFICATION:**  
VERIFY ALL DIMENSIONS, CONDITIONS, AND UTILITY LOCATIONS ON THE JOB SITE PRIOR TO BEGINNING ANY WORK OR ORDERING ANY MATERIALS. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES IN THE DRAWINGS IMMEDIATELY.

**4) DIMENSIONS:**  
WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS SHOWN PRIOR TO BEGINNING ANY WORK AND NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES FOR INTERPRETATION OR CLARIFICATION. PLAN DIMENSIONS ARE TO THE FACE OF FRAMING MEMBERS, FACE OF WOOD FURRING OR FACE OF CONCRETE WALLS UNLESS OTHERWISE NOTED. SECTION OR ELEVATION DIMENSIONS ARE TO TOP OF CONCRETE, TOP OF PLYWOOD, OR OP OF WALL PLATES OR BEAMS UNLESS OTHERWISE NOTED.

**5) DISCREPANCIES:**  
THE OWNER HAS REQUESTED THE ARCHITECT TO PROVIDE LIMITED ARCHITECTURAL AND ENGINEERING SERVICES. IN THE EVENT ADDITIONAL DETAILS OR GUIDANCE IS NEEDED BY THE CONTRACTOR FOR CONSTRUCTION OF ANY ASPECT OF THIS PROJECT, HE SHALL IMMEDIATELY NOTIFY THE ARCHITECT. FAILURE TO GIVE SIMPLE NOTICE SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY. DO NOT PROCEED IN AREAS OF DISCREPANCY UNTIL ALL SUCH DISCREPANCIES HAVE BEEN FULLY RESOLVED WITH WRITTEN DIRECTION FROM THE ARCHITECT.

**6) DUTY OF COOPERATION:**  
RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT COMPOUNDS MISUNDERSTANDING AND INCREASES CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES.

**7) CHANGES TO THE WORK:**  
ANY ITEMS DESCRIBED HEREIN THAT IMPACT PROJECT BUDGET OR TIME SHALL BE REQUESTED FROM THE CONTRACTOR VIA A WRITTEN CHANGE ORDER REQUEST PRIOR TO SUCH WORK. PERFORMANCE OF SUCH WORK WITHOUT APPROVAL BY CHANGE ORDER INDICATES GENERAL CONTRACTOR'S ACKNOWLEDGMENT OF NO INCREASE IN CONTRACT SUM OR TIME. CHANGES FROM THE PLANS OR SPECIFICATIONS MADE WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ANY AND ALL CONSEQUENCES RESULTING FROM SUCH CHANGES.

**8) WORKMANSHIP:**  
IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC., TO OBTAIN A COMPLETE JOB WITHIN THE RECOGNIZED STANDARDS OF THE INDUSTRY.

**9) SUBSTITUTIONS:**  
SUBSTITUTION OF "EQUAL" PRODUCTS WILL BE ACCEPTABLE WITH ARCHITECT'S WRITTEN APPROVAL.

**10) CONSTRUCTION SAFETY:**  
THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.

**11) EXCAVATION PROCEDURES:**  
UPON COMPLETION OF ANY EXCAVATION, THE OWNER SHALL RETAIN A SOILS ENGINEER TO INSPECT THE SUBSURFACE CONDITIONS IN ORDER TO DETERMINE THE ADEQUACY OF FOUNDATION DESIGN. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER.

**12) FIELD CUTTING OF STRUCTURAL MEMBERS:**  
THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL FIELD COORDINATE AND OBTAIN APPROVAL FROM ENGINEER BEFORE ANY CUTTING, NOTCHING OR DRILLING OF ANY CAST-IN-PLACE CONCRETE, STEEL FRAMING, OR ANY OTHER STRUCTURAL ELEMENTS WHICH MAY AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING. REFER TO CURRENT INTERNATIONAL BUILDING CODE, MANUFACTURER'S OR SUPPLIER'S INSTRUCTIONS, AND STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.

**13) EXTERIOR MATERIAL MOCK UP:**  
THE GENERAL CONTRACTOR SHALL PROVIDE A MOCK UP OF ALL EXTERIOR MATERIALS FOR REVIEW BY THE OWNER, ARCHITECT AND INTERIOR DESIGNER. THIS MOCK UP SHALL BE PROVIDED AND SIGNED OFF IN WRITING PRIOR TO ANY EXTERIOR FINISH WORK. THE SAMPLE SHALL INCLUDE FASCIA, TRIM WINDOW CLADDING, AND ALL OTHER EXTERIOR FINISHES INCLUDING 3'X3' SAMPLE OF EXTERIOR STONE WORK. THIS SHALL BE RETAINED ON SITE UNTIL THE FINAL PUNCH LIST IS COMPLETE.

**14) WEATHER CONDITIONS:**  
THE OWNER HAS BEEN ADVISED THAT DUE TO HARSH WINTER CONDITIONS, ROOF AND DECK SURFACES MUST BE MAINTAINED REASONABLY FREE OF ICE AND SNOW TO ENSURE MINIMAL PROBLEMS WITH THESE SURFACES. ALL ROOFING, ROOFING MEMBRANES, AND WATERPROOFING SHALL BE APPROVED IN WRITING BY PRODUCT MANUFACTURER (W.R. GRACE FOR BITUTHENE, ETC.) PRIOR TO PROCEEDING WITH ANY WORK. FAILURE TO PROVIDE THESE WRITTEN APPROVALS REMOVES ALL RESPONSIBILITY FOR THE WORK FROM THE ARCHITECT.

**15) BUILDING AREA**  
BUILDING AREAS ARE SHOWN FOR CODE PURPOSES ONLY AND SHALL BE RECALCULATED FOR ANY OTHER USE.

**16) PROJECT STAKING**  
THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING GRADES AND STAKE ALL BUILDING CORNERS AND DRIVEWAY LOCATION FOR OWNER/ARCHITECT AND DESIGN REVIEW BOARD APPROVAL PRIOR TO BEGINNING ANY SITE CLEARING.

**17) SITE DISTURBANCE**  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT THE EXISTING TREES TO REMAIN AND ADJACENT PROPERTIES FROM DAMAGE DURING CONSTRUCTION. PROVIDE PROTECTIVE FENCING THROUGHOUT CONSTRUCTION.

**18) PROJECT GRADES**  
THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL GRADES INCLUDING PAVED AREA SLOPES PRIOR TO POURING ANY FOUNDATIONS. SURVEY WORK SHOULD BE VERIFIED IN DETAIL.

**19) EXISTING CONDITIONS**  
THE PLANNED MODIFICATIONS AND ADDITIONS INCLUDED IN THESE DOCUMENTS DO NOT REQUIRE CHANGES OR MODIFICATIONS TO THE EXISTING STRUCTURAL COMPONENTS OF THIS BUILDING. THE GENERAL CONTRACTOR IS TO FIELD VERIFY ALL STRUCTURAL CONDITIONS ARE UNCHANGED DURING DEMOLITION AND CONSTRUCTION. ANY AND ALL STRUCTURAL COMPONENTS DISCOVERED TO REQUIRE MODIFICATION SHALL BE REPORTED TO THE ARCHITECT AND IF REQUIRED, REFERRED TO A STRUCTURAL ENGINEER FOR EVALUATION AND RECOMMENDATION BEFORE WORK PROCEEDS IN AFFECTED AREA.

**20) 3D MODELING**  
THIS PROJECT HAS BEEN DIGITALLY MODELED IN 3D SOFTWARE. THE DIGITAL MODEL IS PROVIDED FOR REFERENCE PURPOSES ONLY. TRANSMISSION OF DIGITAL MODEL FILES CONSTITUTES A WARRANTY BY THE PARTY TRANSMITTING FILES TO THE PARTY RECEIVING FILES THAT THE TRANSMITTING PARTY IS THE COPYRIGHT OWNER OF THE DIGITAL DATA, UNLESS OTHERWISE AGREED IN WRITING. ANY USE OF TRANSMISSION OF, OR RELIANCE ON THE MODEL IS AT THE RECEIVING PARTY'S RISK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF QUESTIONS OR COORDINATION ISSUES BETWEEN THE CONTRACT DOCUMENTS AND DIGITAL MODEL.

## PROJECT DATA

**LEGAL DESCRIPTION:**  
0132 MOUNTAIN VIEW DRIVE  
LOT 137 MOUNTAIN VIEW SUB

## USGS DATUMS

**EXIST / NEW GARAGE:** 98'-6" = 10042.66' USGS  
**EXIST MAIN LEVEL:** 100'-0" = 10044.16' USGS  
**EXIST UPPER LEVEL:** 108'-10" = 10052.99' USGS  
**NEW UPPER LEVEL:** 109'-8" = 10053.82' USGS

**NOTE: CONTRACTOR TO VERIFY ALL EXISTING DATUMS PRIOR TO CONSTRUCTION**

## AREAS CALCULATIONS

	FINISHED (Exist)	FINISHED (New)	UNFINISHED (Exist)	UNFINISHED (New)	TOTAL
LOWER LEVEL	1,352 SF	582 SF	631 SF	0 SF	2,565 SF
UPPER LEVEL	425 SF	351 SF	0 SF	0 SF	776 SF
<b>TOTAL:</b>	<b>1,777 SF</b>	<b>933 SF</b>	<b>631 SF</b>	<b>0 SF</b>	<b>3,341 SF</b>

NOTE: SQUARE FOOTAGE CALCULATIONS ARE FOR CODE PURPOSES ONLY AND SHOULD BE RECALCULATED FOR ANY OTHER PURPOSES

## CODE INFORMATION

### ADOPTED CODES:

2018 International Residential Code with Blue River Amendments  
2018 International Energy Conservation Code with Blue River Amendments  
Blue River Development Code

## ENERGY REQUIREMENTS

### ENERGY EFFICIENT DESIGN FEATURES:

- RADIANT HEATING SYSTEM, MINIMUM 95% AFUE.
- HIGH-EFFICACY LED LIGHTING
- ENERGY EFFICIENT WATER HEATER. ELECTRIC MINIMUM 0.95 ENERGY FACTOR /GAS, MINIMUM 0.76 ENERGY FACTOR.
- PROVIDE AN ELECTRICAL CAR CHARGING ROUGH IN, INCLUDING A BLANKED ELECTRICAL BOX, AND A RACEWAY TERMINATING IN THE ELECTRICAL PANEL
- PROVIDE PV READY CONSTRUCTION INCLUDING A METAL RACEWAY FROM THE ELECTRICAL PANEL TO THE ROOF LOCATION WHERE THE PANELS WILL BE INSTALLED, INCLUDING A ROOF JACK, A #8 COPPER GROUND, A 2 PULL BLANK IN THE ELECTRICAL PANEL AND AN ELECTRICAL CONDUIT FROM THE ELECTRICAL PANEL OUT TO THE ELECTRIC METER.
- WATERSENSE FIXTURES THROUGHOUT.
- (OPTIONAL) HRV/ ERV, 65% SENSIBLE HEAT RECOVERY EFFICIENCY, MEETING MINIMUM AIRFLOW RATES PER IRC INSTALLED.
- PROGRAMMABLE THERMOSTATS.

### THERMAL ENVELOPE REQUIREMENTS (2018 IRC CH. 11 - SUMMIT COUNTY ZONE 7):

**ROOF/ CEILING:** R49 CLOSED-CELL SPRAY FOAM  
**ABOVE GRADE WALLS:** R23 CAVITY CLOSED-CELL SPRAY FOAM PER AMENDMENT TO TABLE N1102.1.2 (IECC R402.1.2)  
**SLABS, INCLUDING SLAB EDGE:** R10 / 4"  
**FENESTRATIONS:** MAX U 0.30 / SHGC N/A  
**FLOOR R-VALUE:** R38  
**BASEMENT WALL:** R15 CI OR R19 CAVITY  
**BLOWER DOOR:** ACH 2.7 AT A PRESSURE 0.2 INCHES W.G. (50 PASCALS)

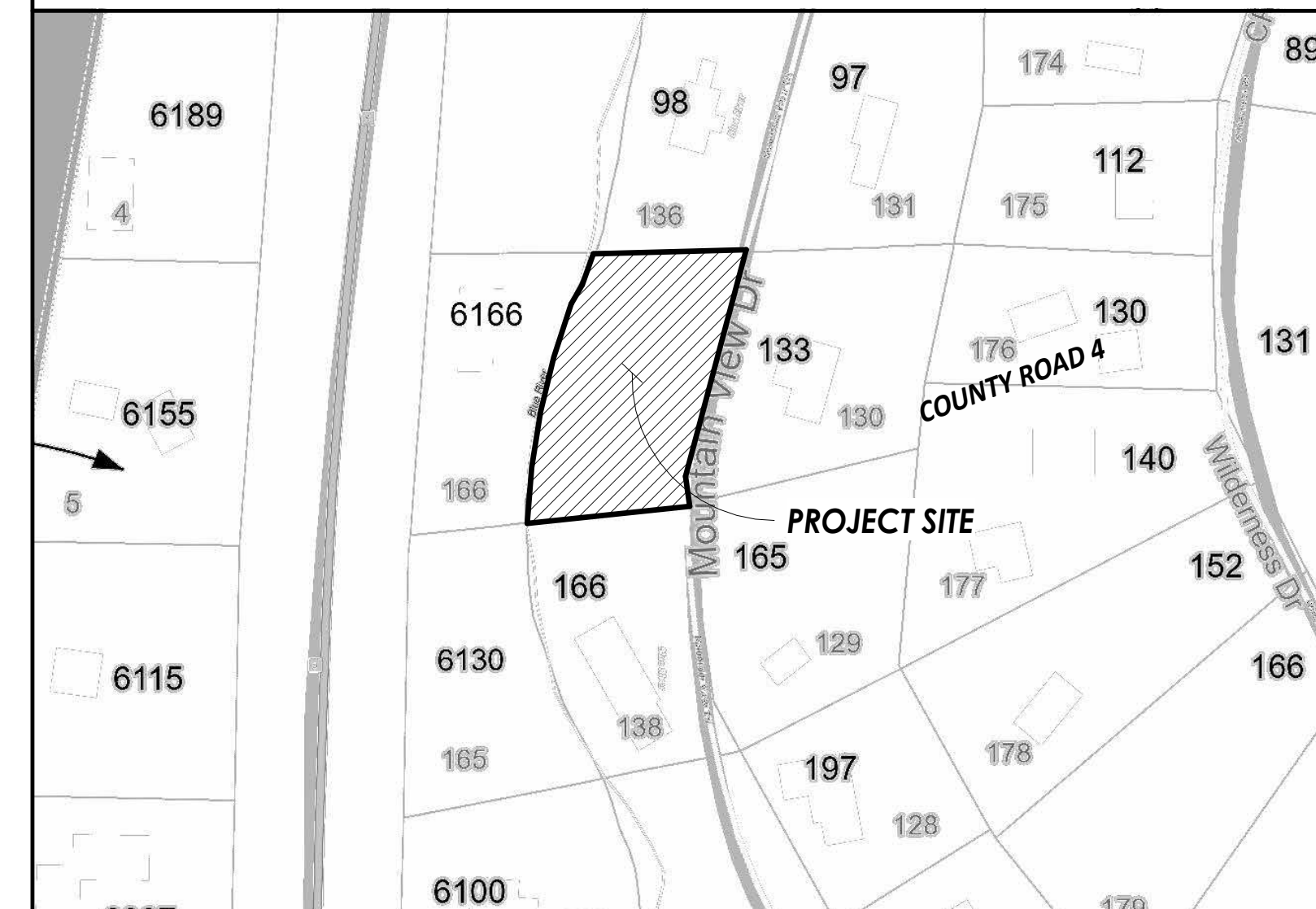
THESE SPECIFICATIONS ARE BASED OFF OF THE 2018 IECC RESIDENTIAL THERMAL ENVELOPE REQUIREMENTS AS DESCRIBED IN TABLE R402.1.3, WHICH SHOULD BE REFERRED TO FOR INTERPRETATION REASONS. SEE PLANS AND DETAILS RELATED TO SPECIFIC INSULATION REQUIREMENTS FOR EXTERIOR BUILDING ENVELOPE.

THERMAL AND VAPOR CONTROL DESIGN BASED ON CLOSED-CELL FOAM INSULATION AND AIR SEALING THROUGHOUT.

## SHEET INDEX

SHEET NUMBER	SHEET NAME	SHEET ISSUE DATE
A0.1	COVER SHEET	03.11.2025
A0.2	SITE PLAN	03.11.2025
A1.1	FLOOR PLAN - LOWER	03.11.2025
A1.2	FLOOR PLAN - UPPER	03.11.2025
A4.1	EXTERIOR ELEVATIONS	03.11.2025

## LOCATION MAP



## SURVEYOR

RANGE WEST SURVEYING  
JESSICA KOETTERITZ  
970.468.6281

## INTERIOR DESIGN

NA

## STRUCTURAL ENG.

FOX STRUCTURAL ENGINEERING, LLC  
KRISTEN E. FOX, P.E.  
(970)376-2005

## CONTRACTOR

SHELDEN CUSTOM HOMES  
TAYLOR SHELDEN  
TAYLOR@SHELDENCUSTOMHOMES.COM  
720.400.5627

## ARCHITECT

ROOTED ARCHITECTURE, LLC  
BRANDON SMITH  
BRANDON@ROOTEDARCH.COM  
469.363.2821

## OWNER

JAKE HIMMELMAN  
JAKE@BRECCKENRIDGEASSOCIATES.COM  
CELL: 970.470.1816

No. Date Revisions

Project No: 2024-04  
Stage: P&Z APPLICATION  
Date: 03/11/2025  
Scale: 12" = 1'-0"

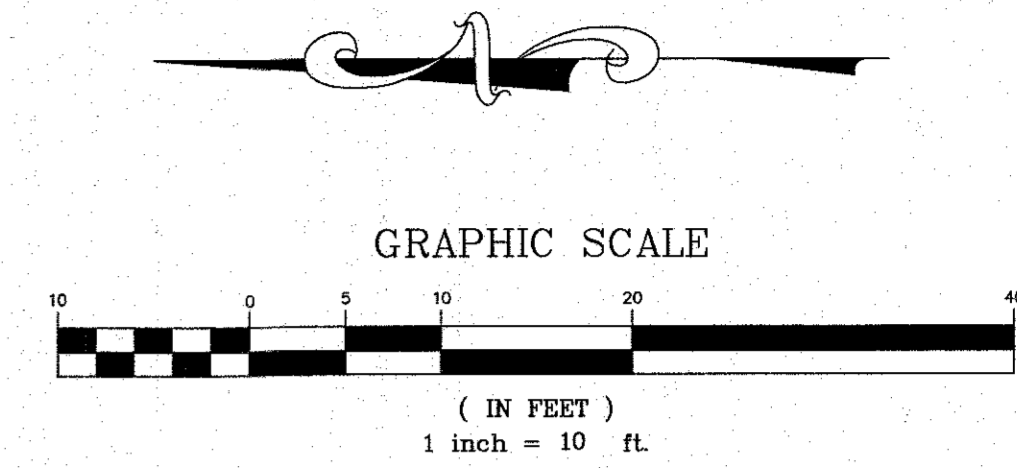
DRAWING TITLE:

COVER SHEET

DRAWING NO:

A0.1

A TOPOGRAPHIC MAP OF  
**LOT 137, MOUNTAIN VIEW, BLUE RIVER ESTATES**  
 TOWN OF BLUE RIVER, SUMMIT COUNTY, COLORADO

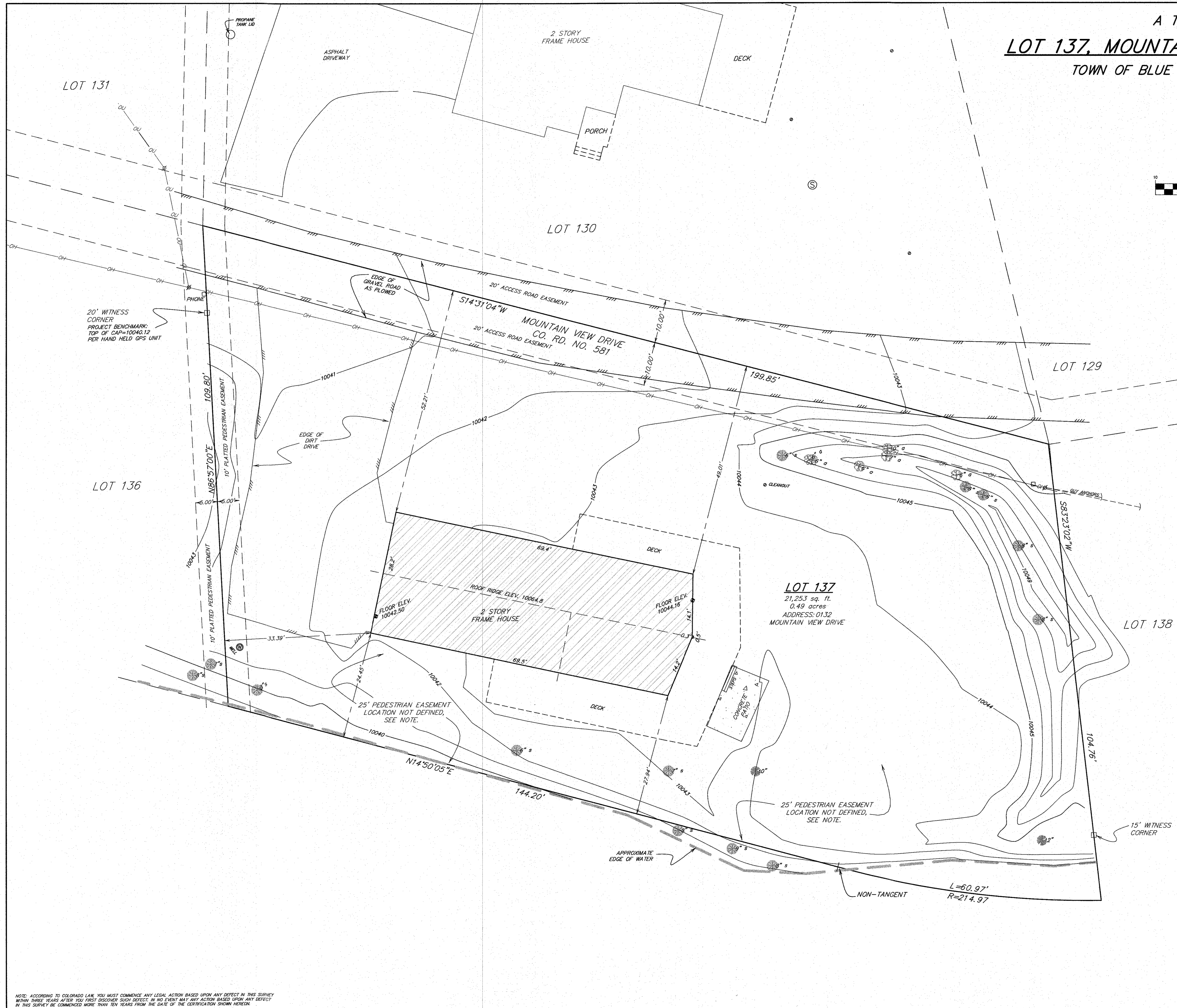


DATE OF FIELD SURVEY: 11/14/2024  
 CONTOUR INTERVAL=1 FOOT

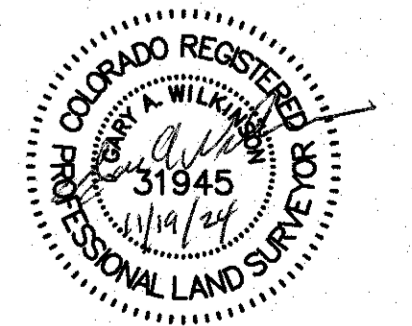
**LEGEND**

- FOUND ALUM. PIN & CAP (LS 19588)
  - UTILITY PEDESTAL
  - ⊗ UTILITY POLE
  - OH — OH — OVERHEAD UTILITY LINES
  - ⊙ WELL
  - ⊙ SEPTIC TANK LID
  - ⊙ CLEANOUT
  - ⊙ 8" PINE TREE WITH TRUNK DIAMETER
  - ⊙ 8" SPRUCE TREE WITH TRUNK DIAMETER
  - ⊙ 8" ASPEN TREE WITH TRUNK DIAMETER
- LOCATED TREES 6" AND GREATER

**SURVEY NOTES:**  
 1. BOUNDARY SHOWN IS PER THE IMPROVEMENT SURVEY PLAT PREPARED BY BLUE RIVER LAND SURVEYING DATED DECEMBER 5, 2016.  
 2. A 50' PEDESTRIAN EASEMENT EXISTS CENTERED ON THE MIDDLE OF BLUE RIVER AND WAS NOT ABLE TO BE LOCATED DURING THIS SURVEY.  
 3. ROOF RIDGE LINES ARE APPROXIMATE.



NOTE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT, IN NO EVENT MAY ANY ACTION BE BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.



Drawn RRR/ESH/GAW	Dwg 22953TP	Project 22953
Checked JJK	Date 11/19/2024	Sheet 1 of 1
<b>R-A-N-G-E-W-E-S-T</b> ENGINEERS & SURVEYORS INC.		
P.O. Box 589 Silverthorne, CO 80498 970-468-6281		

**NOTES: SITE PLAN**

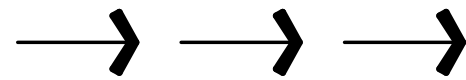
1. VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY WORK. COORDINATE UTILITY ROUTING WITH APPLICABLE UTILITY COMPANY. ALL UTILITIES TO BE UNDERGROUND.
2. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL NOT FEWER THAN 6 INCHES WITHIN THE FIRST 10 FEET.
3. REFER TO FOUNDATION PLAN FOR FOUNDATION DRAIN LOCATION AND SLOPE.
4. FLAG ALL TREES FOR OWNER PRIOR TO THINNING OR REMOVAL.
5. PROTECT REMAINING TREES WITH APPROVED BARRIER DURING CONSTRUCTION.
6. GENERAL CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL ZONING AND SUBDIVISION CONDITIONS.
7. FINISHED GRADING SHALL BE A MINIMUM OF 6" BELOW FOUNDATION REFERENCE ADOPTED IRC.
8. CONTRACTOR TO TRIM OR REMOVE ANY TREES ADJACENT TO BUILDING FOUNDATION AS REQUIRED, VERIFY WITH OWNER PRIOR TO REMOVAL.

**NOTES: SITE CONTOUR LEGEND**

- EXISTING MAJOR CONTOUR: 10,000'
- EXISTING MINOR CONTOUR: 10,002'
- PROPOSED CONTOUR:

**NOTES: SITE DRAINAGE**

1. CONTRACTOR SHALL PROVIDE PROPER SITE GRADING THAT DIRECTS SURFACE WATER AWAY FROM BUILDING FOUNDATIONS, WALLS AND NEIGHBORING PROPERTIES.
2. GRADING AND LANDSCAPING SHOULD BE PLANNED WITH A SURFACE GRADE
3. OF AT LEAST 4% AROUND AND AWAY FROM THE ENTIRE STRUCTURE. REFER TO DALLAS DEVELOPMENT CODE FOR SITE DRAINAGE REQUIREMENT.
4. PROPOSED SITE DRAINAGE INDICATED ON SITE PLAN WITH FLOW ARROWS:



**NOTES: FOUNDATION DRAIN**

- INSTALL DRAIN TILE (PERFORATED PLASTIC DRAINAGE PIPE) ALONG THE EXTERIOR OF THE FOOTINGS OF BASEMENT OR CRAWLSPACE WALLS TO PROVIDE DRAINAGE AROUND FOUNDATION PERIMETER.
1. INSTALL DRAIN PIPE TO SIT OUTSIDE OF, NOT ON TOP OF, THE FOOTINGS AND BELOW THE BOTTOM OF THE CONCRETE SLAB OR CRAWLSPACE FLOOR.
  2. LAY THE PIPE WITH ENOUGH SLOPE TO DRAIN TO A NON-PERFORATED PIPE THAT CARRIES THE COLLECTED WATER TO DAYLIGHT, TO A DRYWELL, TO A STORM SEWER IF APPROVED BY THE LOCAL MUNICIPALITY, OR TO A SUMP PUMP THAT WILL TRANSPORT IT TO DAYLIGHT, A STORM SEWER, OR A DRYWELL.
  3. LAY THE DRAIN PIPE, PERFORATIONS DOWN, IN A GRAVEL TRENCH WITH AT LEAST 6 INCHES OF 1/2-INCH TO 3/4-INCH WASHED GRAVEL OR STONE ABOVE THE PIPE AND AT LEAST 2 INCHES BELOW (IRC).
  4. INSTALL LANDSCAPE FABRIC UNDER, AROUND, AND OVER THE WASHED GRAVEL (IRC) ALTERNATELY, USE DRAIN PIPE ENCASED IN A FILTER-FABRIC SOCK AND SURROUND THE CLOTH-COVERED PIPE WITH GRAVEL. OR, INSTALL A CODE-APPROVED COMPOSITE FOUNDATION DRAINAGE SYSTEM (CFDS) (IRC).

**NOTES: LANDSCAPE**

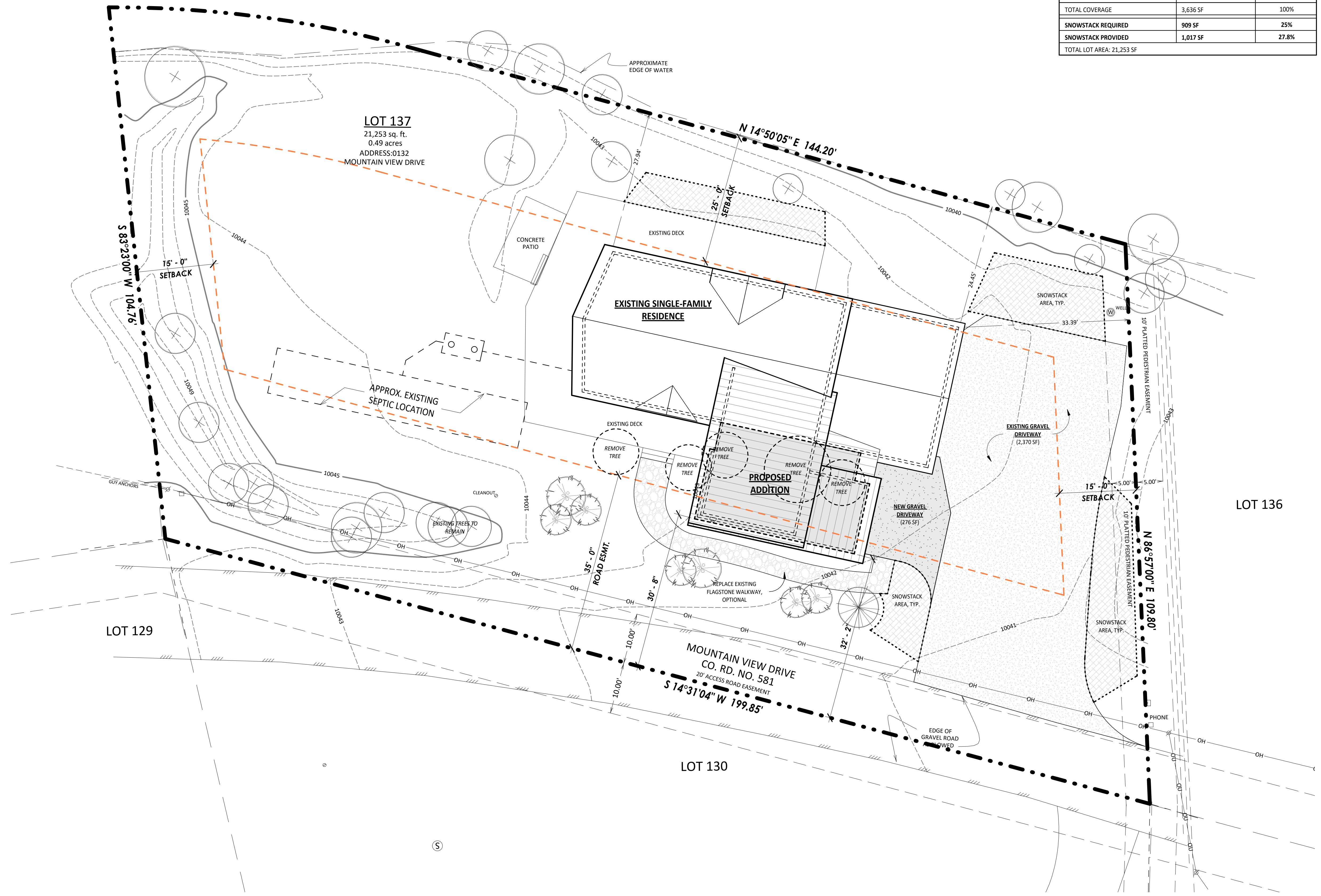
1. VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY WORK. COORDINATE UTILITY ROUTING WITH APPLICABLE UTILITY COMPANY. ALL UTILITIES TO BE UNDERGROUND. PROVIDE 2"-3" (MIN.) CLAY FREE TOPSOIL AND SEED ALL DISTURBED AREAS WITH SUMMITT CO. SHORT SEED MIX (AS APPROVED BY STRIP AND STOCKPILE EXISTING TOPSOIL IN CONSTRUCTION AREA. SCREEN TOPSOIL PRIOR TO INSTALLATION.
2. KEEP EXISTING TREES WHERE POSSIBLE. TAKING INTO CONSIDERATION DRIP LINES AND ROOT STRUCTURE. PROTECT EXISTING TREES WITH FENCING LOCATED AT OR OUTSIDE DRIP LINE OF TREE. STOCKPILE AND REUSE EXISTING TREES WHERE POSSIBLE.
3. GENERAL CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS PER SPECIFICATIONS AND CODE REQUIREMENTS.
4. PRIOR TO ANY LANDSCAPE WORK, REMOVE ALL DEBRIS, PAINT, CONCRETE, STUMPS, SLASH, ETC. FROM LANDSCAPE AREA.
5. LOCATE ALL PLANTINGS TO AVOID SNOW STACKING & SNOW SLIDE AREAS FROM ABOVE.
6. SHRUBS ARE TO BE FIELD LOCATED AS APPROVED BY OWNER AND ARCHITECT.
7. ALL NEW LANDSCAPING TO BE IRRIGATED WITH DRIP IRRIGATION SYSTEM. PROVIDE SUBMITTAL.
8. ALL NEW PLANTINGS SHOULD BE HIGH ALTITUDE GROWN AND OR COLLECTED TO ENSURE BETTER SURVIVAL.
9. NATURALIZE GROUPING OF TREES BY VARYING HEIGHT & LOCATION WHEREVER POSSIBLE.
10. SCREEN ALL UTILITY PEDESTALS WITH LANDSCAPE MATERIAL.
11. PROVIDE 3" TO 4" DIAMETER STONE RIPRAP OVER WEED BARRIER FABRIC AT BUILDING DRIP LINES. UNDULATE EDGES AND PROVIDE LANDSCAPE EDGING AT RIPRAP TO TOPSOIL JUNCTURE.
12. INSTALL & BACKFILL ALL PLANTINGS WITH SOIL MIX INCLUDING ORGANIC SOIL AMENDMENTS PER SPECIES REQUIREMENTS AND LANDSCAPE DETAILS.
13. ROOT FEED ALL NEWLY PLANTED TREES DURING INSTALLATION. PROVIDE LIQUID GROWTH TREE STIMULATOR AND SOLUBLE FERTILIZER AT RECOMMENDED RATE FOR EACH TREE SPECIES.
14. PROVIDE 3" OF SHREDDED BARK MULCH AT ALL SHRUB AND TREE WELLS.
15. LANDSCAPE BOULDERS OF 2' OR LARGER SHALL BE RETAINED ON SITE FOR USE IN LANDSCAPE WORK. BURY DECORATIVE BOULDERS ONE-HALF OF DIAMETER.
16. ADDITIONAL CONSULTATION WITH A QUALIFIED LANDSCAPE PROFESSIONAL AT OWNER OPTION IS RECOMMENDED.
17. REVEGETATE ALL DISTURBED SITE AREAS WITH APPROVED SEED MIX.

NOTE: ALL LANDSCAPING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH TOWN OF BLUE RIVER GUIDELINES.

LOT COVERAGE CALCULATIONS		
	SQUARE FOOTAGE	PERCENTAGE
BUILDING (INCLUDES OVERHANGS)	2,880 SF	13.5%
DECKS, HARDSCAPE, AND DRIVEWAY	3,636 SF	17.1%
OPEN SPACE	14,737 SF	69.4%
<b>TOTAL LOT SIZE:</b>	<b>21,253 SF</b>	<b>100%</b>

SNOWSTACK CALCULATIONS		
	SQUARE FOOTAGE	PERCENTAGE
EXISTING +NEW DRIVEWAY	2,646 SF	
DECKS AND HARDSCAPE	990 SF	
<b>TOTAL COVERAGE</b>	<b>3,636 SF</b>	<b>100%</b>
<b>SNOWSTACK REQUIRED</b>	<b>909 SF</b>	<b>25%</b>
<b>SNOWSTACK PROVIDED</b>	<b>1,017 SF</b>	<b>27.8%</b>
TOTAL LOT AREA: 21,253 SF		



**01 PROPOSED SITE PLAN**  
1" = 10'-0"



**ROOTED**  
ARCHITECTURE

SEAL:

NOT FOR CONSTRUCTION

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**HIMMELMAN ADDITION**  
0132 MOUNTAIN VIEW DRIVE  
BLUE RIVER, CO

No.	Date	Revisions

Project No: 2024-04  
Stage: P&Z APPLICATION  
Date: 03/11/2025  
Scale: As indicated

DRAWING TITLE:

**SITE PLAN**

DRAWING NO:

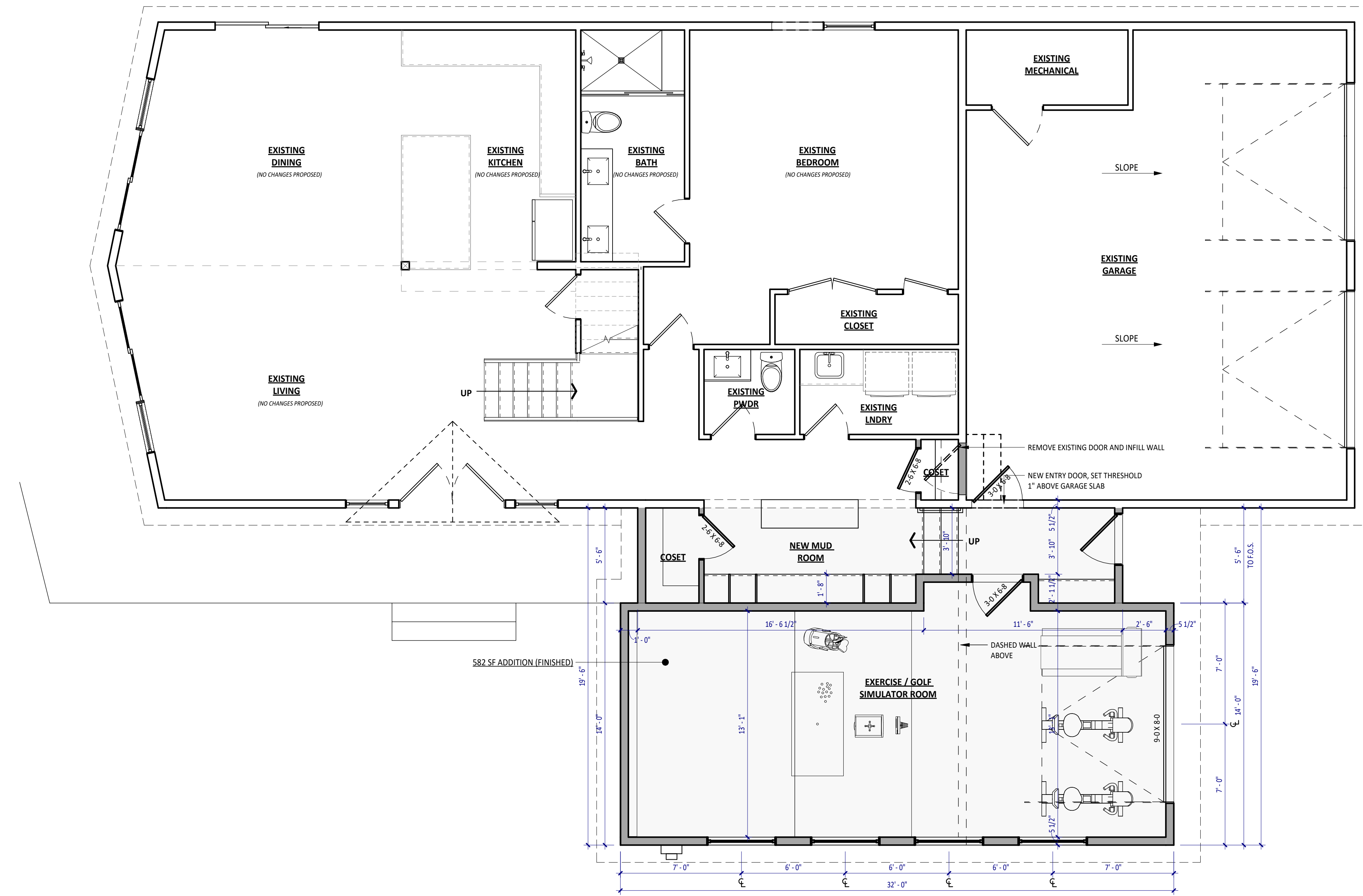
**A0.2**

**WALL LEGEND**

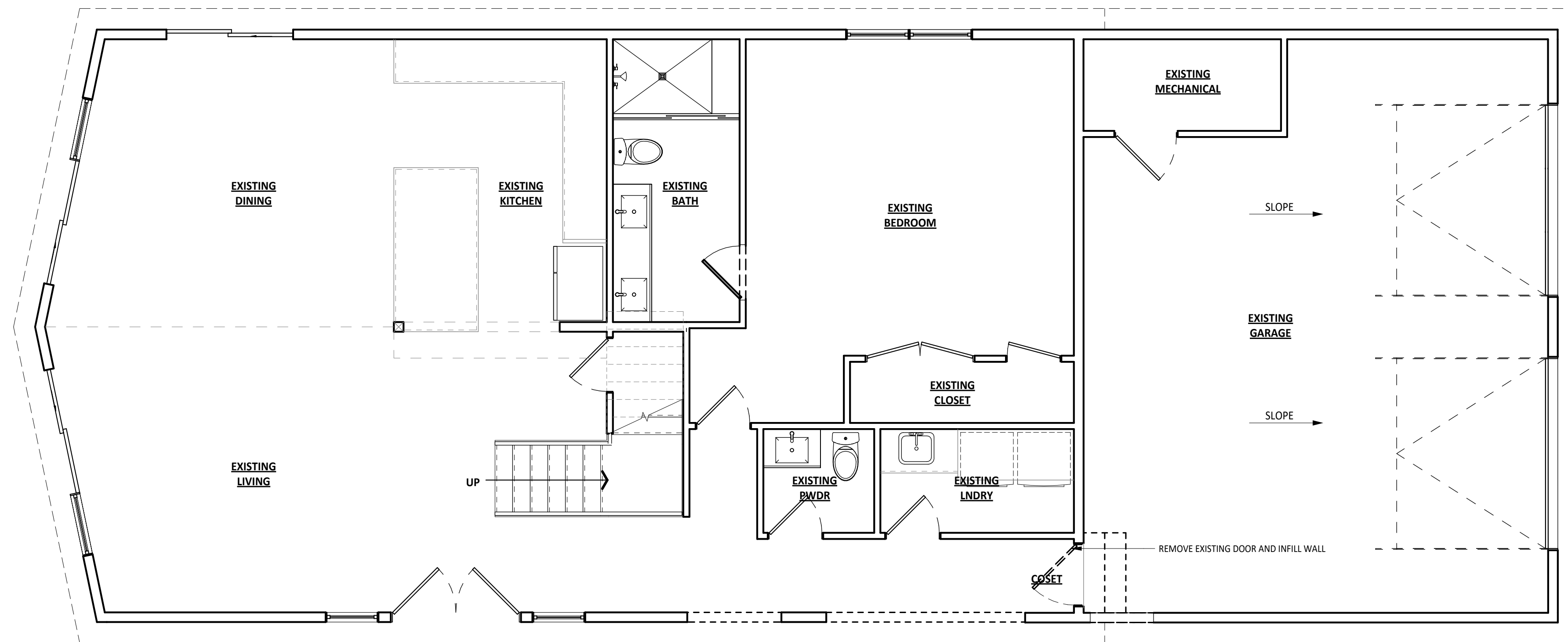
- NEW 2X4 / 2X6 WOOD STUD WALL
- EXISTING 2X4 / 2X6 WOOD STUD WALL
- EXISTING WALL TO BE REMOVED

**NOTES: FLOOR PLAN**

1. ALL INFORMATION MUST BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY ERRORS OR DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR INDIVIDUAL CONTRACTORS TO SEE THAT ALL ITEMS MEET OR EXCEED CODE REQUIREMENTS.
3. BUILDING SHALL VERIFY ALL DIMENSIONS, INTERIOR & EXTERIOR FINISHES, CONSTRUCTION & FRAMING METHODS PRIOR TO CONSTRUCTION.
4. ALL MATERIALS & WORKMANSHIP INVOLVED IN THE CONSTRUCTION OF THIS PROJECT ARE TO CONFORM WITH ALL LOCAL, STATE, NATIONAL, & INTERNATIONAL BUILDING CODES AS DESCRIBED IN THE INTERNATIONAL ONE & TWO FAMILY DWELLING CODE.
5. DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, U.N.O. ALL DIMENSIONS LABELED "CLEAR" ARE TO FACE OF FINISH MATERIAL.
6. ALL INTERIOR GYPSUM BOARD TO BE 1/2" MINIMUM. USE WATER-RESISTANT GYPSUM BOARD AT ALL WET WALL LOCATIONS. USE 5/8" TYPE "X" DRYWALL SEPARATIONS BETWEEN LIVING SPACES AND GARAGES AS REQUIRED BY CODE.
7. ALL TUB & SHOWER UNITS TO HAVE ANTI-SCALDING DEVICES INSTALLED.
8. GARAGE DOORS TO BE CERTIFIED BY MANUFACTURER FOR LOCAL WIND REQUIREMENTS
9. CONTRACTOR TO COORDINATE ELECTRICAL, PLUMBING AND HEATING WORK WITH SUBCONTRACTORS PRIOR TO STARTING WORK. PROVIDE ARCHITECT AND OWNER WITH SUBMITTALS WHERE APPLICABLE.
10. ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE.
11. MILLWORK SUBCONTRACTOR TO PROVIDE MILLWORK SHOP DRAWINGS TO THE ARCHITECTS, OWNER, AND CONTRACTOR FOR APPROVAL PRIOR TO COMMENCING FABRICATION.



**02** LOWER LEVEL FLOOR PLAN (NEW)  
1/4" = 1'-0"



**01** LOWER LEVEL FLOOR PLAN (EXISTING / DEMO)  
1/4" = 1'-0"



**ROOTED**  
ARCHITECTURE

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**HIMMELMAN ADDITION**

0132 MOUNTAIN VIEW DRIVE  
BLUE RIVER, CO

No.	Date	Revisions

Project No: 2024-04  
Stage: P&Z APPLICATION  
Date: 03/11/2025  
Scale: As indicated

DRAWING TITLE:

**FLOOR PLAN - LOWER**

DRAWING NO:

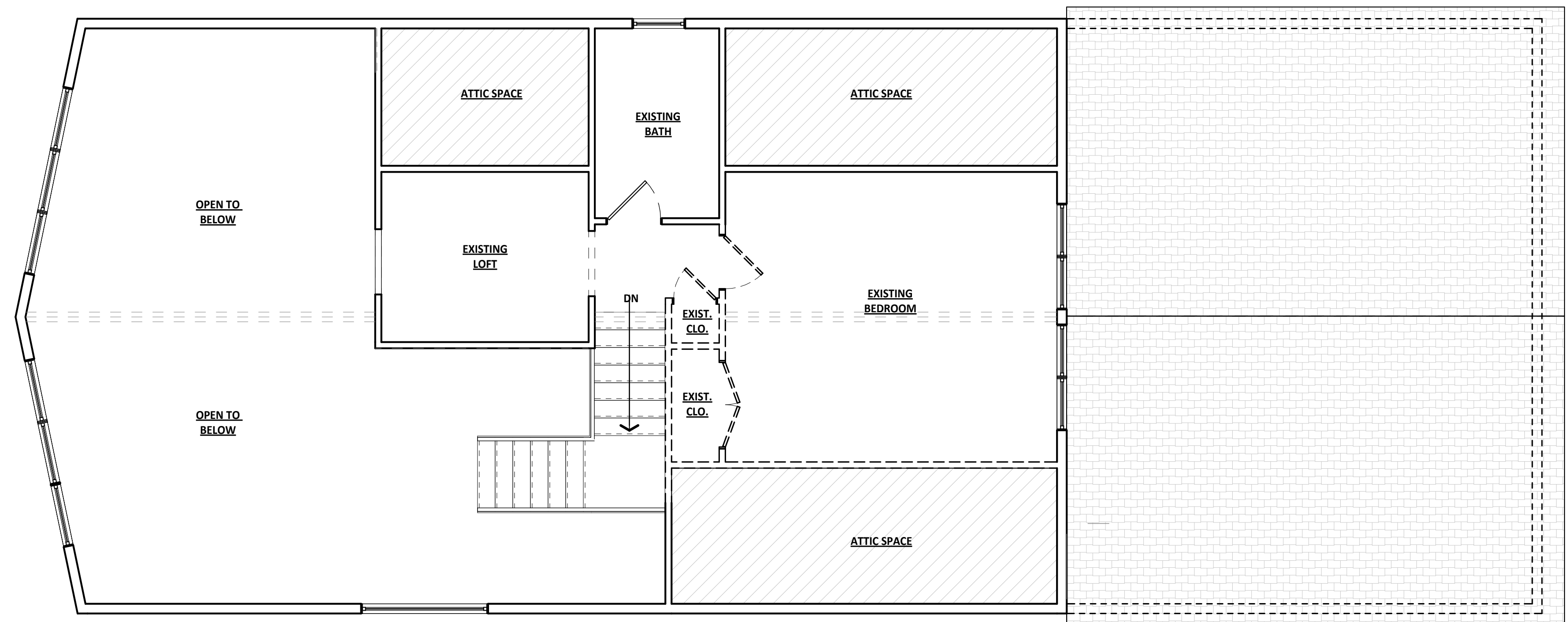
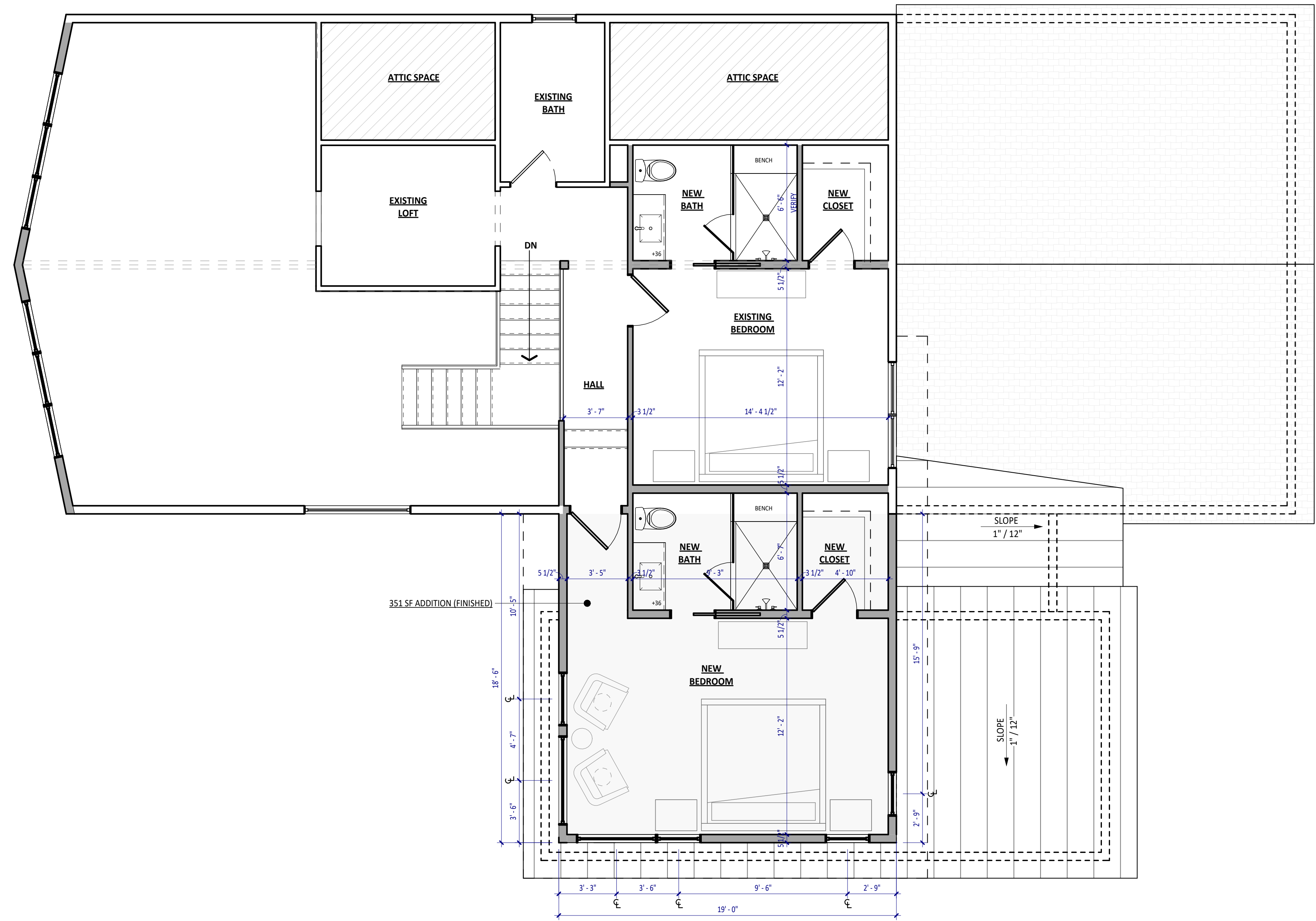
**A1.1**

**WALL LEGEND**

- NEW 2X4 / 2X6 WOOD STUD WALL
- EXISTING 2X4 / 2X6 WOOD STUD WALL
- EXISTING WALL TO BE REMOVED

**NOTES: FLOOR PLAN**

1. ALL INFORMATION MUST BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY ERRORS OR DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR INDIVIDUAL CONTRACTORS TO SEE THAT ALL ITEMS MEET OR EXCEED CODE REQUIREMENTS.
3. BUILDING SHALL VERIFY ALL DIMENSIONS, INTERIOR & EXTERIOR FINISHES, CONSTRUCTION & FRAMING METHODS PRIOR TO CONSTRUCTION.
4. ALL MATERIALS & WORKMANSHIP INVOLVED IN THE CONSTRUCTION OF THIS PROJECT ARE TO CONFORM WITH ALL LOCAL, STATE, NATIONAL & INTERNATIONAL BUILDING CODES AS DESCRIBED IN THE INTERNATIONAL ONE & TWO FAMILY DWELLING CODE.
5. DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, U.N.O. ALL DIMENSIONS LABELED "CLEAR" ARE TO FACE OF FINISH MATERIAL.
6. ALL INTERIOR GYPSUM BOARD TO BE 1/2" MINIMUM. USE WATER-RESISTANT GYPSUM BOARD AT ALL WET WALL LOCATIONS. USE 5/8" TYPE "X" DRYWALL SEPARATIONS BETWEEN LIVING SPACES AND GARAGES AS REQUIRED BY CODE.
7. ALL TUB & SHOWER UNITS TO HAVE ANTI-SCALDING DEVICES INSTALLED.
8. GARAGE DOORS TO BE CERTIFIED BY MANUFACTURER FOR LOCAL WIND REQUIREMENTS
9. CONTRACTOR TO COORDINATE ELECTRICAL, PLUMBING AND HEATING WORK WITH SUBCONTRACTORS PRIOR TO STARTING WORK. PROVIDE ARCHITECT AND OWNER WITH SUBMITTALS WHERE APPLICABLE.
10. ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE.
11. MILLWORK SUBCONTRACTOR TO PROVIDE MILLWORK SHOP DRAWINGS TO THE ARCHITECTS, OWNER, AND CONTRACTOR FOR APPROVAL PRIOR TO COMMENCING FABRICATION.



**ROOTED**  
ARCHITECTURE

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**HIMMELMAN ADDITION**  
0132 MOUNTAIN VIEW DRIVE  
BLUE RIVER, CO

No.	Date	Revisions

Project No: 2024-04  
Stage: P&Z APPLICATION  
Date: 03/11/2025  
Scale: As indicated

DRAWING TITLE:  
**FLOOR PLAN - UPPER**  
DRAWING NO:

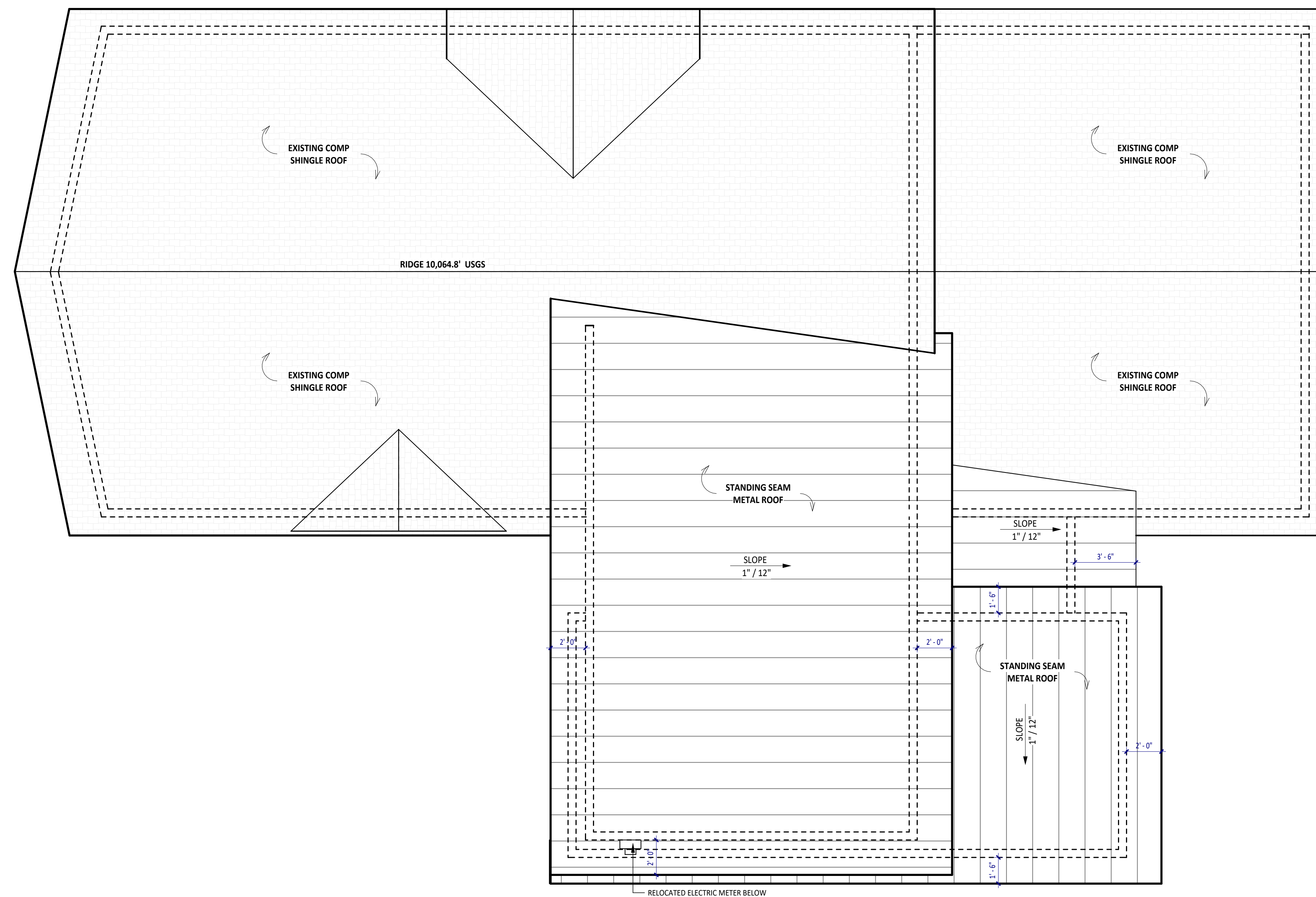
**A1.2**

**NOTES: ROOF PLAN**

- COORDINATE INSTALLATION OF NEW ROOFING WITH OTHER TRADES. REPORT ANY CONFLICTS WITH ITEMS INSTALLED BY OTHER TRADES TO DESIGNER.
- REFER TO SPECIFICATIONS. PROVIDE ROOF PRIMER, ROOF MEMBRANE AND ALL ROOFING PER SPECIFICATION REQUIREMENTS. PROVIDE "W.R. GRACE" MANUFACTURER CERTIFICATION LETTER STATING THAT ALL MEMBRANES HAVE BEEN INSTALLED IN COMPLETE COMPLIANCE WITH ALL MANUFACTURER'S REQUIREMENTS.
- ALL PLUMBING VENTS SHALL EXTEND ABOVE THE FINISHED SURFACE OF THE ROOF SYSTEM AS REQUIRED TO PROVIDE FOR A MINIMUM OF 8" BASE FLASHING.
- ALL EXPOSED METAL FLASHING/ TRIM PIECES TO BE PRE-FINISHED 24 GA. STL. U.N.O.. PROVIDE PRE-FINISHED OR FIELD PAINT FLASHING ONLY AS NOTED.
- GUTTERS - ALL GUTTERS TO BE PRE-FINISHED. PROVIDE PRE-FINISHED SUPPORTS AND SPACERS @ 36" O.C. MAX. MATCH EXISTING GUTTER PROFILE AND FINISH.
- ALL DOWNSPOUTS TO BE PRE-FINISHED, REFERENCE ELEVATIONS FOR LOCATIONS.
- PROVIDE HEAT TAPE AT GUTTERS AND DOWNSPOUTS. REFER TO ROOF PLAN FOR ADDITIONAL FUTURE HEAT TAPE OUTLETS. SEE ROOF PLAN FOR WATERPROOF OUTLETS AT SIDEWALL AREAS. ALL GUTTERS AND DOWNSPOUTS TO BE HEATED. REFER TO PLAN FOR ALL SOLAR AND HEAT TAPE.
- PAINT ALL EXPOSED PIPING EXTENDING THROUGH ROOF TO MATCH ROOF
- PROVIDE VALLEY FLASHING AT ALL VALLEYS AS INDICATED ON PLANS.
- OVERHANG DIMENSIONS ARE TO END OF RAFTER OR TRUSS AS INDICATED ON PLANS.
- PROVIDE KICK-OUT FLASHING AT ALL EAVE/WALL JUNCTURES.
- PROVIDE ILC AS REQUIRED.
- CONTRACTOR TO COORDINATE HEATED GUTTER AND DOWNSPOUT LOCATIONS WITH ARCHITECT.
- DOWNSPOUTS SHALL NOT DISCHARGE ONTO FLATWORK OR DECKS BELOW. CONTRACTOR TO ROUTE DISCHARGE BELOW SURFACE OR PROVIDE CHANNEL DRAIN IN FLATWORK WITH HEAT TAPE.
- REFER TO SPECIFICATIONS. PROVIDE ROOF PRIMER, ROOF MEMBRANE AND ALL ROOFING PER SPECIFICATION REQUIREMENTS. PROVIDE "W.R. GRACE" MANUFACTURER CERTIFICATION LETTER STATING THAT ALL MEMBRANES HAVE BEEN INSTALLED IN COMPLETE COMPLIANCE WITH ALL MANUFACTURER'S REQUIREMENTS.
- UNVENTED ROOFS SHALL HAVE A MINIMUM 60% AIR IMPERMEABLE CLOSED CELL INSULATION AT UNDERSIDE OF DECK.

**NOTES: ROOF MAINTENANCE**

THE OWNER HAS BEEN ADVISED THAT ALL ROOF AND DECK SURFACES MUST BE MAINTAINED RELATIVELY FREE OF SNOW & ICE.



**ROOTED**  
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**HIMMELMAN ADDITION**  
0132 MOUNTAIN VIEW DRIVE  
BLUE RIVER, CO

No.	Date	Revisions

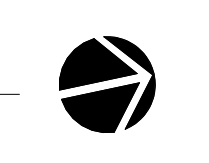
Project No: 2024-04  
Stage: P&Z APPLICATION  
Date: 03/11/2025  
Scale: As indicated

DRAWING TITLE:  
**ROOF PLAN**

DRAWING NO:

**A1.3**

**01** PROPOSED ROOF PLAN  
1/4" = 1'-0"



**NOTES: AIR BARRIER / VAPOR BARRIER**

IN COMPLIANCE WITH ENERGY CODE REQUIREMENTS, PROVIDE CONTINUOUS, SOLID AIR BARRIERS OVER ALL INSULATION SURFACES. PROVIDE AIR BARRIERS BEHIND ALL CONCEALED AREAS, SUCH AS TUBS, DROPPED CEILING AREAS, SOFFITS DECORATIVE BEAMS AND STRUCTURAL BEAMS ADJACENT TO THERMAL ENVELOPE WALLS. THESE BARRIERS SHOULD BE COORDINATED AND INSTALLED AT THE TIME OF FRAMING AND MUST BE CONTINUOUS AND UNBROKEN. PROVIDE AIR BARRIERS AND INSULATION AT THE THERMAL ENVELOPE LINE OF ALL CHIMNEYS. AIR BARRIERS CAN BE 6 MIL POLYFILM PLASTIC, DRYWALL OR SOLID SHEATHING. COORDINATE ALL AIR BARRIERS WITH VAPOR BARRIERS AND INSULATION REQUIREMENTS AS OUTLINED IN DIVISION VII. PROVIDE AND SCHEDULE A PRE-MEETING WITH THE ARCHITECT AND FRAMER TO REVIEW THESE REQUIREMENTS PRIOR TO ANY FRAMING WORK.

**NOTES: WEATHER RESISTIVE BARRIER**

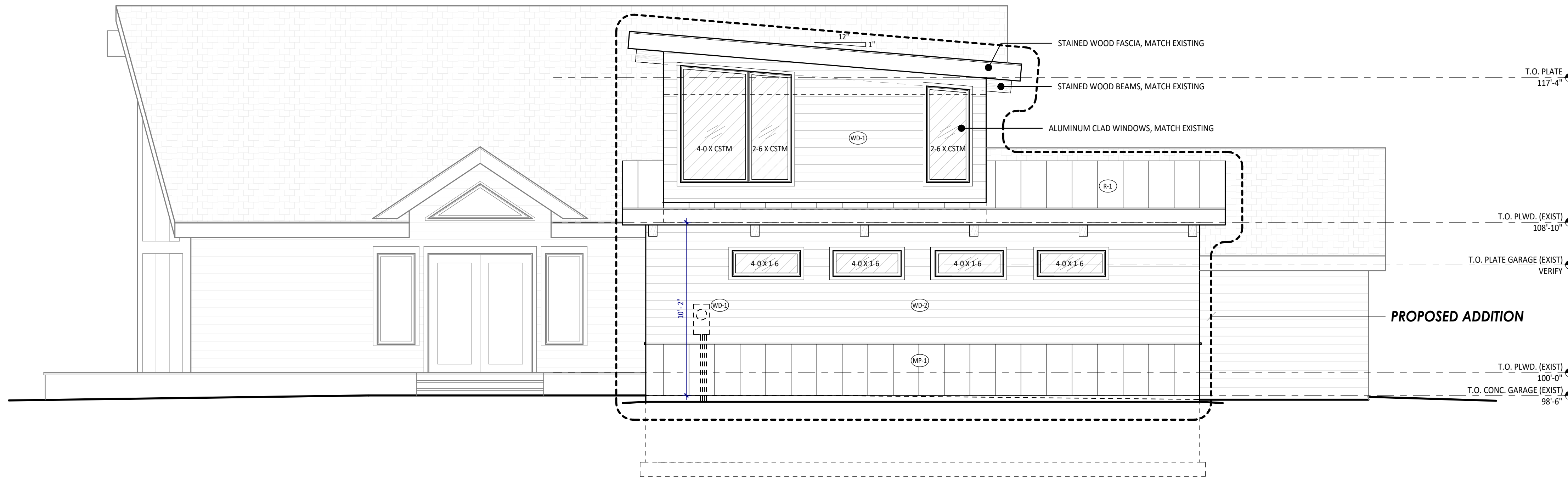
1. INSTALL WEATHER RESISTIVE BARRIER IN STRICT COMPLIANCE WITH MANUFACTURERS RECOMMENDATIONS AND DETAILS. USE ONLY APPROVED PRODUCTS AND FASTENING METHODS.
2. REFERENCE LOCAL AND NATIONAL BUILDING CODES AND REGULATIONS PRIOR TO INSTALLATION. INSTALL PER GOVERNING CODE REQUIREMENTS. NOTIFY ARCHITECT IF ANY CONFLICT ARISES.

MATERIAL SYMBOL	TYPE	NOTES:
(WD-1)	SHIPLAP WOOD SIDING	HORIZONTAL 1X6 SHIPLAP SIDING 6" CEDAR SHIPLAP SIDING- MATCH EXISTING COLOR: MATCH EXISTING (SEE PHOTOS)
(WD-2)	SHIPLAP WOOD SIDING	HORIZONTAL 1X6 SHIPLAP SIDING 6" CEDAR SHIPLAP SIDING- MATCH EXISTING COLOR: SW3533 LEeward (CONFIRM WITH OWNER)
(WD-3)	TRIM, FASCIA, AND BEAMS	PREFINISHED WOOD TRIM (SEE DETAILS) CEDAR 2X FASCIA / TRIM COLOR: MATCH EXISTING (SEE PHOTOS)
(M-1)	WINDOW / DOOR CLAD AND FLASHING	PREFINISHED METAL CLADDING MATCH WINDOW / DOOR CLADDING COLOR COLOR: MATCH EXISTING (SEE PHOTOS)
(MP-1)	METAL PANEL SIDING	STANDING SEAM METAL SIDING WESTERN STATES METALS COLOR: "BURNISHED SLATE"
(R-1)	STANDING SEAM METAL ROOFING	STANDING SEAM METAL ROOFING WESTERN STATES METALS (MECHANICALLY SEAMED) COLOR: "BURNISHED SLATE"

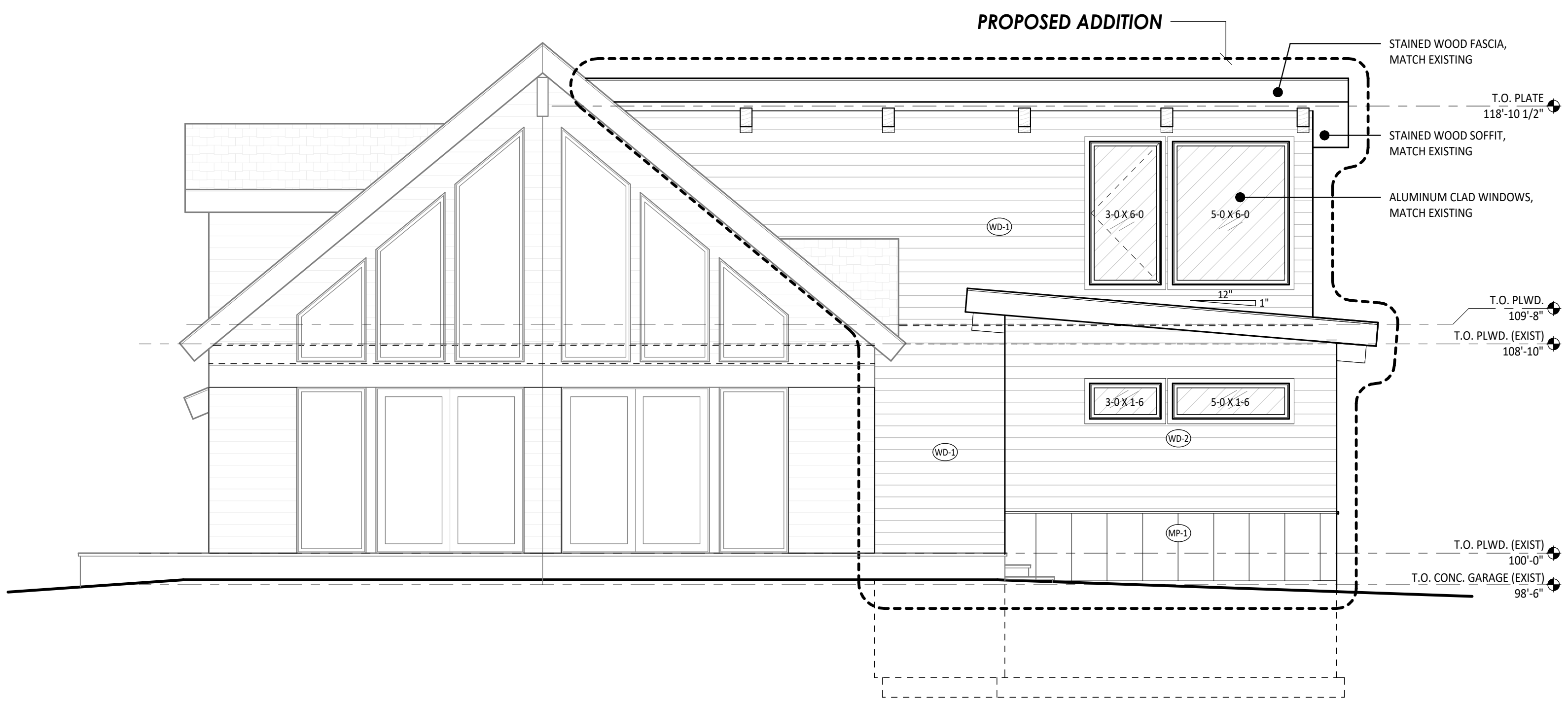
**NOTE:** CONTRACTOR TO PROVIDE PHYSICAL MATERIAL SAMPLE BOARD FOR OWNER / ARCHITECT APPROVAL  
ALL MATERIALS TO BE NON REFLECTIVE



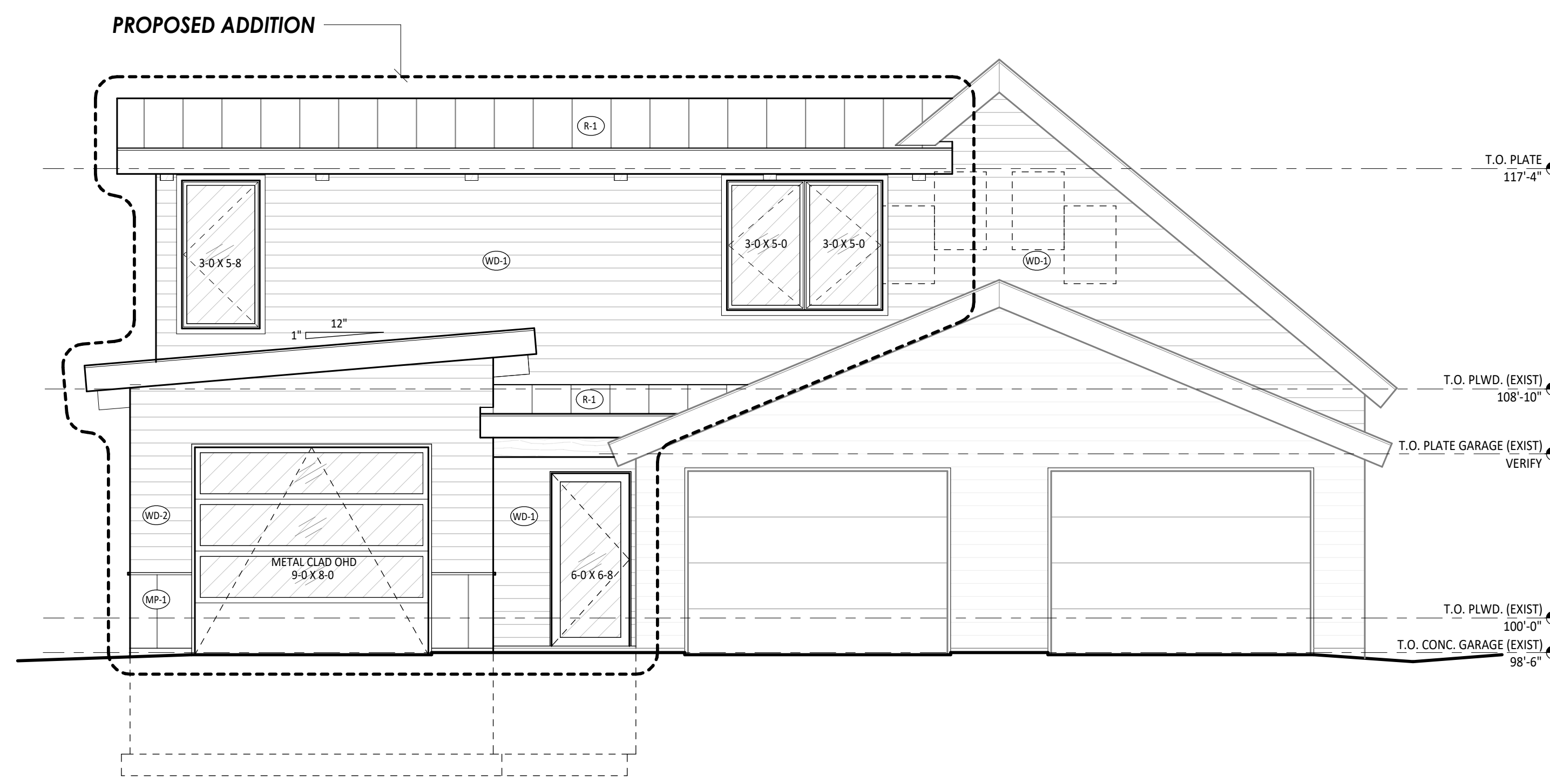
EXISTING EXTERIOR MATERIALS (SOUTH EAST CORNER)



**03** PROPOSED EAST ELEVATION  
1/4" = 1'-0"



**02** PROPOSED SOUTH ELEVATION  
1/4" = 1'-0"



**01** PROPOSED NORTH ELEVATION  
1/4" = 1'-0"



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**HIMMELMAN ADDITION**  
0132 MOUNTAIN VIEW DRIVE  
BLUE RIVER, CO

No.	Date	Revisions

Project No: 2024-04  
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DRAWING TITLE:

**EXTERIOR ELEVATIONS**

DRAWING NO:

**A4.1**